

Land Information Memorandum



Property address:

6 Boag Place

LIM number: H09369190

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Christchurch City Council

53 Hereford Street, PO Box 73015

Christchurch 8154, New Zealand

Tel 64 3 941 8999

Fax 64 3 941 8984

www.ccc.govt.nz

Application details

Date issued 3 November 2025
Date received 20 October 2025

Property details

Property address 6 Boag Place, Halswell, Christchurch
Valuation roll number 23562 04519
Valuation information Capital Value: \$960,000
Land Value: \$430,000
Improvements Value: \$530,000
Please note: these values are intended for Rating purposes
Legal description Lot 9 DP 552065
Existing owner Xin Zhang
Sam Zoweir
6 Boag Place
Christchurch 8025

Council references

Rate account ID 73197471
LIM number H09369190
Property ID 1190592

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6 Boag Place

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Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made. It is essential that the applicant undertakes their own due diligence to verify the suitability of the property for their intended use.

Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit www.ccc.govt.nz.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

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A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44(A)(2)(aa) LGOIMA. This is information known to the Council but is not apparent from a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to the likely presence of hazardous contaminants.

☎ For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Natural Hazards

Section 44A(2)(a) LGOIMA. This is information known to the Council about natural hazards that is required by section 44B LGOIMA. This section may also include natural hazard information provided by Environment Canterbury. Christchurch City Council is required to include such information in LIMs where Environment Canterbury considers it meets the criteria under section 44C of LGOIMA.

The following statement has been provided by Environment Canterbury:

This Land Information Memorandum includes natural hazard information deemed by Environment Canterbury to be the most up to date, useful, and relevant, and is provided in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. All due care has been taken to ensure current information required to be provided under the regulations is presented below.

Environment Canterbury may hold superseded or less reliable natural hazards information relating to the land that has not been included in this Land Information Memorandum. Please contact Environment Canterbury if you would like to enquire about this information.

(a) Coastal Hazards

As at the date of this LIM, Council research found no information under this heading.

(b) Earthquakes

- Liquefaction Assessment

Christchurch City Council holds indicative information on liquefaction hazard for Christchurch. Information on liquefaction, including an interactive web tool, can be found on the Council website at ccc.govt.nz/liquefaction. Depending on the liquefaction potential of the area that the property is in, the Council may require site-specific investigations before granting future subdivision or building consent for the property.

- Regional Liquefaction Information

Areas where there was evidence of liquefaction were mapped following the 2010/11 Canterbury earthquakes by Tonkin & Taylor for the Earthquake Commission (urban areas) and by a group of researchers for Environment Canterbury (rural, commercial and industrial areas). These are available in the Christchurch Liquefaction Viewer at <https://apps.canterburymaps.govt.nz/ChristchurchLiquefactionViewer/>.

Technical report information:

Title: Review of liquefaction hazard information in eastern Canterbury, including Christchurch City and parts of Selwyn, Waimakariri and Hurunui Districts.

Date: December 2012.

Author: H Brackley (compiler).

Commissioned by: Environment Canterbury.

Purpose of report: To collate liquefaction occurrence during the 2010/11 Canterbury earthquakes, and to determine liquefaction vulnerability. For use in land use planning, subdivision and building consenting.

Study area: Coastal Canterbury from the Waipara River mouth to the Rakaia River mouth, including Banks Peninsula, and inland to Rangiora, Aylesbury, Selwyn and Southbridge.

Accessible at: <https://www.ecan.govt.nz/document/download?uri=1702192>.

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(c) Flooding

- Regional Hazard Information: Flood Photographs

Photographs showing the property during or following past flood events may be available. Flood photographs are available on Environment Canterbury's flood imagery register at <https://apps.canterburymaps.govt.nz/FIR>.

- Regional Hazard Information: Flood Assessment Request

You can request a new site-specific flood hazard assessment for the property from Environment Canterbury at: <https://www.ecan.govt.nz/do-it-online/property-information/flood-hazard-assessments>.

(d) Landslides

As at the date of this LIM, Council research found no information under this heading.

(e) Subsidence

- Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

(f) Tsunamis

As at the date of this LIM, Council research found no information under this heading.

(g) Volcanic and Geothermal Hazards

As at the date of this LIM, Council research found no information under this heading.

(h) Wind

As at the date of this LIM, Council research found no information under this heading.

(i) Any Other Natural Hazards

As at the date of this LIM, Council research found no information under this heading.

(j) District Plan Natural Hazard Information

Please refer to *Section 8. Land use and conditions* of this report for District Plan related natural hazard information.

(k) Building Notices

Please refer to *Section 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings* of this report for Building Act notice information.

Other Special Features or Characteristics of the Land

- Borelog/Engineer Report Image Available

Borelog/Engineer Report Image Available

- Fill

This property is located in an area known to have been filled. The year the fill occurred is 2020. The filling was, according to the Councils records carried out in a controlled manner and comprises Silt.

Related Information

- The latest soil investigation report for this property is attached for your information

2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

☎ For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **Pressurised Sewer System**

Council records indicate this lot falls within a local pressure sewer catchment where installation of onsite local pressure sewer systems (LPSS) are required to connect to the sewer network. For LPSS ownership information, please refer to the property title consent notice. If an existing LPSS is vested with Council, please refer to <https://ccc.govt.nz/assets/Documents/Services/Wastewater/20-404174-Local-Pressure-Sewer-System-User-Guide.pdf>. If there is no LPSS-related consent notice, contact Christchurch City Councils 3 waters unit at WastewaterCapacity@ccc.govt.nz.

Related Information

- Attached are all drainage plans that Council hold for details of private and public drainage. Not all plans provided are verified by Council, and therefore Council cannot be liable for inaccuracies. Site investigation will be required by owners to determine exact layouts.
- This property is shown to be served by Christchurch City Council Sewer and Stormwater.

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3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply and Wastewater Bylaw (2022), refer to www.ccc.govt.nz.

4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2026: \$5,787.44

	Instalment Amount	Date Due
Instalment 1	\$1,446.78	31/08/2025
Instalment 2	\$1,446.78	30/11/2025
Instalment 3	\$1,446.78	28/02/2026
Instalment 4	\$1,447.10	31/05/2026

Rates owing as at 03/11/2025: \$1,446.78

(b) Excess Water Rates

For excess water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz/contact-us.

(c) Final water meter reading required at settlement?

Property settlements must ensure all water usage and outstanding debts are accurately accounted for.

To advise of a property settlement, please complete the request for settlement information form at www.ccc.govt.nz/services/rates-and-valuations/solicitors-request.

A settlement statement of accounts will be provided on the expected settlement date advised.

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5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.

Sections 71 to 74 of the Building Act 2004 require the Building Consent Authority to consider natural hazards when it receives a building consent application for the construction or major alteration of a building on land that is subject to, or likely to be subject to, a natural hazard. A building consent for this property may have been issued subject to a section 72 or 73 notice. This means at the time of building consent the Building Consent Authority was not satisfied that adequate provision would be made to protect the building and land from the natural hazard and was subsequently required to notify the Registrar-General of Land to record the natural hazard on the Record of Title. The Building Act 2004 defines natural hazards as erosion (including coastal erosion, bank erosion, and sheet erosion), falling debris (including soil, rock, snow, and ice), subsidence, inundation (including flooding, overland flow, storm surge, tidal effects, and ponding), and slippage.

If your property contains a notice under s73 of the Building Act 2004, this will be identified on the building consent decision below (decision under s72 of the Building Act 2004) and on the properties' Record of Title. The Record of Title may also record this as a s36 notice under the Building Act 1991, or a s641A notice under the Local Government Act 1974.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

(a) Consents

- BCN/2020/11460 Applied: 24/11/2020 Status: Completed
6 Boag Place Halswell
Accepted for processing 25/11/2020
Building consent granted 15/01/2021
Building consent issued 20/01/2021
Code Compliance Certificate Issued 19/08/2021
Construction of dwelling with attached garage - LOT 9 (6 Boag Pl)

(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

(d) Orders

(e) Requisitions

Related Information

Property address:

6 Boag Place

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- Please find an electrical & gas fitters certificates attached relating to works that have been carried out on the current building/dwelling at this address.

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6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

☎ For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

 For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

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8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email DutyPlanner@ccc.govt.nz or visit www.ccc.govt.nz.

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

(a)(i) Christchurch City Plan & Banks Peninsula District Plan

(ii) Christchurch District Plan

- **Development Constraint Conditions**

Council records show there is a specific condition on the use of this site: Consent Notice

- **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay, which is operative.

- **Outline Development Plan**

Property or part of property is within an Outline Development Plan area, which is affected by specific provisions that are operative.

- **District Plan Zone**

Property or part of property within the Residential New Neighbourhood Zone, which is operative.

(b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

- **RMA/2019/2574 - Combined subdivision / land use consent**

Fee Simple Subdivision - 17 Lots - with Land Use

Status: Processing complete

Applied 06/11/2019

s223 Certificate issued stage 1 17/03/2020

s223 Certificate issued stage 2 17/09/2020

s224 Certificate issued stage 1 31/03/2020

s224 Certificate issued stage 2 15/02/2021

Granted 19/12/2019

Decision issued 19/12/2019

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- RMA/2020/2736 - Permitted boundary activity
26 Gammack Drive Halswell
New residential dwelling with attached garage - Lot 9
Status: Withdrawn
Applied 24/11/2020
07/12/2020

Related Information

- The Council system shows a Development Constraint/Ongoing Condition Consent notice for this property. The consent notice should be registered against the record of title for the property and a search of that title and the consent notice will provide details in respect of the constraint / condition. If a search of the title does not record the consent notice or the consent notice is not clear then we suggest you contact the duty planner by either calling 941 8999 or emailing DutyPlanner@ccc.govt.nz. The Consent notice is as follows:

Specific TC2 foundation design by CPEng or by an appropriately qualified geotechnical engineer.

To be served by local pressure sewer system including IOTA OneBox Control Panel. Assets to be vested in CCC.
Owner to pay ongoing power costs.

9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

 For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

 For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **None recorded for this property**

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

- Your organics are collected Weekly on Thursday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Parkhouse Road EcoDrop.
- Your refuse is collected Fortnightly on the Week 1 collection cycle on a Thursday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Parkhouse Road EcoDrop.

(b) Other

• Floor Levels Information

Council holds a variety of information on requirements for building or property development. This includes:

- required minimum finished floor levels, which need to be set to meet the surface water requirements in clause E1.3.2 of the Building Code (where this applies); and
- the requirements of the Christchurch District Plan (where a property is in the Flood Management Area).

Where this information has been processed for your property, you can view it online at <https://ccc.govt.nz/flooding-and-floor-levels>.

Otherwise, if you are building or developing on this land, you can request a calculation on required finished floor levels for your proposed building by emailing us at floorlevels@ccc.govt.nz.

• Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. For more information, please refer to: <https://ccc.govt.nz/providing-guest-accommodation/>.

• Community Board

Property located in Halswell-Hornby-Riccarton Community Board.

• Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

• Electoral Ward

Property located in Halswell Electoral Ward

• Listed Land Use Register

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

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- **Spatial Query Report**

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

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Geotechnical Investigation Report

Lot 9, Stage 1, Country Palms Subdivision, 117
Halswell Junction Road, Christchurch

Suburban Estates

Document Number: 18594-RPTGEO-001-A

Date: 19 October 2020

Prepared by

Alex McCaw

Engineering Geologist

BSc PGDip MEngNZ

Approved by

Robert Smith

Senior Geotechnical Engineer

BSc PGCert Eng MEngNZ

Consulting Civil, Structural, Environmental & Geotechnical Engineers

Directors: R.A. Puklowski NZCE (Civil) REA • C.F. Short BBS PG Dip Man • A.R. Wilton BE CMEngNZ CPEng IntPE DipMS • J.M. Whiunui Dip Civil BE (Civil) Hons CMEngNZ CPEng

Cameron Gibson & Wells Limited

Nelson Office Level 1, 44 Halifax Street, Nelson • Tel: +64 3 548 8259

Christchurch Office Level 2 124 Peterborough Street, Christchurch • Tel: +64 3 348 1000

Wanaka Office 4 Helwick St, PO Box 169, Wanaka • Tel: +64 3 443 6209

office@cgwl.co.nz • www.cgwl.co.nz



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1. Introduction

CGW Consulting Engineers have been engaged by Suburban Estates, to undertake a geotechnical investigation and report at Lot 9, Country Palms Subdivision, 117 Halswell Junction Road, Christchurch. This report can be relied upon as part of the residential development of this allotment.

The site has been investigated as part of the wider development and the subdivision report should be referred to in conjunction with the Geotechnical Subdivision Report by CGW Consulting Engineers dated 28 March 2019. The purpose of this investigation is to confirm the shallow bearing capacity and soils as well as provide foundation recommendations.

This report summarises our findings and recommendations and may be used to support a Building Consent application to Christchurch City Council. Our geotechnical limitations are presented in Appendix A.

2. Site Information

2.1. Site Description

The subject site, located at Lot 9, Stage 1, Country Palms Subdivision, 117 Halswell Junction Road, is situated approximately 8.3km southwest of Central Christchurch. The site (Depicted in Figure 1) is located within the Country Palms Subdivision located to the west of Gammack Drive.

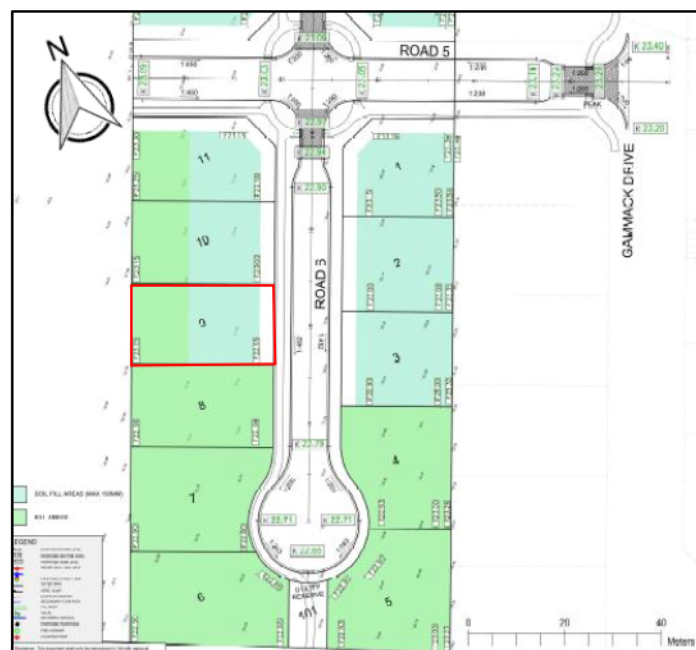


Figure 1: Site Location

2.2. Land Classification

Based on the subdivision specific geotechnical report, the site has been assessed as being consistent with a Technical Category TC2 area (Yellow) as per the Ministry of Business Innovation and Employment (MBIE) Technical Category classification.

2.3. Site Specific Investigation

Following an initial site walkover, the field investigations comprised:

- Two hand augerholes and two Dynamic Cone Penetrometer Tests undertaken from the surface.

A visual-tactile field classification of the subsoils encountered during hand augerhole drilling was carried out in accordance with 'Guidelines for the Field Classification and Description of Soil and Rock for Engineering Purposes' (NZGS, 2005) and Scala Penetrometer testing was carried out in accordance with NZS 4402:1988, Test 6.5.2, 'Dynamic Cone Penetrometer'.

Investigation details are provided in Table 3. The tests were positioned to provide coverage of the site considering site access and the proposed dwelling footprint. Test locations are approximate only.

Test ID	Termination Depth (m bgl)	Further Information (Groundwater, piezometer, etc.)
HA01	2.70	Groundwater Encountered at 2.40 m.
HA02	2.50	Groundwater Encountered at 2.20 m.
DCP01	3.00	No Groundwater Recorded
DCP02	3.00	No Groundwater Recorded

All test locations are presented on drawing 18594/1 in Appendix B with hand augerhole and Dynamic Cone Penetrometer results showing detailed soil descriptions and blows per 100 mm penetration are presented in Appendix C.

2.4. Site Subsurface Conditions

Subsurface conditions based on those encountered within the hand augerholes is given in Table 4.

Soil Type	Depth to bottom of Layer (m)	Layer Thickness (m)	DCP Reading (Blows/100mm)	Relative Density / Consistency
SILT (Topsoil)	0.40	0.40	2 – 4	Firm
SILT (Engineered Fill)	0.60	0.20	2 - 12	Firm to stiff
Interbedded SILT, Silty SAND, Sandy SILT and SAND	2.50 – 2.70	>1.9	3 – 12	Medium Dense to Dense Firm to Stiff

2.5. Groundwater

Based on site investigations and previous data collected for the site we consider groundwater depths to be between approximately 2.4 m and 2.20 m bgl.

2.6. Geotechnical Ultimate Bearing Capacity

With reference to Scala Penetrometer results, an Ultimate Bearing Capacity (UBC) of 200kPa is available within the engineered fill at a depth of 0.40 m bgl immediately below the topsoil layer. In accordance with the principles of AS/NZS1170:2002 Section 3.2, a Strength Reduction Factor of $\Phi = 0.5$, as per B1/VM4 Section 3.5, should be applied to the Ultimate Bearing Capacity, which should then equal or exceed the factored Ultimate Limit State design actions.

3. Recommendations

We recommend that an enhanced foundation solution in accordance with Section 5 of the MBIE Guidelines for the proposed residential development. An Ultimate Bearing Capacity of 200kPa is available at 0.40 m bgl. Whilst any of the MBIE Guidance Section 5 enhanced foundation solutions would be suitable, we recommend a waffle slab solution to be the most appropriate which is consistent with an Option 4 solution.

This Option 4 (Waffle Slab) foundation system would require digging out to 0.40 m depth and 0.6 m beyond the building footprint and replacing with compacted hardfill. Any topsoil or organic material below this depth is to be removed. No geogrid reinforcing is required.

Placed fill should comprise well graded crushed aggregate (CAP65 to Christchurch City Council standard specifications) and should extend at least 600 mm beyond the edge of the foundations. The granular fill should be compacted to achieve no less than 95% maximum dry density as achieved with a vibratory hammer compaction curve. Excavation sidewalls should be battered no steeper than 1H:1V to a maximum depth of 1 m bgl.

4. Construction Considerations

4.1. Site Formation Works

All earthworks should be carried out to the requirements of NZS 4431:1989, 'Code of Practice for Earth filling for Residential Development'. All unsuitable materials (vegetation, organic or deleterious material, topsoil and non-engineered fill etc.) should be stripped from any areas of earthworks and stockpiled well clear of earthwork operations or carted from the site. Compaction of non-cohesive fill should be carried out using pad foot compaction plant of a minimum 10 tonne static weight, in loose layers no greater than 200 mm thickness. All fill materials should be clear of unsuitable materials as described above.

4.2. Excavations

If works are undertaken following a period of precipitation the subgrade should be protected to minimise disturbance or contamination of the exposed subgrade. This may require filter fabric (Bidim A19) which should be confirmed by a geotechnical engineer familiar with this report once the subgrade has been excavated.

5. Further Geotechnical Involvement

5.1. Geotechnical Drawing Review

A geotechnical engineer familiar with the findings of this report should be engaged to review the final working drawings of the proposed development prior to submission to the Building Consent Authority, to ensure the geotechnical recommendations of this report have been implemented correctly. Further geotechnical analysis may be warranted at this stage subject to the specifics of the development proposal.

5.2. Construction Observations

A Geotechnical Engineer familiar with the findings of this report should be engaged to carry out observations during foundation excavations to confirm soil and foundation conditions are consistent with those adopted within this report. Inspections will not be carried out prior to Council issuing the required Building Consents, and unconsented works will not be inspected.

The recommendations given in this report are based on limited site data from discrete locations. Variations in ground conditions could exist across the site. It is in the interests of all parties that we be retained to observe excavations and foundation conditions exposed during construction, so that ground conditions can be compared with those assumed in formulating this report. In any event, we should be notified of any variations in ground conditions from those described or assumed to exist.

Without sufficient observations during the subgrade preparation prior to placement of fill or concrete, CGW Consulting Engineers will not be in a position to provide engineering signoff (i.e. Producer Statement PS4). We recommend once a Building Consent be issued it be forwarded to us for review. We will then on-forward a schedule of inspections required by us in order to meet the consent conditions. Areas where concrete or fill are placed without prior geotechnical observation will be specifically excluded from completion documentation.

Appendix A Limitations

This report has been prepared solely for the benefit of our client, Suburban Estates, as per our brief and an agreed consultancy agreement. The reliance by any other parties on the information or opinions contained in this report shall, without our prior agreement in writing, be at such parties' sole risk.

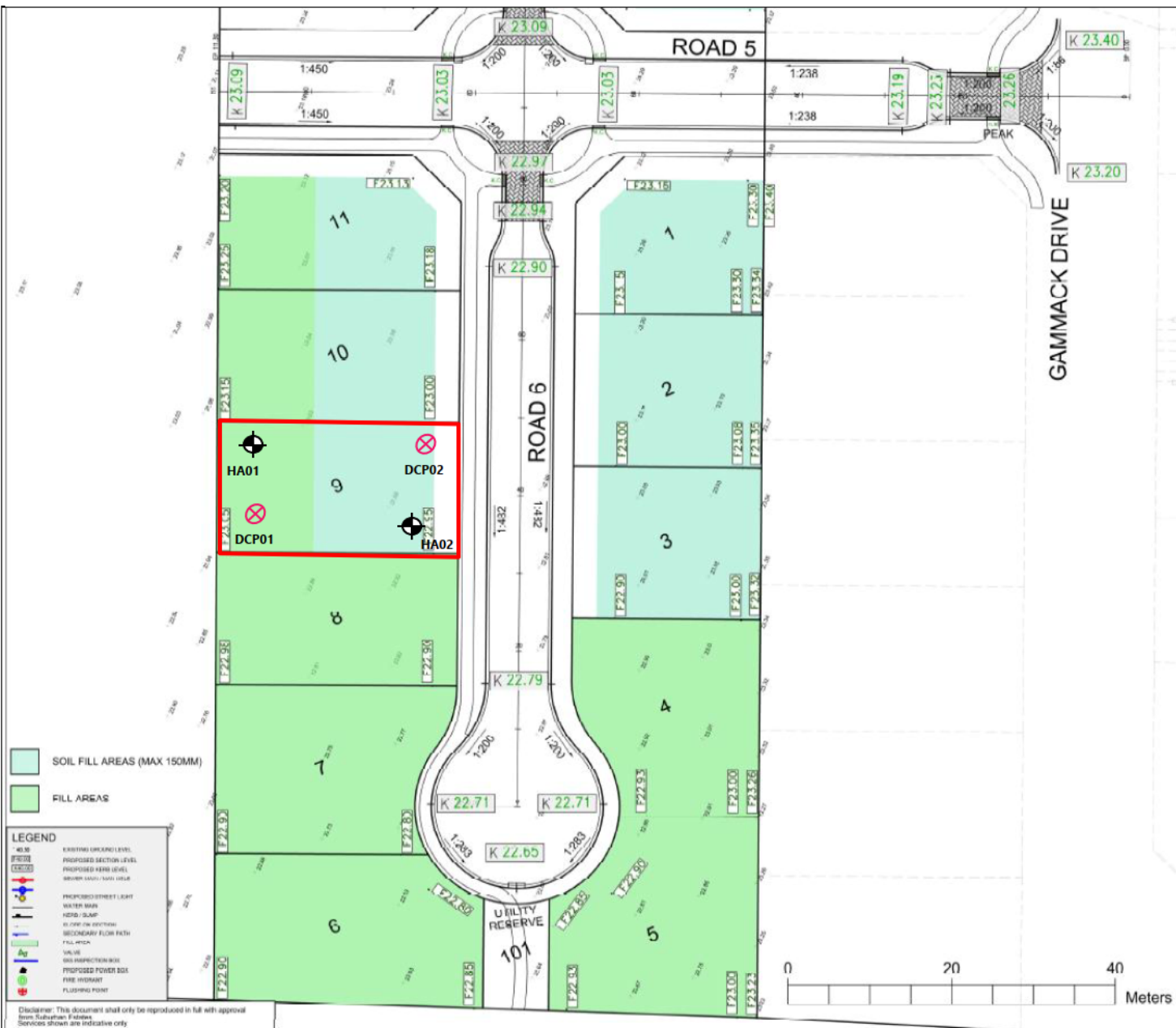
The conclusions and recommendations contained within this report are based on the investigations as described in detail above. The nature and continuity of subsoil conditions are inferred and it must be appreciated that actual conditions could vary considerably. Defects and unforeseen ground conditions may remain undetected which might adversely affect the stability of the site and the recommendation made herein.

This report has been prepared solely to address the issues raised in our brief, and shall not be relied on for any other purpose.

Where we have provided comments on aesthetic issues these need to be confirmed by an architect or other expert in the field.

In the event the third party investigation data has been provided to us, the client acknowledges that we have placed reliance on this information to produce our report and CGW will accept no liability resulting from any errors or defect in the third party data provided to us.

Appendix B Test Location Plan



Approximate
True North

Legend:



Approximate Hand
Auger Locations



Approximate Dynamic
Cone Penetrometer
Locations

Notes:

1. CGW Consulting Engineers Test Location Plan adapted from Ecan or Google maps.
2. It should be borne in mind that locations of features are approximate only.
3. Original plan size A4.



**Civil Structural Environmental
Geotechnical**

Nelson Ph: 548 - 8259
Christchurch Ph: 348 - 1000

DATE: June 2020

DRAWN: AM

SCALE: NTS

CAD REF: 18594

Test Location Plan
Lot 9, Country Palms
Halswell
Christchurch

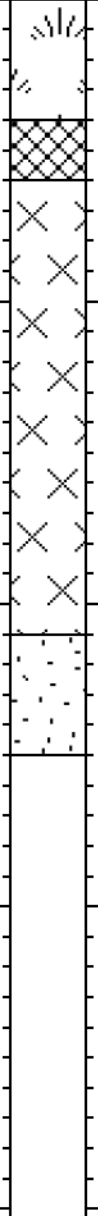
DRAWING NO:

18594/1

SHEET 1 OF 1

Appendix C Hand Auger & Scala Logs

				Project Title: 115 Halswell Junction Road, Halswell, Christchurch				Lot 9, HA01						
				Project Number: 18594		Client: Suburban Estates Ltd								
				GL (mAOD):		N Coord: 0		E Coord: 0						
Date: 04/06/2020				Method: Hand Auger/DCP		Logged By: AM		Scale: 1:25 Sheet 1 Of 1						
Blows (per 100mm) 3 6 9				UBC (kPa) (Stockwell) 100 200 300 400				Level	Legend	Depth (m)	Description	Water		
										0.40	SILT, minor fine sand, dark brown. Firm moist, non-plastic. (TOPSOIL)			
										0.60	SILT, some fine sand, trace fine subrounded gravel, brown. Stiff, moist, non-plastic. (ENGINEERED FILL)			
										0.80	Fine SAND, minor silt, grey, medium dense, dry (ALLUVIAL DEPOSITS)			
										1.00	SILT, minor fine sand, light brown, mottled orange. Stiff, moist, non-plastic. (ALLUVIAL DEPOSITS)			
										1.80	Wet.			
										2.00				
										2.10				
										2.30	Fine to medium SAND, minor silt, greyish brown. Medium dense, wet to saturated. (ALLUVIAL DEPOSITS) Saturated.			
										2.70	End Of Hole At 2.70 m			
										3.00				
										4.00				
KEY D - Disturbed Sample B - Bulk Sample W - Water Sample V - Hand Shear Vane kPa  - Groundwater Strike  - Groundwater Level										REMARKS Hole Collapse				

				Project Title: 115 Halswell Junction Road, Halswell, Christchurch				Lot 9, HA02				
				Project Number: 18594		Client: Suburban Estates Ltd						
				GL (mAOD):		N Coord: 0		E Coord: 0				
Date: 04/06/2020				Method: Hand Auger/DCP		Logged By: AM		Scale: 1:25 Sheet 1 Of 1				
Blows (per 100mm) 3 6 9				UBC (kPa) (Stockwell) 100 200 300 400				Level	Legend	Depth (m)	Description	Water
										0.40	SILT, minor fine sand, dark brown. Firm moist, non-plastic. (TOPSOIL)	
										0.60	SILT, minor fine sand, trace fine to coarse subrounded gravel, brown. Stiff to very stiff, moist, non-plastic. (ENGINEERED FILL)	
										1.00	SILT, minor fine sand, light brown, mottled orange. Stiff, moist to wet, non-plastic. (ALLUVIAL DEPOSITS)	
										1.70	Fine sandy SILT, wet.	
										2.00		
										2.10		
										2.50	Silty fine SAND, greyish brown. firm, wet to saturated. (ALLUVIAL DEPOSITS)	
										2.20	Fine to medium silt, saturated.	
											End Of Hole At 2.50 m	
										3.00		
								4.00				
KEY D - Disturbed Sample B - Bulk Sample W - Water Sample V - Hand Shear Vane kPa  - Groundwater Strike  - Groundwater Level									REMARKS Hole Collapse			



Project Title: 115 Halswell Junction Road, Halswell, Christchurch

Project Number: 18594

Client: Suburban Estates Ltd

Lot 09, DCP01

GL (mAOD):

N Coord: 0

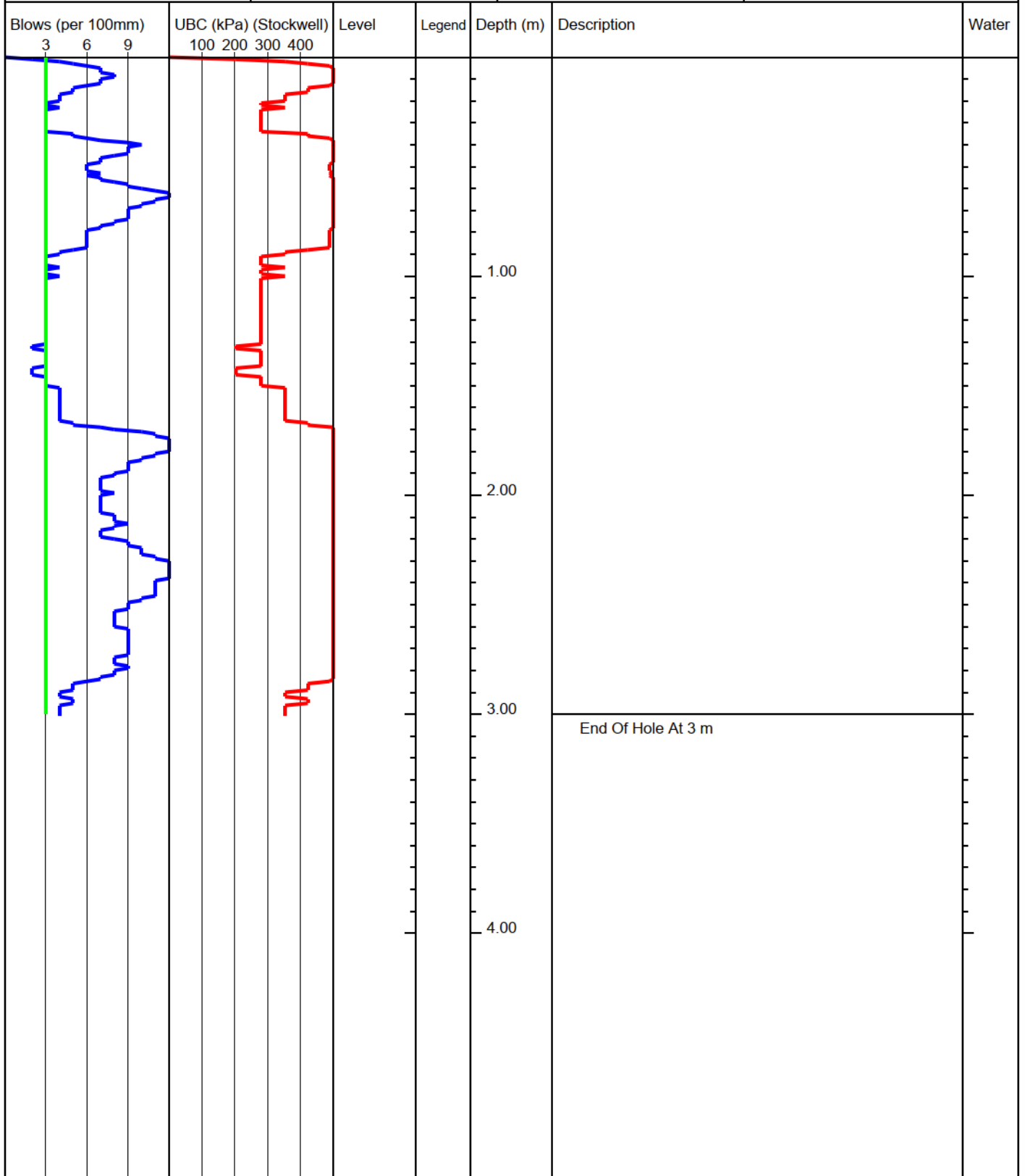
E Coord: 0

Date:

Method:

Logged By:

Scale: 1:25 Sheet 1 Of 1



KEY

D - Disturbed Sample

B - Bulk Sample

W - Water Sample

V - Hand Shear Vane kPa

▽ - Groundwater Strike

▼ - Groundwater Level

REMARKS

No Groundwater Encountered



Project Title: 115 Halswell Junction Road, Halswell, Christchurch

Project Number: 18594

Client: Suburban Estates Ltd

Lot 09, DCP02

GL (mAOD):

N Coord: 0

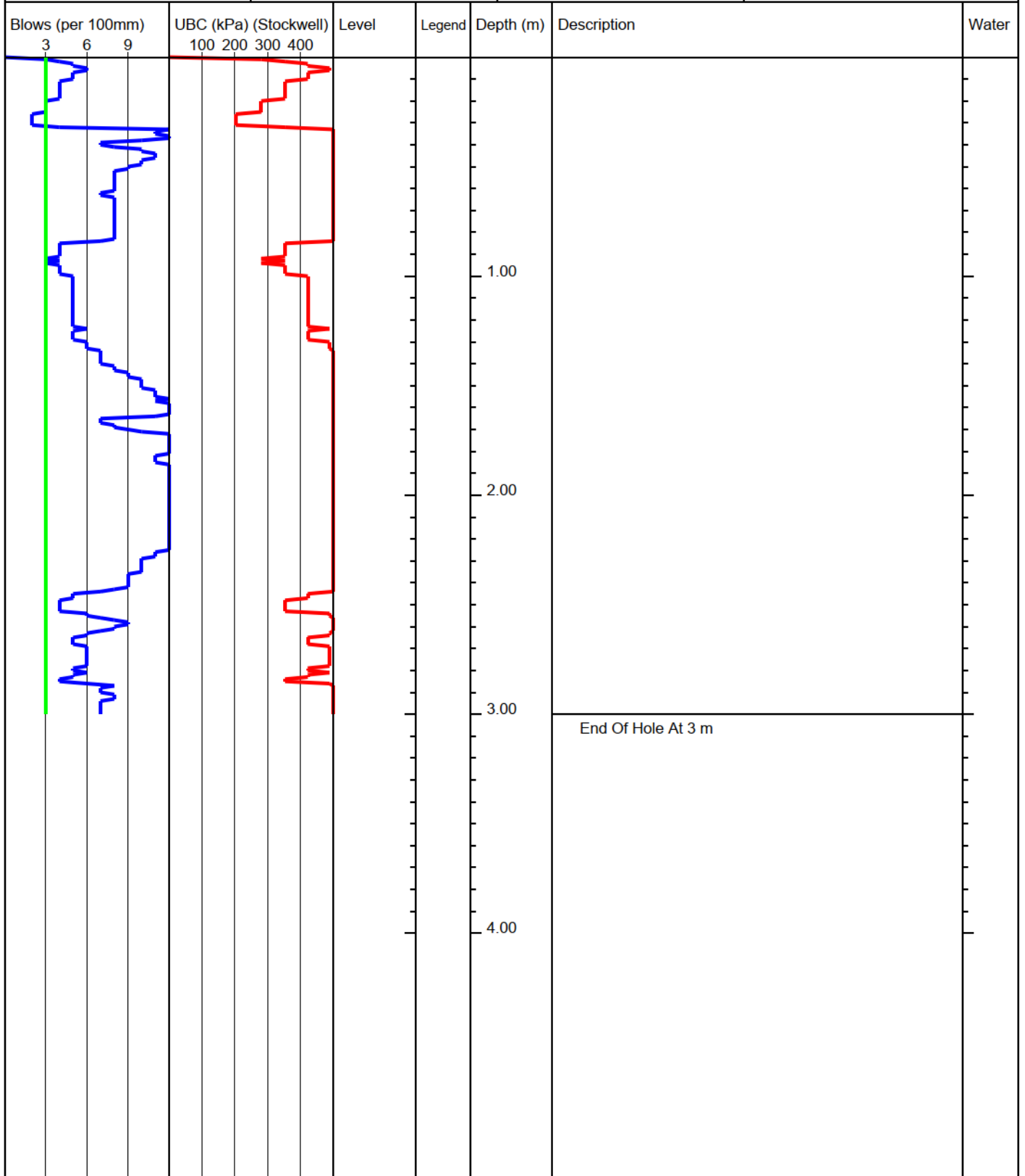
E Coord: 0

Date:

Method:

Logged By:

Scale: 1:25 Sheet 1 Of 1



KEY

D - Disturbed Sample

B - Bulk Sample

W - Water Sample

V - Hand Shear Vane kPa

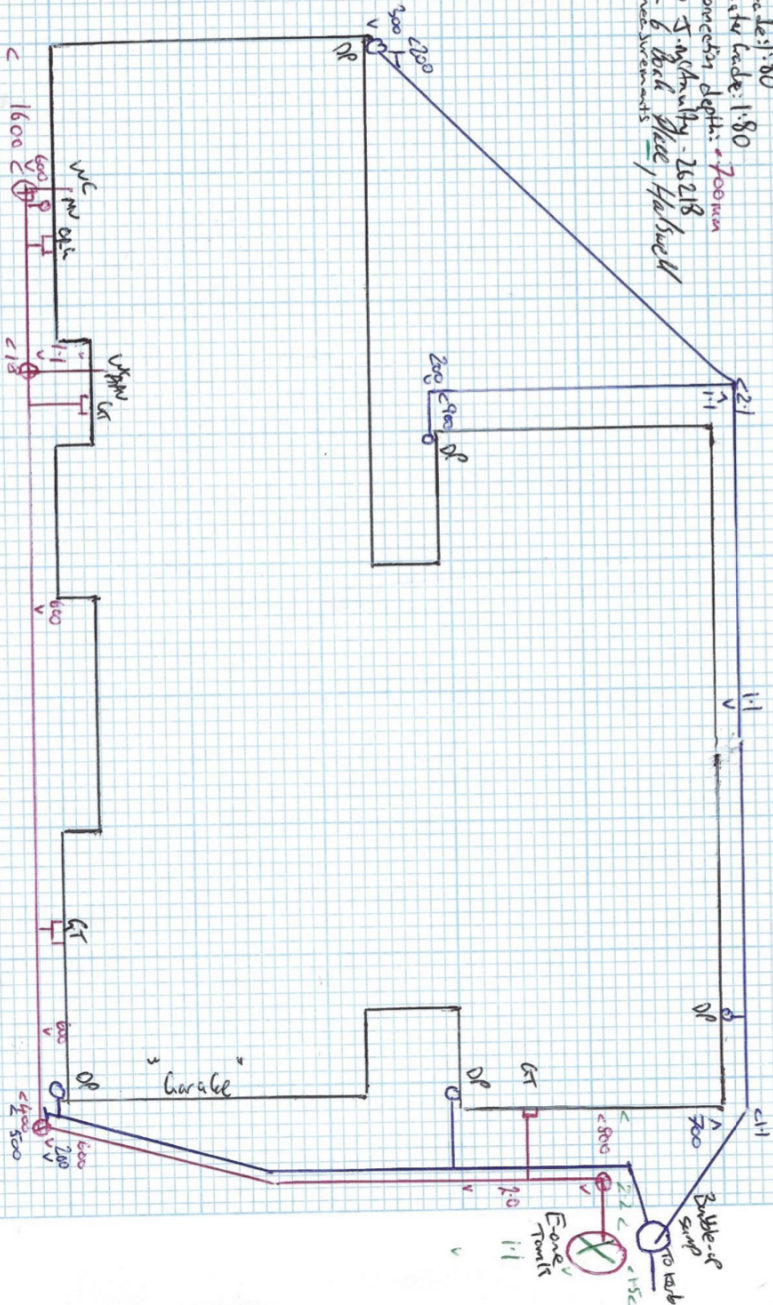
▽ - Groundwater Strike

▼ - Groundwater Level

REMARKS

No Groundwater Encountered

Date: 30-3-2021
 B.C. Number: 9010/11460
 Sewer line: 80
 Storm water line: 1.80
 Sewer connection depth: 700 mm
 Cent. no. of manhole: 20218
 Address: 6 Ward, Haldwari
 E.C. measurements



3m Orange

DESIGNED: LM
DRAWN: LM

Compliance and Electrical Safety Certificate



Reference/Certificate ID No:

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

Contact Details:
(Name and address)

Name of
Electrical worker:

Registration/Practising
licence number:

Organisation/company:

Phone and email:

Name of person(s)
supervised

CoC

Type of work:

☐ Additions

☐ Alterations

☒ New work

The prescribed electrical work is:

☒ Low risk

☐ General

☐ High risk (Specify):

Reference Standards:

☒ Part 1 of AS/NZS 3000

☐ Part 2 of AS/NZS 3000

☐ Additional Standards:

Description of Work: (including date/s of work and type of supply system)

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

☐ Has been installed in accordance with a certified design¹

☒ Has an earthing system that is correctly rated (where applicable)

☒ Contains fittings that are safe to connect to a power supply

☐ Relies on a supplier Declaration of Conformity¹

☐ Relies on a manufacturer's instructions¹

☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010

☒ Is safe to connect

Electronic/Other reference:

Certifier's signature:

Test Results:

Polarity
(independent earth):

Insulation resistance:

Earth continuity:

Bonding:

Other (specify):

Date:

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's
name:

Registration/Practising
licence number:

Certifier's
signature:

Certificate
Issue Date:

Connection
Date:

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

Safety Certificate



Reference/Certificate ID No:

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

Lot 7 Country Palms, Hakwell 7675

Contact Details:
(Name and address)

Phoenix Homes

Name of
Electrical worker:

Alan Hoddart

Registration/Practising
licence number:

E4051

Organisation/company:

New Zealand Heat Pumps Ltd

Phone and email:

0800 280 400

Name of person(s)
supervised

CoC

Type of work:

☐ Additions

☐ Alterations

☒ New work

The prescribed electrical work is:

☒ Low risk

☐ General

☐ High risk (Specify):

Reference Standards:

☒ Part 1 of AS/NZS 3000

☐ Part 2 of AS/NZS 3000

☐ Additional Standards:

Description of Work: (including date/s of work and type of supply system)

Install 1x Mitsubishi Ducted AC system
Install Airtouch
230V MEN

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

- ☐ Has been installed in accordance with a certified design¹
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☐ Relies on a supplier Declaration of Conformity¹
- ☐ Relies on a manufacturer's instructions¹
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

Electronic/Other reference:

Certifier's signature:

A Hoddart

Test Results:

Polarity
(independent earth):

Insulation resistance:

Earth continuity:

Bonding:

Other (specify):

Date:

19 July 2021

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's
name:

Alan Hoddart

Registration/Practising
licence number:

E4051

Certifier's
signature:

A Hoddart

Certificate
Issue Date:

19 July 2021

Connection
Date:

19 July 2021

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



Electrical Workers Registration Board

SAFETY | COMPETENCY | COMPLIANCE

Electrical Certificate of Compliance and Electrical Safety Certificate

Reference/Certificate ID No: WPCOC20210803-1



This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under **Part 1 or Part 2 of AS/NZS 3000** are safe to be connected to the **specified** system of electrical supply.

LOCATION AND CONTACT

Location Details	Lot 9, 6 Boag place, Halswell, Christchurch	Contact Address	34 Beachvale Dr, Kaiapoi
Contact Name	Phoenix Homes Ltd	Postcode	7630
Name of Electrical worker:	Jianluan Chen	Registration/Practising licence number:	EE 269405
Organisation/ company:	Wallpower Electrical Services Limited		
Phone:	02108284445	Email:	office@wallpower.co.nz
Name of person(s) supervised:	Xingyun Zhou, Zhibin Song		

CoC

Type of work:	☐ Additions	☐ Alterations	☒ New work
The prescribed electrical work is:	☐ Low risk	☒ General	☐ High risk (specify):
Reference Standards:	☐ Part 1 of AS/NZS 3000	☒ Part 2 of AS/NZS 3000	
	☐ Additional Standards:		

Description of work: (including date/s of work and type of supply system)

230VAC MEN, Install 20A D curve MCB. Install 20A IP65 Isolator. Connect Ecoflow pump control panel.

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

Select those that apply:

- ☐ Has been installed in accordance with the specified certified design¹
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☐ Relies on a supplier Declaration of Conformity¹
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

Electronic/Other reference:

Certifier's signature:

陈剑变

Test Results	
Polarity (independent earth):	PASS
Insulation resistance:	PASS
Earth Continuity:	PASS
Bonding:	PASS
Fault Loop impedance:	PASS
Other (specify):	

Date: 03 / 08 / 2021

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:	Jianluan Chen	Registration/Practising licence number:	EE 269405
Certifier's signature:	陈剑变	Certificate Issue Date:	03 / 08 / 2021
		Connection Date:	03 / 08 / 2021

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



Electrical Workers Registration Board

SAFETY | COMPETENCY | COMPLIANCE

Electrical Certificate of Compliance and Electrical Safety Certificate

Reference/Certificate ID No: WPCOC20210803



This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under **Part 1 or Part 2 of AS/NZS 3000** are safe to be connected to the **specified** system of electrical supply.

LOCATION AND CONTACT

Location Details	Lot 9, 6 Boag place, Halswell, Christchurch	Contact Address	34 Beachvale Dr, Kaiapoi
Contact Name	Phoenix Homes Ltd	Postcode	7630
Name of Electrical worker:	Jianluan Chen	Registration/Practising licence number:	EE 269405
Organisation/company:	Wallpower Electrical Services Limited		
Phone:	02108284445	Email:	office@wallpower.co.nz
Name of person(s) supervised:	Xingyun Zhou, Zhibin Song		

CoC

Type of work:	☐ Additions	☐ Alterations	☒ New work
The prescribed electrical work is:	☐ Low risk	☒ General	☐ High risk (specify):
Reference Standards:	☐ Part 1 of AS/NZS 3000	☒ Part 2 of AS/NZS 3000	
	☐ Additional Standards:		

Description of work: (including date/s of work and type of supply system)

230VAC MEN, electrical work for new residential house. See attached material list for parts installed. Mains work is recorded in another CoC and is inspected by Telpower.

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

Select those that apply:

- ☐ Has been installed in accordance with the specified certified design¹
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☐ Relies on a supplier Declaration of Conformity¹
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

Electronic/Other reference:

Certifier's signature:

陈剑变

Test Results	
Polarity (independent earth):	PASS
Insulation resistance:	PASS
Earth Continuity:	PASS
Bonding:	PASS
Fault Loop impedance:	PASS
Other (specify):	

Date: 03 / 08 / 2021

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:	Jianluan Chen	Registration/Practising licence number:	EE 269405
Certifier's signature:	陈剑变	Certificate Issue Date:	03 / 08 / 2021
		Connection Date:	03 / 08 / 2021

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

WallPower Electrical Services Ltd

Materials List

Client: Phoenix Homes Limited

Issue Date: 3-Aug-21

Site Address: Lot 9, 6 Boag place, Halswell, Christchurch



Item	Qty	Item	Qty
General		Power - Dishwasher	1
Meter Box (MB)		Under Tile Heating	
Distribution Board (DB)	1	LED Strip Light	
Communication Box (CB)	1	Communications	
Grinder Pump Connection	1	TV Aerial	
Interior General Socket	30	TV Outlet	
Exterior General Socket		Phone Outlet	
Power - HWC		Data Outlet	
Power - Exterior Gas Connection	1	Laundry	
Lighting		Extractor Fan (150mm)	
Interior LED Downlight	30	Power - Washing Machine	1
Interior Spot Light		Power - Dryer	
Interior Wall Light		Garage	
Mirror Light		Power - Garage Door Motor	1
Exterior LED Downlight		Press Switch - Garage Door	1
Exterior Twin Spot Light	4	Special	
Exterior Wall Light	3	Interior Sensor	
Garage LED Batten	2	Exterior Sensor	1
Interior Step Light		Door Bell	1
Kitchen Island Light		Stereo System	
2-Way Switch		Home Automation	
3-Way Switch		Alarm (Arrowhead)	
Bathroom		Alarm (Bosch) - Touch Screen Keypad	
Towel Rail (450 wide 7 bars square)	2	Alarm (Bosch) - Remote Pack	
Extractor Fan (150mm)	2	Smoke Alarm	
Mirror Demister		LED Dimmer	
Heater	2	Attic - Light	
Heat Light Fan Unit (2 Bulb)		Attic - Power	
Heat Light Fan Unit (4 Bulb)		Stereo System	
Under Tile Heating		Home Automation	
Kitchen		Temporary Power	
Rangehood Duct	1	Main Cable (Boundary to MB)	
Pantry Extractor Fan (150mm)		Security Camera	
Power - Oven	1	Other Lights	
Power - Hob	1	Air Conditioning (Daikin & Mitsubishi)	
Power - Waste Disposal		Ducted Heat Pump	
Power - Island	1	High-Wall Heat Pump	
Power - Microwave	1		
Power - Fridge	1		
Power - Rangehood	1		



RECORD OF INSPECTION (RoI) OF HIGH-RISK PRESCRIBED ELECTRICAL WORK PURSUANT TO THE ELECTRICAL (SAFETY) REGULATIONS 2010

Reference / Record ID Number: 7199559RN589

Issuer (Inspector) details:

Name of Inspector: Alex Levartovskyi

Registration #: 1260238

Email address: inspections@telpower.co.nz

Telephone: 03 339 4150

Location of installation:

Location details: 6 Boag Place, Halswell

Location type: ☒ Domestic ☐ Non-Domestic Accommodation ☐ Industrial ☐ Commercial
☐ Educational ☐ Healthcare ☐ Miscellaneous (other)

Certifying Electrical Work and Certificate of Compliance (CoC) details:

Name of Electrical worker(s):

Julian Chen

Registration #:

EE269405

CoC details:

614

☒ CoC(s) attached

Certifying Electrical Work and RoI details:

What was inspected:

Mains, Main Earth, MEN Link, Polarity, ~~Rotation~~, RCD

Specify the regulation(s) and companion standard(s), or identify the certified design, followed when carrying out the inspection:

ESR2010, AS/NZS 3000:2007 Part 2, AS/NZS 3012:2010

ECP34

What are the results of the inspection:

Line R	999 MΩ	Load	999 MΩ	Loop Test	R	239 V	0.11 Ω	2.06 A
Line W	MΩ	Load	MΩ		W	V	Ω	A
Line B	MΩ	Load	MΩ		B	V	Ω	A
Line RW	MΩ	Load	MΩ	RCD Test	37 ms	19 x5	9 ms	mA
Line RB	MΩ	Load	MΩ		ms	x5	ms	mA
Line WB	MΩ	Load	MΩ		ms	x5	ms	mA
Earth Resistance	0.17 Ω	Polarity Correct	✓	Rotation	Clockwise / Anticlockwise	Bond	0.05 Ω	

High Risk Category:

- ☐ Not to AS/NZS 3000 Part 2 – 6A(2)(a)(i) ☐ Photovoltaic system – 6A(2)(a)(iv) ☐ Electrical medical area – 6A(2)(a)(vi)
☐ High voltage installation – 6A(2)(a)(ii) ☐ Hazardous area – 6A(2)(a)(v) ☒ Mains work – 6A(2)(b)
☐ Mains parallel generation – 6A(2)(a)(iii) ☐ Animal stunning or meat conditioning 6A(2)(c)
☐ Other – please describe:

Declaration

I hereby confirm that the work described above has been done in / ~~not in~~ accordance with the regulations; and the part installation on which the work has been done is, and will be / ~~not be~~, when enlivened, electrically safe.
(Note: Strike out or delete the inapplicable words highlighted in red above.)

Signature:

Date:

18.6.21.



ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE

REFERENCE / CERTIFICATE ID No.: 7199559RN589

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

6 Boag Place, Halswell

Contact Details:

(Name and address)

Wiley

Name of Electrical worker:

Alex Levartovskyi

Registration/Practising licence number:

1260238

Phone & email:

03 339 4150 inspections@telpower.co.nz

Company:

Telpower Canterbury Ltd – Inspections Division

Certificate of Compliance

Type of work:

☐ Addition

☐ Alteration

☒ New Work

The prescribed electrical work is:

☐ Low Risk

☒ General

☐ High Risk (Specify):

Means of compliance:

☐ Part 1 of AS/NZS 3000

☒ Part 2 of AS/NZS 3000

Additional Standards or electrical code of practice were required:

☒ No ☐ Yes (specify):

Date or range of dates that prescribed electrical work undertaken:

18.6.21

Contains fittings that are safe to connect to a power supply?

☒ Yes

☐ No

Specify type of supply system:

MEN

The installation has an earthing system that is correctly rated (where applicable)

☒ Yes

☐ No

Parts of the installation to which this certificate relates that are safe to connect to a power supply?

☐ All ☒ Parts (Specify)

Metering

The work relies on manufacturers instructions:

☐ Yes

☒ No

If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer's instructions to this certificate.

(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work has been done in accordance with a certified design:

☐ Yes

☒ No

If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate.

(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work relies on a Supplier Declaration of Conformity (SDoC):

☐ Yes

☒ No

If yes - identify the SDoC including name, date and version OR EESS registration. Also attach a copy of the SDoC to this certificate.

(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010

☐ No

☒ Yes

Description of Work:

This COC / ESC covers the installation of the revenue metering and connection from network supply to main switch.

Test Results (provide values)

Polarity	
(Independent earth):	—
Insulation resistance:	— Ohms
Earth Continuity:	— Ohms
Bonding:	— Ohms
Fault Loop impedance	— Ohms
Other (specify):	

By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.

Certifier's signature:

Date:

18.6.21

Electrical Safety Certificate

By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:

Alex Levartovskyi

Registration/Practising

licence number:

1260238

Certifier's signature:

Certificate Issue Date:

18.6.21

Connection Date:

18.6.21

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This Electrical Safety Certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



Electrical Workers Registration Board

SAFETY | COMPETENCY | COMPLIANCE

Electrical Certificate of Compliance and Electrical Safety Certificate

Reference/Certificate ID No: WPCOC20210614



This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under **Part 1 or Part 2 of AS/NZS 3000** are safe to be connected to the **specified** system of electrical supply.

LOCATION AND CONTACT

Location Details: Lot 9, 6 Boag place, Halswell, Christchurch
Contact Name: Phoenix Homes Ltd
Contact Address: 34 Beachvale Dr, Kaiapoi
Postcode: 7630

Name of Electrical worker: Jianluan Chen
Registration/Practising licence number: EE 269405
Organisation/company: Wallpower Electrical Services Limited
Phone: 02108284445
Email: office@wallpower.co.nz
Name of person(s) supervised: Xingyun Zhou

CoC

Type of work: ☐ Additions ☐ Alterations ☒ New work
The prescribed electrical work is: ☐ Low risk ☐ General ☒ High risk (specify): Mains
Reference Standards: ☐ Part 1 of AS/NZS 3000 ☒ Part 2 of AS/NZS 3000
☐ Additional Standards:

Description of work: (including date/s of work and type of supply system)

230VAC MEN. Install main switchboard, including 63A main isolator, 63A MCB, MEN link, terminate main earth, neutral, and phase conductors.

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

Select those that apply:

- ☐ Has been installed in accordance with the specified certified design¹
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☐ Relies on a supplier Declaration of Conformity¹
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

Electronic/Other reference:

Certifier's signature:

陈剑变

Test Results	
Polarity (independent earth):	
Insulation resistance:	PASS
Earth Continuity:	PASS
Bonding:	PASS
Fault Loop impedance:	
Other (specify):	

Date: 14 / 06 / 2021

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

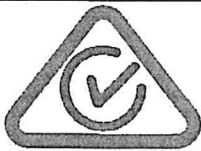
ESC

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name: Registration/Practising licence number:

Certifier's signature: Certificate Issue Date: Connection Date:

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS
This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE

REFERENCE/CERTIFICATE ID No.: 16684

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

Lot 9, 6 Boag Place, Country Palms, Halswell

Contact Details:
(Name and address)

Phoenix Homes: director@phoenixhomes.co.nz

Name of Electrical worker:

Chris Lavelle

Registration/Practising licence number:

LMD271473

Phone & email:

operations@telpower.co.nz 033394150

Name and registration number of person(s) supervised:

Certificate of Compliance

Type of work:

☐ Addition

☐ Alteration

☒ New work

The prescribed electrical work is:

☐ Low risk

☐ General

☒ High-risk (Specify):

Means of compliance:

☐ Part 1 of AS/NZS 3000

☒ Part 2 of AS/NZS 3000

Additional Standards or electrical code of practice were required:

☒ No

☐ Yes (specify):

Date or range of dates that prescribed electrical work undertaken:

6/09/2019

Contains fittings that are safe to connect to a power supply?

☐ Yes

☐ No

Specify type of supply system:

The installation has an earthing system that is correctly rated (where applicable)

☒ Yes

☐ No

Parts of the installation to which this certificate relates that are safe to connect to a power supply?

☐ All

☐ Parts (specify)

The work relies on manufacturers instructions:

☐ Yes

☒ No

If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer's instructions to this certificate.

(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work has been done in accordance with a certified design:

☐ Yes

☒ No

If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate.

(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The work relies on a Supplier Declaration of Conformity (SDoC):

☐ Yes

☒ No

If yes - Identify the SDoC including name, date and version OR EESS registration. Also attach a copy of the SDoC to this certificate.

(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:

Link:

The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010

☐ No

☒ Yes

Description of Work:

Installed 16mm 1-Phase NS mains + bare earth in an open trench

Test Results (provide values)

Polarity (Independent earth):	
Insulation resistance:	1000M Ohms
Earth Continuity:	Ohms
Bonding:	Ohms
Fault Loop Impedance:	Ohms
Other (specify):	

By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.

Certifier's signature:

Date: 31/03/2021

Electrical Safety Certificate

By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:

Registration/Practising licence number:

Certifier's signature:

Certificate Issue Date:

Connection Date:

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This Electrical Safety Certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

GASFITTING CERTIFICATE OF COMPLIANCE – GAS SAFETY CERTIFICATE



Certificate of Compliance:

Client Name:

Reference / Job #: ICP (if known):

Address of work:

Suburb: Town / City:

Description of gasfitting work: (If different gasfitting work was done by different people, state who did what gasfitting.)

Installed Rinnai A26 Gas Water Heater
Installed 8kg Changeover Regulator
Installed Gas Pipe and Fittings
Certify

Gas supply pressure kPa Risk classification (tick one) ☐ Low-Risk ☒ General ☐ High-risk

Gas type (tick one) ☐ Natural gas ☒ LPG ☐ Biogas ☐ Other (specify)

The work has been done in accordance with a certified design: ☐ Yes ☒ No

If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:
Link:

The work relies on manufacturer's instructions: ☒ No ☐ Yes:

If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer's instructions to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:
Link:

The work has been done in accordance with means of compliance (specify):

☒ Yes – AS/NZS 5601.1 sections 3 to 6 ☐ Yes – AS/NZS 5601.2 sections 3 to 9 ☐ No

Were any other standards or gas code of practice required for compliance?

☐ Yes (specify) ☒ No

Parts of the gas installation to which this certificate relates that are safe to connect to a gas supply?

☒ All ☐ Parts (specify)

Date(s) on which the work was done:

Name and registration number of anyone who carried out work under supervision:

By signing this document I confirm that I am satisfied that the work described in this certificate of compliance has been done lawfully and safely, and that the information on this certificate is correct.

Certifier name: Registration number:

Certifier Signature: Date:

Gas Safety Certificate:

By signing this document I confirm that the work described in this Gas Safety Certificate, and the installation or part installation, is connected to a gas supply and is safe to use.

Name of person authorised to certify the connection:

Registration number: Date of completion or connection:

Certifier Signature: Date:

This Gas Safety Certificate confirms that the gasfitting work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

6 Boag Place Land Use Consents



**6 Boag Place
Subdivision Consents**

Fee simple
Lots:41
Approved

Fee simple

Land Use Resource Consents within 100 metres of 6 Boag Place

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

10 Blackhill Place

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

RMA/2022/3910

Construct a residential dwelling with attached garage - Lot 129 - CT7186

Processing complete

Applied 20/12/2022

Decision issued 09/01/2023

Granted 06/01/2023

12 Blackhill Place

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

121 Halswell Junction Road

RMA/2023/127

Remediation of contaminated soils and subsequent subdivision and change of use of the land under the NESCS

Processing complete

Applied 25/01/2023

Decision issued 29/03/2023

Granted 29/03/2023

RMA/2023/1345

Wastewater Capacity Certificate

Processing complete

Applied 31/05/2023

Certificate issued 09/06/2023

RMA/2023/1929

Subdivision - Fee Simple - 41 Lots with land use

Consent issued

Applied 27/07/2023

Amended decision issued - s133A 25/09/2023

Decision issued 15/09/2023

Granted 15/09/2023

RMA/2023/2366

Earthworks within five metres of future trees

Processing complete

Applied 12/09/2023

Decision issued 10/10/2023

Granted 09/10/2023

22 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

24 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

28 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

3 Herbert Street

RMA/2021/1165

Construct dwelling with attached garage

Processing complete

Applied 30/04/2021

Decision issued 12/05/2021

Granted 12/05/2021

30 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

31 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

32 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

33 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

34 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

RMA/2019/2192

Construct dwelling with attached garage

Processing complete

Applied 24/09/2019

Decision issued 03/10/2019

Granted 03/10/2019

36 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

38 Gammack Drive

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

4 Blackhill Place

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

RMA/2023/1418

Construct dwelling with attached garage

Processing complete

Applied 06/06/2023

Decision issued 20/06/2023

Granted 20/06/2023

4 Flynn Lane

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

4 Herbert Street

RMA/2021/1037

Proposed new dwelling with attached garage

Processing complete

Applied 21/04/2021

Decision issued 25/05/2021

Granted 25/05/2021

40 Gammack Drive

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land UseLinked to Global

RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

5 Luck Street

RMA/2021/1566

Construct dwelling with attached garage

Withdrawn

Applied 31/05/2021

6 Arrowsmith Drive

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

RMA/2023/367

New single-storey residential dwelling with attached garage

Processing complete

Applied 17/02/2023

Decision issued 09/03/2023

Granted 09/03/2023

6 Blackhill Place

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

6 Flynn Lane

RMA/1980/258

Consent to encroach into recession planes - Historical Reference RES9207212

Processing complete

Applied 10/12/1980

Decision issued 01/01/1999

Declined 01/01/1999

RMA/2018/1343

Surrender of Drain Easement

Processing complete

Applied 06/06/2018

Certificate issued 27/06/2018

RMA/2018/2985

Retrospective Consent is sought for the establishment of seven (7) landscape feature walls on the road boundary of seven lots within the Country Palms subdivision

Processing complete

Applied 06/12/2018

Decision issued 28/12/2018

Granted 28/12/2018

7 Arrowsmith Drive

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

RMA/2024/519

Construct dwelling with attached garage

Processing complete

Applied 01/03/2024

Decision issued 18/03/2024

Granted 18/03/2024

8 Arrowsmith Drive

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

RMA/2023/2564

CT7186 - Construction of a fence for landscaping

Processing complete

Applied 02/10/2023

Decision issued 26/10/2023

Granted 26/10/2023

8R Blackhill Place

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land UseLinked to Global
RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global
RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

9 Arrowsmith Drive

RMA/2021/1941

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land UseLinked to Global
RMA/2021/2162

Surrendered

Applied 24/06/2021

Amended decision issued - s133A 30/08/2021

Decision issued 24/08/2021

Granted 24/08/2021

RMA/2021/2162

Earthworks - Global Consent Linked to SUB RMA/2021/1941

Processing complete

Applied 12/07/2021

Decision issued 05/08/2021

Granted 05/08/2021

RMA/2021/3650

"Reapplied under 2021/22 DC Policy" - Subdivision - Fee simple - 44 lots with Land Use Linked to Global RMA/2021/2162 - Replaces SUB RMA/2021/1941

Processing complete

Applied 29/10/2021

Conditions changed/cancelled - s221 20/02/2023

s223 Certificate issued 16/02/2023

s224 Certificate issued 15/03/2023

Decision issued 10/11/2021

Granted 10/11/2021

Data Quality Statement

Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term “subdivision consents” in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied