

LAND INFORMATION MEMORANDUM REPORT

LIM NUMBER: L240311

3/81 Ward Street, Upper Hutt

VALUATION NUMBER:	1599072100C
LAND DESCRIPTION:	FLAT 3 DP 53170 1/4 SH IN 1146 M2 LOT 53 DP 1560
IDENTIFIER:	WN14B/1373
LIM APPLICANT:	Stephen Edward Jones
LIM ISSUE DATE:	26/07/2024

NOTES TO THE APPLICANT:

1. This Land Information Memorandum has been prepared for the purposes of section 44A of the Local Government and Official Information and Meetings Act 1987 and includes all of the information required to be provided pursuant to section 44A(2) that is known to the Upper Hutt City Council relevant to the land described.
2. It contains all the information described in section 44A(2) that is held by Upper Hutt City Council in relation to the land, as at the date above. It is based on a search of the Council's records only and there may be other information relating to the land which is not held by the Council. The records may not show illegal or unauthorised structures or other work on the land.
3. Every care has been taken to ensure that the information supplied by the Council on this form is accurate. The Council relies on the information available to it and will not be held responsible for incomplete or inaccurate information provided, or for any errors or omissions made in good faith.
4. Property boundaries shown on attached copies of computer generated plans or aerials are based on the Digital Cadastral Data Base and photogrammetric methods. The accuracy of the two methods of data capture is different and the relationship of buildings to boundaries cannot be relied on. Council does not hold official property boundary information. Relevant records of title and boundary dimension information should be obtained from the Land Information New Zealand.

44A (2)(a) Information Identifying Special Features or Characteristics of the Land

The Upper Hutt Region is an earthquake Zone 3 as cited in NZS3604:2011 Timber-framed buildings and NZS1170.5:2004 Structural design actions – Part 5: Earthquake actions – New Zealand.

44A (2)(b) Information on Private and Public Stormwater and Sewerage drains

Stormwater and Sewerage

The property will share common private drainage services with the adjoining flats.

The property wastewater (sewer) drain (shared private lateral) discharges to the public wastewater reticulation in the street.

Stormwater drainage serving the property is private. Private is either on-site soakage or private through to the point of discharge to the public stormwater drain or the point of discharge to a street kerb outlet (where installed).

Plumbing and Drainage Permits

13/07/1961 Plumbing/Drainage Permit 3900/4002 4 Flats complete sanitary plumbing and drainage Approved

44A(2)(ba) Section 69ZH Health Act 1956

No information located.

44A(2)(bb) Drinking Water Supply - Public network supply – refer to the UHCC Water Supply Bylaw: <https://www.upperhuttcity.com/files/assets/public/community/water-supply-bylaw-2008-2022-04.pdf>

Onsite Water Supply

The property will share common private water services with the adjoining flats.
The point of supply for water is the water toby valve in the street.

44A(2) Any rates owing in relation to the land

Rates owing at the LIM application date: \$514.04.

Note: the above figure is the amount of rates owing for the applicable quarter and does not account for full rates of a year (July 1st – June 30th).

For further information regarding rates, contact rates@uhcc.govt.nz

WARM WELLINGTON INSULATION GRANT

Please contact Greater Wellington Regional Council to find out if a Warm Greater Wellington financial advance is associated with this property on 0800 496 734 or warm@gw.govt.nz

44A(2)(d); (da); (e) - consent, certificate, notice, order, or requisition the land or any Buildings on the Land

Alcohol Licenses

No information is held by Upper Hutt City Council.

Registered Environmental Health Premises

No information is held by Upper Hutt City Council.

Resource Consents

Note: if the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property. It is recommended that the full property file is viewed and compared with the actual structure(s) and activities on the land to identify any illegal or unauthorised building works or activities.

No information is held by Upper Hutt City Council.

If you require more information about a resource consent, contact resourceconsents@uhcc.govt.nz

Building Consents and Permits

23/08/1961 Building Permit 88071 New Carport: Approved

17/04/1961 Building Permit 0480 New flats (4): Approved

If you require more information about a building consent or permit, please contact the building team at buildingadmin@uhcc.govt.nz

Notes:

1. Code Compliance Certificate may only be issued for Building Consents. When a Building Consent is amended the amendment becomes part of the original Building Consent. The Code Compliance Certificate when issued also certifies the work described in the amendment and a separate Code Compliance Certificate for the amendment will not be issued.
2. Code Compliance Certificates were only issued from 1 July 1992 onwards.
3. Final inspections on buildings were not mandatory prior to 1 January 1993. Should an evaluation of the building be required an independent qualified person should be consulted. In the interests of safety, an inspection of any fireplace within the dwelling may be requested of Council at any time, after paying the appropriate fee.

Pools

No pool is registered to this site. If you do have a Spa Pool or Pool please contact the Council on pools@uhcc.govt.nz.

Spa pools and swimming pools need to comply with F9 Code Clause, Means of restricting access to residential pools.

44A(2)(ea) Information notified to Council under Section 124 Weathertight Homes Resolution Services Act 2006

No information is held by Upper Hutt City Council.

44A(2)(f); (g); (h) - Classification of Land and Buildings

Earthquake prone buildings (Section 124 Building Act 2004)

The building or buildings situated on the land described in this LIM are excluded from the national system for managing earthquake-prone buildings. The Council does not assess excluded buildings in accordance with the national earthquake-prone building methodology.

Conditions of Notice to Rectify

No information is held by Upper Hutt City Council.

Conditions of Dangerous and Insanitary Buildings

No information is held by Upper Hutt City Council.

Zoning

District Plan Zone: High Density Residential

Full details of the zone requirements can be found in the Upper Hutt City Council Operative District Plan 2004 (<https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan>)

District Plan Overlays or Features:

Hazards:

A map showing known hazards in the area (if any) is attached to this report.

- No specific hazards identified for the subject site.

Other Features or Overlays

- No other features or overlays identified for the subject site.

Full details of overlays and features can be found in the Upper Hutt City Council Operative District Plan 2004 (<https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan>)

Proposed Plan Changes:

PC50 - Rural

Council has recently notified a plan change (Plan Change 50) relating to the rural zone. Further submissions on this plan change have now closed and Council are currently reviewing feedback. Further information can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and->

[reports/District-Plan/PC50](#) or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

PC54 - Commercial/Industrial

Commercial and Industrial zones are currently being reviewed as part of Plan Change 54 (Commercial and Industrial Captors Review). Further information can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan/PC54> or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

PC47 – Natural Hazards

Council recently notified a plan change (Plan Change 47) relating to Natural Hazards, which covers the Wellington Faultband, Mangaroa Peatlands and Area of High Slope. This plan change has been heard by an Independent Commissioner and a decision on the plan change is anticipated to be made by Council late 2024.

Further information on the proposed hazard and the plan change can be found at: <https://www.upperhuttcity.com/Your-Council/Plans-policies-bylaws-and-reports/District-Plan/PC47> or by contacting the Planning Policy team at: UHCC.Planning@uhcc.govt.nz

44A(2)(h) - Network Utility Operators

Information related to the availability of supply, authorisations etc (eg, electricity or gas) can be obtained from the relevant network utility operator.

Other Information – 44A(3)

No title search has been done on this property. Upper Hutt City Council may hold information that is additional to the information provided in this LIM. This can be obtained by making an official information request under the Local Government Official Information and Meetings Act 1987.



Te Kaunihera o
Te Awa Kairangi ki Uta
Upper Hutt City Council

Plumbing and Drainage

L240311 - SERVICES



PROPERTY	UHCC 3 WATERS SERVICES
Land Parcels	WATER
Titles	Water Hydrant
Easement	Fire Service Valve
Esplanade Strip	Water Valve
Covenant	Water Service Valve
QEII National Trust	Water Reservoir or Tank
PRIVATE DRAINAGE	Water Pumpstation
Water Valve	Water Pump
Water Tank	Water Meter
Wastewater Manhole	Water Fitting
Wastewater Septic Tank	Transmission Main
Stormwater Inlet	Water Pipe
Stormwater Joint	Rider Main
Stormwater Lamphole	Service Connection
Stormwater Manhole	WASTEWATER
Stormwater Outlet	Wastewater Pumpstation
Stormwater Soakpit	Wastewater Pump
Stormwater Sump	Manhole
Unknown	Lamphole
Potable Water Pipe	Valve
Wastewater Pipe	Chamber
Stormwater Pipe	Pump or Pumpstation
ABANDONED SERVICES	Wastewater Node
Potable Water Pipe	Wastewater Pressure Pipe
Wastewater Pipe	Trunk Main
Stormwater Pipe	Main
	Private Connection Pipe
	STORMWATER
	Stormwater Pumpstation
	Manhole
	Lamphole
	Sump
	Inlet
	Outlet
	Stormwater Node
	Stormwater Pipe
	Sump Lead
	Stormwater Open Channel
	Stormwater Connection Pipe
	ABANDONED SERVICES
	Abandoned Node
	Abandoned Wastewater Pipe
	Abandoned Stormwater Pipe



Property boundaries may not be survey-accurate, and can only be verified by a licensed cadastral surveyor. Cadastral information is derived from Land Information New Zealand. Crown Copyright Reserved. This map is drawn on the New Zealand Transverse Mercator projection, using New Zealand Geodetic Datum 2000. The wind zone data may not be used to determine the wind zone or speed for design purposes or a building consent application. Wind zone or speed must be determined by applying the methodologies in NZS 3604:2011 Timber framed buildings or AS/NZS 1170 Structural Design Actions Part 2: 2002 Wind Actions.

0 5 10m

Scale to A4: 1:500
Date: 7/18/2024

Upper Hutt Borough Council

APPLICATION

[See Plan over.]

FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

I, the undersigned (name in full) Robert Alexander Moore hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated:—

Lot 53 D.P. 1560 Section.....

Street 81 WARD ST

Owner MRS McNicol

Description of Work: 4 FLATS. complete sanitary plumbing

Estimated Cost of Work: Drainage £97-0-0 Permit Fee £1-0-0

Plumbing £1-0-0/600 Permit Fee £4-0-0

I authorise W J Bell Licensed Drainlayer, of Upper Hutt
and R A Moore Registered Plumber, of Upper Hutt

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt Borough Council.

Signature of Applicant: R. A Moore

Address: 11 Robertson Street

Date: 21st June 1961

FOR OFFICE USE ONLY.

Receipt No. 7054 Date 21-6-1961

Plumbing Permit No. 3900 Date " " 19 " "

Receipt No. 8941 Date 13 July 61 19

Drainage Permit No. 2002 Date " " 19

Building Permit No. 480 Date 17-4-1961

Drainlayer Completing Work: Name W Bell

Plumber Completing Work: Name

Date of Inspection: 21-7-1961

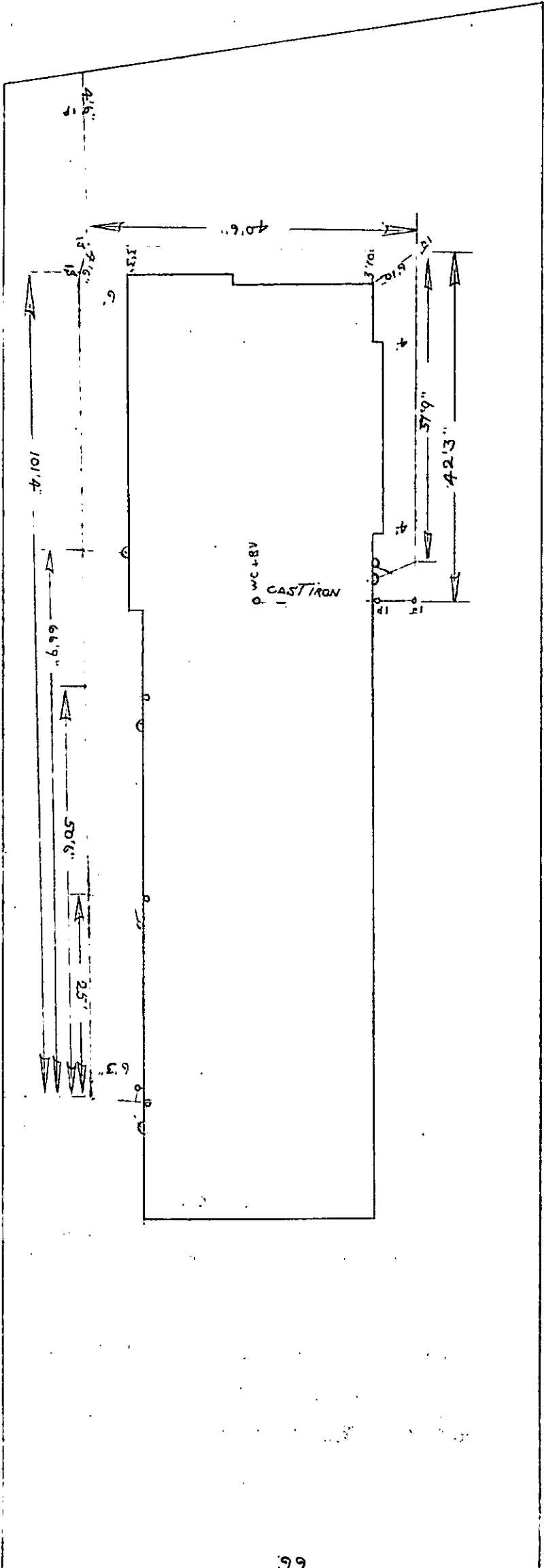
Completion Certificate No. Date

Sanitation Advances Account Application No. Date

PERMIT FEES PAYABLE FOR SANITARY WORK:

ESTIMATED VALUE OF WORK		FEE PAYABLE		
		£	s.	d.
Not exceeding	£5	0	1	0
Exceeding	£5 but not exceeding	0	2	6
"	£10	0	5	0
"	£25	0	10	0
"	£50	1	0	0
"	£100	1	10	0
"	£150	2	0	0
"	£200	plus 10/- for every £100 or part thereof in excess of £200.		

Note.—In assessing the value of the work, no single fitting shall be deemed to have a value exceeding £50.





Building

DATE 23-8 1961

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,
Upper Hutt Borough Council.

Postal Address:—
Upper Hutt Borough Council,
Private Bag.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in WARD STREET.

1. NATURE OF BUILDINGS CAR PORT
Dwellings etc.; new, additions or alterations.

MATERIALS NEW
(State if new or second hand and where from)

2. ALLOTMENT: Lot: 53 D.P. 1560 Section

3. OWNER'S NAME Mrs. Mc Nicol

ADDRESS WARD STR. UPPER HUTT.

4. PREVIOUS OWNER (If Section has been recently transferred)

5. FRONTAGE (Length) 67-0" Name of Street or Road WARD STR.

6. ESTIMATED VALUE OF BUILDING £ 150 : - : -

Total £ 150 : - : -

7. FEES (herewith) : :
See Scale of Fees on Back Page

Building £ 1 : 0 : -
Crossing £ : :
Water Connection £ : :

No. of Receipt 13112 24/8/61

NOTE:—The following MUST accompany this Application:—

- (a) Ground Plans of Proposed Work:
- (b) Front Elevation:
- (c) Sections: Cross and Longitudinal:
Ground Plan must show position of all sanitary fittings.
- (d) One Copy of Specifications of BUILDING and Materials to be used:
PLANS must be submitted in TRIPLICATE.
- (e) One Plan Only required for GARAGES and SHEDS.
- (f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- (g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

SIGNATURE OF APPLICANT [Signature] as BUILDER or ~~OWNER~~

ADDRESS 1 Wallaceville Hill Rd Upper Hutt.

BUILDER'S NAME AND ADDRESS (If not the applicant.)

All work will be carried out in accordance with Upper Hutt Borough By-laws.

DATE 17-4 1961

APPLICATION FOR BUILDING PERMIT

TO THE BOROUGH ENGINEER,
Upper Hutt Borough Council.

Postal Address:—
Upper Hutt Borough Council,
Private Bag.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in WARD STREET.

1. NATURE OF BUILDINGS FLATS (4) (3 consent & security form = 4)
Dwellings etc.; new, additions or alterations.

MATERIALS NEW
(State if new or second hand and where from)

2. ALLOTMENT: Lot: 53 D.P. 1560 Section

3. OWNER'S NAME MRS MCNICOL

ADDRESS WARD ST. UPPER HUTT

4. PREVIOUS OWNER (If Section has been recently transferred)

5. FRONTAGE (Length) 67' Name of Street or Road WARD ST.

6. ESTIMATED VALUE OF BUILDING
£ : :
Total £ 6755- -

7. FEES (herewith) : :
See Scale of Fees on Back Page

Building £ 22 : - : -
Crossing £ 15 : - : -
Water Connection £ 25 : - : - 762

No. of Receipt 61361/2 17/4/61

NOTE:—The following MUST accompany this Application:—

- (a) Ground Plans of Proposed Work:
- (b) Front Elevation:
- (c) Sections: Cross and Longitudinal:
Ground Plan must show position of all sanitary fittings.
- (d) One Copy of Specifications of BUILDING and Materials to be used:
PLANS must be submitted in TRIPLICATE.
- (e) One Plan Only required for GARAGES and SHEDS.
- (f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- (g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

SIGNATURE OF APPLICANT W.A. Anty as BUILDER or OWNER

ADDRESS 1 Wallaceville Hill Rd Upper Hutt

BUILDER'S NAME AND ADDRESS (If not the applicant.)

All work will be carried out in accordance with Upper Hutt Borough By-laws.

S P E C I F I C A T I O N

FOR THE ERECTION OF A BLOCK OF FLATS

ON LOT

D.P.

for

1. GENERAL: The Contractor shall provide all material, labour, cartage, plant, temporary work, and everything necessary for the due and proper completion of the works set out below. All materials shall be the best of their respective kinds.
2. PLANS AND SPECIFICATIONS: The plans and specifications shall be read together and anything shown and not specified, or vice versa, shall be equally binding as though included in both.

EXCAVATOR

1. Contractor shall excavate for all piles, foundations, footings, steps etc., as shown on drawings. Excavate for drains where required and as indicated on plans. All surplus spoil shall be deposited on the site where directed.

CONCRETOR

1. CEMENT AND SHINGLE: Cement of approved brand; sand well washed, clean and sharp; metal broken stone (clean), or crushed metal.
2. CONCRETE: For all piles, footings, steps etc., shall be a 4: 2: 1 mix - machine-mixed and well rammed into trenches and boxing.
3. BASE WALLS: Base walls to be 6" thick and splayed as shown. Walls to have footings 12" x 6" reinforced with one 1/2" diameter rod hooked and lapped 20" and one 3/8" rod.
4. PILES: All piles to be of concrete not less than 8" x 8" square.
5. VENTS: Vents to be 12" x 6" spaced 3 ft. from angles and not more than 6 ft. apart.
6. WIRE TIES: Insert in concrete to base wall and piles, ties of No.8 galvanised wire or 1/2" diameter bolts as shown on the plan well anchored in the concrete to secure plates and sleepers.
7. DAMP COURSE: Damp course of two ply malthoid or other approved material.
8. STEPS: Provide concrete steps as shown on the plan to front and back porches, risers, to be not more than 7" in each case.
9. PORCH FLOORS: Porch floors to be of concrete to the correct levels and with the necessary fall to the steps. Floors to be either solid concrete or filled with solid rubble and covered with a concrete slab 4" thick.

DRAINLAYER

1. SEWER AND STORMWATER: Lay sewer and stormwater drains as shown on drawing. All drainage to comply with Local Body By-laws and to be to the satisfaction of the Sanitary Inspector concerned.

BRICKLAYER

1. BRICKS: All bricks to be machine made approved first quality hard burnt, free from defects, and of stock size.
2. CHIMNEY: To be standard precast three parallel type, to soffit height 20 x 16 thereafter.
3. ELECTRIC FIRE: Surround optional to value of £18.

CARPENTER

1. SCHEDULE OF TIMBERS:

Wall Plates	4" x 2"	Bldg. Ht.	Rimu or Totara
Sleeper Plates	4" x 3"	"	"
Floor Joists	5" x 2"	"	"
Sub and top plates	4" x 2"	O.B.	Rimu
Studs (ordinary)	4" x 2"	"	"
Studs (for 3-light openings or over)	4" x 3"	"	"
Studs for external doors	4" x 2"	"	"
Lintel trimmers, 1-light	4" x 2"	"	"
Lintel trimmers, doors 2-light and over	4" x 3"	"	"

CARPENTER (Continued)

1. (Cont'd.)

Braces	6" x 1" or 3" x 2" O.B. Rimu
Dwangs	4" x 2" and 2" x 2"
Ceiling Joists	4" x 2" O.B. Rimu
Runners	4" x 2" " "
Under Purlins	4" x 2" " "
Struts	4" x 2" " "
Rafters	4" x 2" " "
Flooring	6" x 7/8" T. & G. Ht. Rimu or Matai
Fascia	6" x 7/8" Ht. Rimu or Redwood
Fascia moulds to soffit	3/4" Quod
Soffit moulds	1 1/2" scotia
Soffit furring	3" x 1" O.B. Rimu
Soffit lining	4" x 5/8" lining or asbestos
Porch ceilings	4" x 5/8" T. & G. O.B. Rimu or asbestos
Sash door frames	Ht. Totara
Sashes	Ht. Totara or Redwood
External doors	" " "
Hips and Valleys	8" x 1" O.B. Rimu
Hit and miss Sarking	8" x 1" or 6" x 1" O.B. Rimu or Pinus
2. TIMBER: All timbers to be the very best of their respective kinds and classes, free from large or loose knots, shakes, bark, etc. All exposed timbers shall be dressed and timbers for joinery work shall be thoroughly seasoned or tanalised.

All internal joinery work and fittings shall unless otherwise specified herein be clean O.B. Rimu or tanalised timbers. All to be hand dressed, scraped and sanded.
3. CONSTRUCTION: All plates to be scarfed at meetings and angles; properly secured to the concrete base walls by either No. 8 wire ties or 1/2" diameter bolts as shown on plan.
4. FILES: Files not to be spaced more than 4' 6" apart in rows not more than 6' 0" apart.
5. FLOOR JOISTS: Floor joists to be not more than 18" centres, gauged level on top, double skew nailed to sleeper plates, and having any joints on top of piles. Trim for hearths in Lounge.
6. STUDS: As per schedule of timbers to be not more than 18" centres. Corner and angles to be double studded.
7. BRACES: One brace to be placed in each external wall. Where possible flush bracing to be used in preference to solid bracing.
8. DWANGS: Cut in between studs three rows of dwangs double skew nailed to studs. Cut in necessary 3" x 2" dwangs between ceiling joists.
9. CEILING JOISTS: Ceiling joists to be spaced 18" centres, jointed only over partition and double skew nailed to plates.
10. RUNNERS: Fix to top of ceiling joists and over the centre of each room a runner secured to each joist and top plate.
11. ROOF: Construct roof as shown on plan; rafters to be neatly cut up to ridge, hips or valley, and birdsmouthed on to plates; spaced not more than 18" centres.
12. UNDER PURLINS: Under centre of rafters fix under purlins, to be well spiked to each rafter.
13. STRUTS: Cut between purlins and partition plates struts, to be as nearly as possible at right angles to the pitch of the roof.
14. EAVES: Cover eaves soffits with 1/2" lining or asbestos.
15. EXTERNAL SHEATHING: Cover all external walls with a brick veneer to window sill height then with concrete precast blocks finished in plaster and colour washed to owner's selection.
16. FLOORS: Cover the whole of the floors with 6" x 7/8" T. & G. Ht. Rimu, flooring all to be thoroughly seasoned. Cut flooring neatly up to plates and around hearths, the whole to be well cramped and double nailed to joists with 2 1/4" brad head nails. All bywood to be cleaned off and nails punched. Floors to be properly protected at all times from paint, oil, plaster etc., and all left clean on completion of the work.

CARPENTER (Continued)

17. MANHOLE: Suitable manhole to be provided not smaller than 20" x 20" and to be placed where directed in ceiling.
18. SKIRTING: Fix around all rooms and other places except wardrobes and cupboards 3" x 7/8" splayed 50% Ht. Rimu skirting, mitred at all corners as required. To wardrobes and cupboards fit 3/4" quod. bead to floor.
19. ARCHITRAVES: Supply and fix to all door and window openings 3" x 1" O.B. Rimu splayed or bullnosed architraves with mitred heads.
20. SILL BOARD: Sill boards to be out of 6" x 7/8" 50% Ht. Rimu throughout, with apron pieces out of 3/4" Q/round.
21. SHELVING: Supply and fix to wardrobe one shelf 12" x 7/8" with rod below to take coat hangers. Supply and fix to cylinder cupboard shelving 15" apart and full depth of cupboard.
22. SINK BENCH: Sink bench to be framed up 3" x 2" O.B. Rimu, top of Formica. Front to be built in. See under "Joiner" for doors etc.

JOINER

1. FRAMES: All frames shall be thoroughly well seasoned Heart Totara, all dressed and sanded. All sills to be double sunk, throated and weathered, out of 2" timber. All styles and heads 6" x 1 3/4" rebated, and mullions 4" x 2" rebated and throated. The styles and mullions are to be housed into sills. Facings out of 4" x 1".
Sashes to have styles and heads out of 2 1/2" x 2" and bottom rails out of 4" x 2", all properly framed together. Horizontal bars out of 2" x 1". Fanlights to be hung with two 3" loose pin steel butt hinges, and sashes with three 3" loose pin steel butt hinges. Dress lights in bedrooms to be hung same as for fanlights.
2. OUTSIDE DOORS AND FRAMES: All external doors to have frames of thoroughly seasoned Ht. Totara or Redwood with 2" sills and 1 1/2" solid rebated jambs properly framed together.
Front door to be of Ht. Totara or Redwood 6' x 6" x 2' 10" x 1 3/4" finished size, hung on three 3 1/2" galv. loose pin butt hinges, patterns to detail. Back door, 6' x 6" x 2' 6" x 1 3/4" door.
3. INTERIOR DOORS: All interior doors to be stock flush doors, 6' 6" x 2' 6" x 1 3/4", except W.C. door 6' 6" x 2' 2" and wardrobe doors 6' 6" x 2' 2".
4. JAMBS: All interior doors to be hung with three 3 1/2" steel loose pin butt hinges to 1 1/2" solid rebated jambs of 60% Ht. Rimu.
5. CUPBOARD DOORS, BINS ETC.: For Kitchen cupboard and sink bench details, install as shown on plan.
Supply shaving cabinet to be fitted in bathroom where shown in plan complete with plain mirror 12" x 10". All cupboard doors to have the necessary narrow butts fitted.
6. HARDWARE: The Contractor shall supply and fit in addition to the items mentioned above the following hardware for the joinery:-
Sanlock casement stays to sashes and fans.
Yale lock and handle.
Mortice lock sets.
Wardrobe door catches. Cupboard door catches.
Drawer pulls.
Allow P.C. sum of £25/-/- to cover all hardware.

GLAZIER

1. GLASS: All glass in sashes unless otherwise specified to be 21 oz. clear, free from all defects and blemishes.
Lavatory and bathroom sash to be glazed in selected obscure glass.
All glass to be properly back-puttied, sprigged and puttied with first quality linseed oil putty. All woodwork to be primed with paint before putting.
2. CLEANING: All glass to be left clean on completion of work, entirely free from putty marks and paint spots.

ROOFING

1. CONCRETE TILES: Allow for covering rafters with 2" x 1" battens approximately 14"

ROOFING (Continued)

1. (Cont'd.) apart to suit tiles, and then covering the whole roof area with concrete tiles of approved make and pattern, every tile wired to battens. Ridge and hip tiles properly secured and bedded in cement mortar and colour pointed at edges; tiles of valleys cut neat and straight to approval. The roof must be left thoroughly watertight, and this shall be covered with a written guarantee for a period of twelve months.

PLUMBING

1. MATERIALS: All materials and workmanship to comply with the Local Body By-laws and to the satisfaction of the District Sanitary Inspector.
2. FLASHINGS: Unless otherwise mentioned all flashings to be of galvanised iron, 24 gauge for chimney, and 26 gauge elsewhere.
Flash chimney with necessary back gutter and steps, neatly turned into joints of brickwork, and secured with lead wedges. Flashing to have adequate cover and walls under tiles.
Flash vents and other places as required with lead flashings.
3. SPOUTING AND DOWNPIPES: 24 g. Galvanised iron.
4. WATER SUPPLY: Provide and fix where directed in roof space copper 30 gallon capacity supply tank complete with ball cock, valve and proper overflow. Fix under tank on 1" boards tray of 24 gauge galvanised iron, turned up not less than 2" at edges and to have outlet to be protected to prevent entry of birds.
Connect local supply with $\frac{3}{4}$ " galvanised W.I. pipe and $\frac{1}{2}$ " branches to supply tank, tubs, copper, bath, basin, sink, lavatory and two stand pipes where directed.
5. HOT WATER SERVICE: Cylinder to be not less than 30 gallon capacity properly lagged complete. Cylinder to be installed where directed and properly connected to supply tank and sludge cock beneath.
Lay on hot water to bath in $\frac{3}{4}$ ", basin, sink and one tub in $\frac{1}{2}$ " solid drawn 19 g. copper tubing, all with easy bends.
6. SINK TOP: To be provided by Builder.
7. BASIN: Provide and fix bathroom selected porcelain wash hand basin complete with plug, chain and trapped lead waste, pedestal.
8. BATH: Provide and fix selected 5' 6" bath flange type, to be built in complete with plug, chain and trapped waste.
9. TUBS: Provide and fix where shown single concrete tub complete with plug, washer, chain and trapped waste.
10. WASHING MACHINE: P.C. sum £50
11. W.C. : Provide and fix an approved white lavatory pedestal complete with double flap enamelled seat and low-down flushing cistern. Connect to sewer drains, fix all necessary vents etc., and leave in proper working order.
12. TAPS: Supply and fix $\frac{1}{2}$ " chromium plated streamlined taps marked "hot" and "cold" to basin and tubs and $\frac{3}{4}$ " similar quality taps to bath. Brass taps to stand pipes front and back with hose fittings.
13. SEWER DRAINS: Lay sewer drains as shown on plan in 4" glazed and socketted stoneware, all to have proper falls, gullies, traps, bends, cleaning eyes, vents, etc., to comply with Local By-laws and to the satisfaction of the Sanitary Inspector. Connect up to septic tank (see below) 30' from house, and from septic tank take overflow in 4" field tiles, laid with joints $\frac{1}{4}$ " apart and in shingle trench at least 15' beyond septic tank.
14. COPPER: See under "Electrician" for copper.

FIBROUS PLASTERER

1. GENERAL: The whole of the fibrous plaster sheets shall be $\frac{3}{8}$ " thick of approved manufacture free from all defects. Plain design and cornices as directed.
2. FIXING: All sheets shall be accurately fixed with composition clout headed nails closely fitted together and into angles; all joints shall be filled solid with plaster of paris rubbed down flush. Cornices to be scribed at internal angles.

FIBROUS PLASTERER (Continued)

2. (Cont'd.) All rooms to be plastered throughout.

EXTERIOR PLASTERER

1. BASE & CHIMNEYS: All concrete base walls and chimneys shall be rendered with a compo of three parts of clean sharp sand and one part of cement $\frac{1}{2}$ " thick to be finished all true and plumb with sharp edges free from stains or any other defects. Finish in colour stucco coat to approval.
2. PORCHES: Front and back porches to be rendered with coat minimum $\frac{1}{2}$ " thick on floors with the necessary falls to outer edges. Surface to be smooth and free from defects.

ELECTRICIAN

1. GENERAL: Make necessary connection to Power Board's mains and install where directed necessary switchboard complete. All work to conform to Power Board's regulations. All conduit to be concealed.
2. MATERIAL: All material to be the best quality and manufacture. All wire to be 600 M.G. best quality. Switches to be of magnet type and standard or other approved brand. All fittings to be bakelite brass lined. Flush switches throughout.
3. POINTS: The Contractor shall allow in his tender for one light point in each room. Power points to be placed in positions directed, one to every room.
4. ELECTRIC RANGE, COMBINATION CHIP HEATER: The Contractor shall allow for the supply and fixing of an electric range to be selected by Owner, and fitted as shown on the plan in kitchen. Installation to be left in proper working order. P.C. £55. Install points where shown on plan and lighting points as shown.

PAINTER AND PAPERHANGER

1. MATERIAL: All material shall be the best of its respective kind of approved English manufacture. All tints to be selected. Finishing coats of paint to be mixed 48 hours before using, and thinners of turpentine and linseed oil only used.
2. EXTERNAL PAINTING: Prime all external woodwork of house with red and white lead proportioned in parts of 2 to 1 and linseed oil paint. Totara to be given one coat of special primer.
3. STOPPING: Stop all defects and nail holes with first quality putty.
4. FINISH COATS: Paint the whole of the wood, primed and iron work with two coats of white lead and pure white zinc proportions 66-2/3rd to 33-1/3rd and linseed oil paint and finish in approved tints with patent driers and pure turpentine added.
5. SASHES & DOORS: Sashes and doors to be rubbed down and treated as other woodwork to approved tints, all painting to be neatly cut in.
6. WEATHER: All paint work is to be properly protected from the weather and any so affected to be done again.
7. INTERIOR: Woodwork to be slightly stained where timber is O.B. finish. All interior woodwork unless otherwise specified to be given one coat of linseed oil. All nail holes to be stopped with coloured putty, and the whole to have one coat of eggshell gloss varnish of approved brand pure enamel to selected tints.
8. FIBROUS PLASTER: All fibrous plaster to be papered to have one coat of best glue size.
9. PAPERING: Allow P.C. value of 8/- per roll for wallpapers to be hung in Lounge, Bedroom 1, Bedroom 2, Hall.
- All papers to be neatly trimmed and hung to have butt joints true and plumb, patterns to be carefully matched and the whole to be left free from paste or finger marks and oil stains.

NOTE: This specification to be read in conjunction with the minimum standard specification as required by the State Advances for the construction of dwellings.

SPECIFICATION

FOR THE ERECTION OF A BLOCK OF FLATS

ON LOT

D.P.

for

1. GENERAL: The Contractor shall provide all material, labour, cartage, plant, temporary work, and everything necessary for the due and proper completion of the works set out below. All materials shall be the best of their respective kinds.
2. PLANS AND SPECIFICATIONS: The plans and specifications shall be read together and anything shown and not specified, or vice versa, shall be equally binding as though included in both.

EXCAVATOR

1. Contractor shall excavate for all piles, foundations, footings, steps etc., as shown on drawings. Excavate for drains where required and as indicated on plans. All surplus spoil shall be deposited on the site where directed.

CONCRETOR

1. CEMENT AND SHINGLE: Cement of approved brand; sand well washed, clean and sharp; metal broken stone (clean), or crushed metal.
2. CONCRETE: For all piles, footings, steps etc., shall be a 4: 2: 1 mix - machine-mixed and well rammed into trenches and boxing.
3. BASE WALLS: Base walls to be 6" thick and splayed as shown. Walls to have footings 12" x 6" reinforced with one 1/2" diameter rod hooked and lapped 20" and one 3/8" rod.
4. PILES: All piles to be of concrete not less than 8" x 8" square.
5. VENTS: Vents to be 12" x 6" spaced 3 ft. from angles and not more than 6 ft. apart.
6. WIRE TIES: Insert in concrete to base wall and piles, ties of No.8 galvanised wire or 1/2" diameter bolts as shown on the plan well anchored in the concrete to secure plates and sleepers.
7. DAMP COURSE: Damp course of two ply malthoid or other approved material.
8. STEPS: Provide concrete steps as shown on the plan to front and back porches, risers, to be not more than 7" in each case.
9. PORCH FLOORS: Porch floors to be of concrete to the correct levels and with the necessary fall to the steps. Floors to be either solid concrete or filled with solid rubble and covered with a concrete slab 4" thick.

DRAINLAYER

1. SEWER AND STORMWATER: Lay sewer and stormwater drains as shown on drawing. All drainage to comply with Local Body By-laws and to be to the satisfaction of the Sanitary Inspector concerned.

BRICKLAYER

1. BRICKS: All bricks to be machine made approved first quality hard burnt, free from defects, and of stock size.
2. CHIMNEY: To be standard precast three parallel type, to soffit height 20 x 16 thereafter.
3. ELECTRIC FIRE: Surround optional to value of £18.

CARPENTER

1. SCHEDULE OF TIMBERS:

Wall Plates	4" x 2"	Bldg. Ht.	Rimu or Totara
Sleeper Plates	4" x 3"	"	"
Floor Joists	5" x 2"	"	"
Sub and top plates	4" x 2"	O.B.	Rimu
Studs (ordinary)	4" x 2"	"	"
Studs (for 3-light openings or over)	4" x 3"	"	"
Studs for external doors	4" x 2"	"	"
Lintel trimmers, 1-light	4" x 2"	"	"
Lintel trimmers, doors 2-light and over	4" x 3"	"	"

CARPENTER (Continued)

1. (Cont'd.) Braces 6" x 1" or 3" x 2" O.B. Rimu
 Dwangs 4" x 2" and 2" x 2"
 Ceiling Joists 4" x 2" O.B. Rimu
 Runners 4" x 2" " "
 Under Purlins 4" x 2" " "
 Struts 4" x 2" " "
 Rafters 4" x 2" " "
 Flooring 6" x 7/8" T. & G. Ht. Rimu or Matai
 Fascia 6" x 7/8" Ht. Rimu or Redwood
 Fascia moulds to soffit 3/4" Quod
 Soffit moulds 1 1/2" scotia
 Soffit furring 3" x 1" O.B. Rimu
 Soffit lining 4" x 5/8" lining or asbestos
 Porch ceilings 4" x 5/8" T. & G. O.B. Rimu or asbestos
 Sash door frames Ht. Totara
 Sashes Ht. Totara or Redwood
 External doors " " "
 Hips and Valleys 8" x 1" O.B. Rimu
 Hit and miss Sarking 8" x 1" or 6" x 1" O.B. Rimu or Pinus
2. TIMBER: All timbers to be the very best of their respective kinds and classes, free from large or loose knots, shakes, bark, etc. All exposed timbers shall be dressed and timbers for joinery work shall be thoroughly seasoned or tanalised.
 All internal joinery work and fittings shall unless otherwise specified herein be clean O.B. Rimu or tanalised timbers. All to be hand dressed, scraped and sanded.
3. CONSTRUCTION: All plates to be scarfed at meetings and angles; properly secured to the concrete base walls by either No. 8 wire ties or 1/2" diameter bolts as shown on plan.
4. FILES: Piles not to be spaced more than 4' 6" apart in rows not more than 6' 0" apart.
5. FLOOR JOISTS: Floor joists to be not more than 18" centres, gauged level on top, double skew nailed to sleeper plates, and having any joints on top of piles. Trim for hearths in Lounge.
6. STUDS: As per schedule of timbers to be not more than 18" centres. Corner and angles to be double studded.
7. BRACES: One brace to be placed in each external wall. Where possible flush bracing to be used in preference to solid bracing.
8. DWANGS: Cut in between studs three rows of dwangs double skew nailed to studs. Cut in necessary 3" x 2" dwangs between ceiling joists.
9. CEILING JOISTS: Ceiling joists to be spaced 18" centres, jointed only over partition and double skew nailed to plates.
10. RUNNERS: Fix to top of ceiling joists and over the centre of each room a runner secured to each joist and top plate.
11. ROOF: Construct roof as shown on plan; rafters to be neatly cut up to ridge, hips or valley, and birdsmouthed on to plates; spaced not more than 18" centres.
12. UNDER PURLINS: Under centre of rafters fix under purlins, to be well spiked to each rafter.
13. STRUTS: Cut between purlins and partition plates struts, to be as nearly as possible at right angles to the pitch of the roof.
14. EAVES: Cover eaves soffits with 1/2" lining or asbestos.
15. EXTERNAL SHEATHING: Cover all external walls with a brick veneer to window sill height then with concrete precast blocks finished in plaster and colour washed to owner's selection.
16. FLOORS: Cover the whole of the floors with 6" x 7/8" T. & G. Ht. Rimu, flooring all to be thoroughly seasoned. Cut flooring neatly up to plates and around hearths, the whole to be well cramped and double nailed to joists with 2 1/4" brad head nails. All bywood to be cleaned off and nails punched. Floors to be properly protected at all times from paint, oil, plaster etc., and all left clean on completion of the work.

CARPENTER (Continued)

17. MANHOLE: Suitable manhole to be provided not smaller than 20" x 20" and to be placed where directed in ceiling.
18. SKIRTING: Fix around all rooms and other places except wardrobes and cupboards 3" x 7/8" splayed 50% Ht. Rimu skirting, mitred at all corners as required. To wardrobes and cupboards fit 3/4" quod. bead to floor.
19. ARCHITRAVES: Supply and fix to all door and window openings 3" x 1" O.B. Rimu splayed or bullnosed architraves with mitred heads.
20. SILL BOARD: Sill boards to be out of 6" x 7/8" 50% Ht. Rimu throughout, with apron pieces out of 3/4" Q/round.
21. SHELVING: Supply and fix to wardrobe one shelf 12" x 7/8" with rod below to take coat hangers. Supply and fix to cylinder cupboard shelving 15" apart and full depth of cupboard.
22. SINK BENCH: Sink bench to be framed up 3" x 2" O.B. Rimu, top of Formica. Front to be built in. See under "Joiner" for doors etc.

JOINER

1. FRAMES: All frames shall be thoroughly well seasoned Heart Totara, all dressed and sanded. All sills to be double sunk, throated and weathered, out of 2" timber. All styles and heads 6" x 1 3/4" rebated, and mullions 4" x 2" rebated and throated. The styles and mullions are to be housed into sills. Facings out of 4" x 1".
Sashes to have styles and heads out of 2 1/2" x 2" and bottom rails out of 4" x 2", all properly framed together. Horizontal bars out of 2" x 1". Fanlights to be hung with two 3" loose pin steel butt hinges, and sashes with three 3" loose pin steel butt hinges. Dress lights in bedrooms to be hung same as for fanlights.
2. OUTSIDE DOORS AND FRAMES: All external doors to have frames of thoroughly seasoned Ht. Totara or Redwood with 2" sills and 1 1/2" solid rebated jambs properly framed together.
Front door to be of Ht. Totara or Redwood 6' x 6" x 2' 10" x 1 3/4" finished size, hung on three 3 1/2" galv. loose pin butt hinges, patterns to detail. Back door, 6' x 6" x 2' 6" x 1 3/4" door.
3. INTERIOR DOORS: All interior doors to be stock flush doors, 6' 6" x 2' 6" x 1 3/4", except W.C. door 6' 6" x 2' 2" and wardrobe doors 6' 6" x 2' 2".
4. JAMBS: All interior doors to be hung with three 3 1/2" steel loose pin butt hinges to 1 1/2" solid rebated jambs of 60% Ht. Rimu.
5. CUPBOARD DOORS BINS ETC.: For Kitchen cupboard and sink bench details, install as shown on plan.
Supply shaving cabinet to be fitted in bathroom where shown in plan complete with plain mirror 12" x 10". All cupboard doors to have the necessary narrow butts fitted.
6. HARDWARE: The Contractor shall supply and fit in addition to the items mentioned above the following hardware for the joinery:-
Sanlock casement stays to sashes and fans.
Yale lock and handle.
Mortice lock sets.
Wardrobe door catches. Cupboard door catches.
Drawer pulls.
Allow P.C. sum of £25/-/- to cover all hardware.

GLAZIER

1. GLASS: All glass in sashes unless otherwise specified to be 21 oz. clear, free from all defects and blemishes.
Lavatory and bathroom sash to be glazed in selected obscure glass.
All glass to be properly back-puttied, sprigged and puttied with first quality linseed oil putty. All woodwork to be primed with paint before putting.
2. CLEANING: All glass to be left clean on completion of work, entirely free from putty marks and paint spots.

ROOFING

1. CONCRETE TILES: Allow for covering rafters with 2" x 1" battens approximately 14"

ROOFING (Continued)

1. (Cont'd.) apart to suit tiles, and then covering the whole roof area with concrete tiles of approved make and pattern, every tile wired to battens. Ridge and hip tiles properly secured and bedded in cement mortar and colour pointed at edges; tiles of valleys cut neat and straight to approval. The roof must be left thoroughly watertight, and this shall be covered with a written guarantee for a period of twelve months.

PLUMBING

1. MATERIALS: All materials and workmanship to comply with the Local Body By-laws and to the satisfaction of the District Sanitary Inspector.
2. FLASHINGS: Unless otherwise mentioned all flashings to be of galvanised iron, 24 gauge for chimney, and 26 gauge elsewhere.
Flash chimney with necessary back gutter and steps, neatly turned into joints of brickwork, and secured with lead wedges. Flashing to have adequate cover and walls under tiles.
Flash vents and other places as required with lead flashings.
3. SPOUTING AND DOWNPIPES: 24 g. Galvanised iron.
4. WATER SUPPLY: Provide and fix where directed in roof space copper 30 gallon capacity supply tank complete with ball cock, valve and proper overflow. Fix under tank on 1" boards tray of 24 gauge galvanised iron, turned up not less than 2" at edges and to have outlet to be protected to prevent entry of birds.
Connect local supply with $\frac{3}{4}$ " galvanised W.I. pipe and $\frac{1}{2}$ " branches to supply tank, tubs, copper, bath, basin, sink, lavatory and two stand pipes where directed.
5. HOT WATER SERVICE: Cylinder to be not less than 30 gallon capacity properly lagged complete. Cylinder to be installed where directed and properly connected to supply tank and sludge cock beneath.
Lay on hot water to bath in $\frac{3}{4}$ ", basin, sink and one tub in $\frac{1}{2}$ " solid drawn 19 g. copper tubing, all with easy bends.
6. SINK TOP: To be provided by Builder.
7. BASIN: Provide and fix bathroom selected porcelain wash hand basin complete with plug, chain and trapped lead waste, pedestal.
8. BATH: Provide and fix selected 5' 6" bath flange type, to be built in complete with plug, chain and trapped waste.
9. TUBS: Provide and fix where shown single concrete tub complete with plug, washer, chain and trapped waste.
10. WASHING MACHINE: P.C. sum £50
11. W.C. : Provide and fix an approved white lavatory pedestal complete with double flap enamelled seat and low-down flushing cistern. Connect to sewer drains, fix all necessary vents etc., and leave in proper working order.
12. TAPS: Supply and fix $\frac{1}{2}$ " chromium plated streamlined taps marked "hot" and "cold" to basin and tubs and $\frac{3}{4}$ " similar quality taps to bath. Brass taps to stand pipes front and back with hose fittings.
13. SEWER DRAINS: Lay sewer drains as shown on plan in 4" glazed and socketted stoneware, all to have proper falls, gullies, traps, bends, cleaning eyes, vents, etc., to comply with Local By-laws and to the satisfaction of the Sanitary Inspector. Connect up to septic tank (see below) 30' from house, and from septic tank take overflow in 4" field tiles, laid with joints $\frac{1}{4}$ " apart and in shingle trench at least 15' beyond septic tank.
14. COPPER: See under "Electrician" for copper.

FIBROUS PLASTERER

1. GENERAL: The whole of the fibrous plaster sheets shall be $\frac{3}{8}$ " thick of approved manufacture free from all defects. Plain design and cornices as directed.
2. FIXING: All sheets shall be accurately fixed with composition clout headed nails closely fitted together and into angles; all joints shall be filled solid with plaster of paris rubbed down flush. Cornices to be scribed at internal angles.

FIBROUS PLASTERER (Continued)

2. (Cont'd.) All rooms to be plastered throughout.

EXTERIOR PLASTERER

1. BASE & CHIMNEYS: All concrete base walls and chimneys shall be rendered with a compo. of three parts of clean sharp sand and one part of cement $\frac{1}{2}$ " thick to be finished all true and plumb with sharp edges free from stains or any other defects. Finish in colour stucco coat to approval.
2. PORCHES: Front and back porches to be rendered with coat minimum $\frac{1}{2}$ " thick on floors with the necessary falls to outer edges. Surface to be smooth and free from defects.

ELECTRICIAN

1. GENERAL: Make necessary connection to Power Board's mains and install where directed necessary switchboard complete. All work to conform to Power Board's regulations. All conduit to be concealed.
2. MATERIAL: All material to be the best quality and manufacture. All wire to be 600 M.G. best quality. Switches to be of magnet type and standard or other approved brand. All fittings to be bakelite brass lined. Flush switches throughout.
3. POINTS: The Contractor shall allow in his tender for one light point in each room. Power points to be placed in positions directed, one to every room.
4. ELECTRIC RANGE, COMBINATION CHIP HEATER: The Contractor shall allow for the supply and fixing of an electric range to be selected by Owner, and fitted as shown on the plan in kitchen. Installation to be left in proper working order. P.C. £55. Install points where shown on plan and lighting points as shown.

PAINTER AND PAPERHANGER

1. MATERIAL: All material shall be the best of its respective kind of approved English manufacture. All tints to be selected. Finishing coats of paint to be mixed 48 hours before using, and thinners of turpentine and linseed oil only used.
2. EXTERNAL PAINTING: Prime all external woodwork of house with red and white lead proportioned in parts of 2 to 1 and linseed oil paint. Totara to be given one coat of special primer.
3. STOPPING: Stop all defects and nail holes with first quality putty.
4. FINISH COATS: Paint the whole of the wood, primed and iron work with two coats of white lead and pure white zinc proportions 66-2/3rd to 33-1/3rd and linseed oil paint and finish in approved tints with patent driers and pure turpentine added.
5. SASHES & DOORS: Sashes and doors to be rubbed down and treated as other woodwork to approved tints, all painting to be neatly cut in.
6. WEATHER: All paint work is to be properly protected from the weather and any so affected to be done again.
7. INTERIOR: Woodwork to be slightly stained where timber is O.B. finish. All interior woodwork unless otherwise specified to be given one coat of linseed oil. All nail holes to be stopped with coloured putty, and the whole to have one coat of eggshell gloss varnish of approved brand pure enamel to selected tints.
8. FIBROUS PLASTER: All fibrous plaster to be papered to have one coat of best glue size.
9. PAPERING: Allow P.C. value of 8/- per roll for wallpapers to be hung in Lounge, Bedroom 1, Bedroom 2, Hall.
- All papers to be neatly trimmed and hung to have butt joints true and plumb, patterns to be carefully matched and the whole to be left free from paste or finger marks and oil stains.

NOTE: This specification to be read in conjunction with the minimum standard specification as required by the State Advances for the construction of dwellings.

S P E C I F I C A T I O N

FOR THE ERECTION OF A BLOCK OF FLATS

ON LOT D.P.

for

1. GENERAL: The Contractor shall provide all material, labour, cartage, plant, temporary work, and everything necessary for the due and proper completion of the works set out below. All materials shall be the best of their respective kinds.
2. PLANS AND SPECIFICATIONS: The plans and specifications shall be read together and anything shown and not specified, or vice versa, shall be equally binding as though included in both.

EXCAVATOR

1. Contractor shall excavate for all piles, foundations, footings, steps etc., as shown on drawings. Excavate for drains where required and as indicated on plans. All surplus spoil shall be deposited on the site where directed.

CONCRETOR

1. CEMENT AND SHINGLE: Cement of approved brand; sand well washed, clean and sharp; metal broken stone (clean), or crushed metal.
2. CONCRETE: For all piles, footings, steps etc., shall be a 4: 2: 1 mix - machine-mixed and well rammed into trenches and boxing.
3. BASE WALLS: Base walls to be 6" thick and splayed as shown. Walls to have footings 12" x 6" reinforced with one 1/2" diameter rod hooked and lapped 20" and one 3/8" rod.
4. FILES: All piles to be of concrete not less than 8" x 8" square.
5. VENTS: Vents to be 12" x 6" spaced 3 ft. from angles and not more than 6 ft. apart.
6. WIRE TIES: Insert in concrete to base wall and piles, ties of No.8 galvanised wire or 1/2" diameter bolts as shown on the plan well anchored in the concrete to secure plates and sleepers.
7. DAMP COURSE: Damp course of two ply malthoid or other approved material.
8. STEPS: Provide concrete steps as shown on the plan to front and back porches, risers, to be not more than 7" in each case.
9. PORCH FLOORS: Porch floors to be of concrete to the correct levels and with the necessary fall to the steps. Floors to be either solid concrete or filled with solid rubble and covered with a concrete slab 4" thick.

DRAINLAYER

1. SEWER AND STORMWATER: Lay sewer and stormwater drains as shown on drawing. All drainage to comply with Local Body By-laws and to be to the satisfaction of the Sanitary Inspector concerned.

BRICKLAYER

1. BRICKS: All bricks to be machine made approved first quality hard burnt, free from defects, and of stock size.
2. CHIMNEY: To be standard precast three parallel type, to soffit height 20 x 16 thereafter.
3. ELECTRIC FIRE: Surround optional to value of £18.

CARPENTER

1. SCHEDULE OF TIMBERS:

Wall Plates	4" x 2"	Bldg. Ht.	Rimu or Totara
Sleeper Plates	4" x 3"	" "	" "
Floor Joists	5" x 2"	" "	" "
Sub and top plates	4" x 2"	O.B.	Rimu
Studs (ordinary)	4" x 2"	" "	" "
Studs (for 3-light openings or over)	4" x 3"	" "	" "
Studs for external doors	4" x 2"	" "	" "
Lintel trimmers, 1-light	4" x 2"	" "	" "
Lintel trimmers, doors 2-light and over	4" x 3"	" "	" "

CARPENTER (Continued.)
(Cont'd.)

1.

King Joists
Purlins
Under Purlins
Struts
Rafters
Flooring
Fascia
Fascia moulds to soffit
Soffit moulds
Soffit furring
Soffit lining
Porch ceilings
Sash door frames
Sashes
External doors
Hips and Valleys
Hit and miss Sarking

6" x 1" or 3" x 2" O.B. Rimu
4" x 2" and 2" x 2"
4" x 2" O.B. Rimu
4" x 2" " "
4" x 2" " "
4" x 2" " "
4" x 2" " "
4" x 2" " "
6" x 7/8" T. & G. Ht. Rimu or Matai
6" x 7/8" Ht. Rimu or Redwood
3/4" Quod
1 1/2" scotia
3" x 1" O.B. Rimu
4" x 5/8" lining or asbestos
4" x 5/8" T. & G. O.B. Rimu or asbestos
Ht. Totara
Ht. Totara or Redwood
" " "
8" x 1" O.B. Rimu
8" x 1" or 6" x 1" O.B. Rimu or Pinus

2. **TIMBER:** All timbers to be the very best of their respective kinds and classes, free from large or loose knots, shakes, bark, etc. All exposed timbers shall be dressed and timbers for joinery work shall be thoroughly seasoned or tanalised.
- All internal joinery work and fittings shall unless otherwise specified herein be clean O.B. Rimu or tanalised timbers. All to be hand dressed, scraped and sanded.
3. **CONSTRUCTION:** All plates to be scarfed at meetings and angles; properly secured to the concrete base walls by either No. 8 wire ties or 1/2" diameter bolts as shown on plan.
4. **PILES:** Piles not to be spaced more than 4' 6" apart in rows not more than 6' 0" apart.
5. **FLOOR JOISTS:** Floor joists to be not more than 18" centres, gauged level on top, double skew nailed to sleeper plates, and having any joints on top of piles. Trim for hearths in Lounge.
6. **STUDS:** As per schedule of timbers to be not more than 18" centres. Corner and angles to be double studded.
7. **BRACES:** One brace to be placed in each external wall. Where possible flush bracing to be used in preference to solid bracing.
8. **DWANGS:** Cut in between studs three rows of dwangs double skew nailed to studs. Cut in necessary 3" x 2" dwangs between ceiling joists.
9. **CEILING JOISTS:** Ceiling joists to be spaced 18" centres, jointed only over partition and double skew nailed to plates.
10. **RUNNERS:** Fix to top of ceiling joists and over the centre of each room a runner secured to each joist and top plate.
11. **ROOF:** Construct roof as shown on plan; rafters to be neatly cut up to ridge, hips or valley, and birdsmouthed on to plates; spaced not more than 18" centres.
12. **UNDER PURLINS:** Under centre of rafters fix under purlins, to be well spiked to each rafter.
13. **STRUTS:** Cut between purlins and partition plates struts, to be as nearly as possible at right angles to the pitch of the roof.
14. **EAVES:** Cover eaves soffits with 1/2" lining or asbestos.
15. **EXTERNAL SHEATHING:** Cover all external walls with a brick veneer to window sill height then with concrete precast blocks finished in plaster and colour washed to owner's selection.
16. **FLOORS:** Cover the whole of the floors with 6" x 7/8" T. & G. Ht. Rimu, flooring all to be thoroughly seasoned. Cut flooring neatly up to plates and around hearths, the whole to be well cramped and double nailed to joists with 2 1/4" brad head nails. All bywood to be cleaned off and nails punched. Floors to be properly protected at all times from paint, oil, plaster etc., and all left clean on completion of the work.

CARPENTER (Continued)

17. MANHOLE: Suitable manhole to be provided not smaller than 20" x 20" and to be placed where directed in ceiling.
18. SKIRTING: Fix around all rooms and other places except wardrobes and cupboards 3" x 7/8" splayed 50% Ht. Rimu skirting, mitred at all corners as required. To wardrobes and cupboards fit 3/4" quod. bead to floor.
19. ARCHITRAVES: Supply and fix to all door and window openings 3" x 1" O.B. Rimu splayed or bullnosed architraves with mitred heads.
20. SILL BOARD: Sill boards to be out of 6" x 7/8" 50% Ht. Rimu throughout, with apron pieces out of 3/4" Q/round.
21. SHELVING: Supply and fix to wardrobe one shelf 12" x 7/8" with rod below to take coat hangers. Supply and fix to cylinder cupboard shelving 15" apart and full depth of cupboard.
22. SINK BENCH: Sink bench to be framed up 3" x 2" O.B. Rimu, top of Formica. Front to be built in. See under "Joiner" for doors etc.

JOINER

1. FRAMES: All frames shall be thoroughly well seasoned Heart Totara, all dressed and sanded. All sills to be double sunk, throated and weathered, out of 2" timber. All styles and heads 6" x 1 3/4" rebated, and mullions 4" x 2" rebated and throated. The styles and mullions are to be housed into sills. Facings out of 4" x 1".
Sashes to have styles and heads out of 2 1/2" x 2" and bottom rails out of 4" x 2", all properly framed together. Horizontal bars out of 2" x 1". Fanlights to be hung with two 3" loose pin steel butt hinges, and sashes with three 3" loose pin steel butt hinges. Dress lights in bedrooms to be hung same as for fanlights.
2. OUTSIDE DOORS AND FRAMES: All external doors to have frames of thoroughly seasoned Ht. Totara or Redwood with 2" sills and 1 1/2" solid rebated jambs properly framed together.
Front door to be of Ht. Totara or Redwood 6' x 6" x 2' 10" x 1 3/4" finished size, hung on three 3 1/2" galv. loose pin butt hinges, patterns to detail. Back door, 6' x 6" x 2' 6" x 1 3/4" door.
3. INTERIOR DOORS: All interior doors to be stock flush doors, 6' 6" x 2' 6" x 1 3/4", except W.C. door 6' 6" x 2' 2" and wardrobe doors 6' 6" x 2' 2".
4. JAMBS: All interior doors to be hung with three 3 1/2" steel loose pin butt hinges to 1 1/2" solid rebated jambs of 60% Ht. Rimu.
5. CUPBOARD DOORS BINS ETC.: For Kitchen cupboard and sink bench details, install as shown on plan.
Supply shaving cabinet to be fitted in bathroom where shown in plan complete with plain mirror 12" x 10". All cupboard doors to have the necessary narrow butts fitted.
6. HARDWARE: The Contractor shall supply and fit in addition to the items mentioned above the following hardware for the joinery:-
Sanlock casement stays to sashes and fans.
Yale lock and handle.
Mortice lock sets.
Wardrobe door catches. Cupboard door catches.
Drawer pulls.
Allow P.C. sum of £25/-/- to cover all hardware.

GLAZIER

1. GLASS: All glass in sashes unless otherwise specified to be 21 oz. clear, free from all defects and blemishes.
Lavatory and bathroom sash to be glazed in selected obscure glass.
All glass to be properly back-puttied, sprigged and puttied with first quality linseed oil putty. All woodwork to be primed with paint before putting.
2. CLEANING: All glass to be left clean on completion of work, entirely free from putty marks and paint spots.

ROOFING

1. CONCRETE TILES: Allow for covering rafters with 2" x 1" battens approximately 14"

ROOFING (Continued)

1. (Cont'd.)

apart of approved make and pattern, every tile wired to battens. Ridge tiles properly secured and bedded in cement mortar and colour matched at edges; tiles of valleys cut neat and straight to approval. The roof must be left thoroughly watertight, and this shall be covered with a written guarantee for a period of twelve months.

PLUMBING

All materials and workmanship to comply with the Local Body By-laws and to the satisfaction of the District Sanitary Inspector.

1. M&S:

Unless otherwise mentioned all flashings to be of galvanised iron, 24 gauge for chimney, and 26 gauge elsewhere.

2.

Flash chimney with necessary back gutter and steps, neatly turned into joints of brickwork, and secured with lead wedges. Flashing to have adequate cover and walls under tiles.

Flash vents and other places as required with lead flashings.

3. SPOUTING AND DOWNPIPES:

24 g. Galvanised iron.

4. WATER SUPPLY:

Provide and fix where directed in roof space copper 30 gallon capacity supply tank complete with ball cock, valve and proper overflow. Fix under tank on 1" boards tray of 24 gauge galvanised iron, turned up not less than 2" at edges and to have outlet to be protected to prevent entry of birds.

Connect local supply with $\frac{3}{4}$ " galvanised W.I. pipe and $\frac{1}{2}$ " branches to supply tank, tubs, copper, bath, basin, sink, lavatory and two stand pipes where directed.

5. HOT WATER SERVICE:

Cylinder to be not less than 30 gallon capacity properly lagged complete. Cylinder to be installed where directed and properly connected to supply tank and sludge cock beneath.

Lay on hot water to bath in $\frac{3}{4}$ ", basin, sink and one tub in $\frac{1}{2}$ " solid drawn 19 g. copper tubing, all with easy bends.

6. SINK TOP:

To be provided by Builder.

7. BASIN:

Provide and fix bathroom selected porcelain wash hand basin complete with plug, chain and trapped lead waste, pedestal.

8. BATH:

Provide and fix selected 5' 6" bath flange type, to be built in complete with plug, chain and trapped waste.

9. TUBS:

Provide and fix where shown single concrete tub complete with plug, washer, chain and trapped waste.

10. WASHING MACHINE: P.C. sum £5011. W.C.:

Provide and fix an approved white lavatory pedestal complete with double flap enamelled seat and low-down flushing cistern. Connect to sewer drains, fix all necessary vents etc., and leave in proper working order.

12. TAPS:

Supply and fix $\frac{1}{2}$ " chromium plated streamlined taps marked "hot" and "cold" to basin and tubs and $\frac{3}{4}$ " similar quality taps to bath. Brass taps to stand pipes front and back with hose fittings.

13. SEWER DRAINS:

Lay sewer drains as shown on plan in 4" glazed and socketted stoneware, all to have proper falls, gullies, traps, bends, cleaning eyes, vents, etc., to comply with Local By-laws and to the satisfaction of the Sanitary Inspector. Connect up to septic tank (see below) 30' from house, and from septic tank take overflow in 4" field tiles, laid with joints $\frac{1}{4}$ " apart and in shingle trench at least 15' beyond septic tank.

14. COPPER:

See under "Electrician" for copper.

FIBROUS PLASTERER1. GENERAL:

The whole of the fibrous plaster sheets shall be $\frac{3}{8}$ " thick of approved manufacture free from all defects. Plain design and cornices as directed.

2. FIXING:

All sheets shall be accurately fixed with composition clout headed nails closely fitted together and into angles; all joints shall be filled solid with plaster of paris rubbed down flush. Cornices to be scribed at internal angles.

FIBROUS PLASTERER (Continued)

2. (Cont'd.) All rooms to be plastered throughout.

EXTERIOR PLASTERER

1. BASE & CHIM-NEYS: All concrete base walls and chimneys shall be rendered with a compo of three parts of clean sharp sand and one part of cement $\frac{1}{2}$ " thick to be finished all true and plumb with sharp edges free from stains or any other defects. Finish in colour stucco coat to approval.
2. PORCHES: Front and back porches to be rendered with coat minimum $\frac{1}{2}$ " thick on floors with the necessary falls to outer edges. Surface to be smooth and free from defects.

ELECTRICIAN

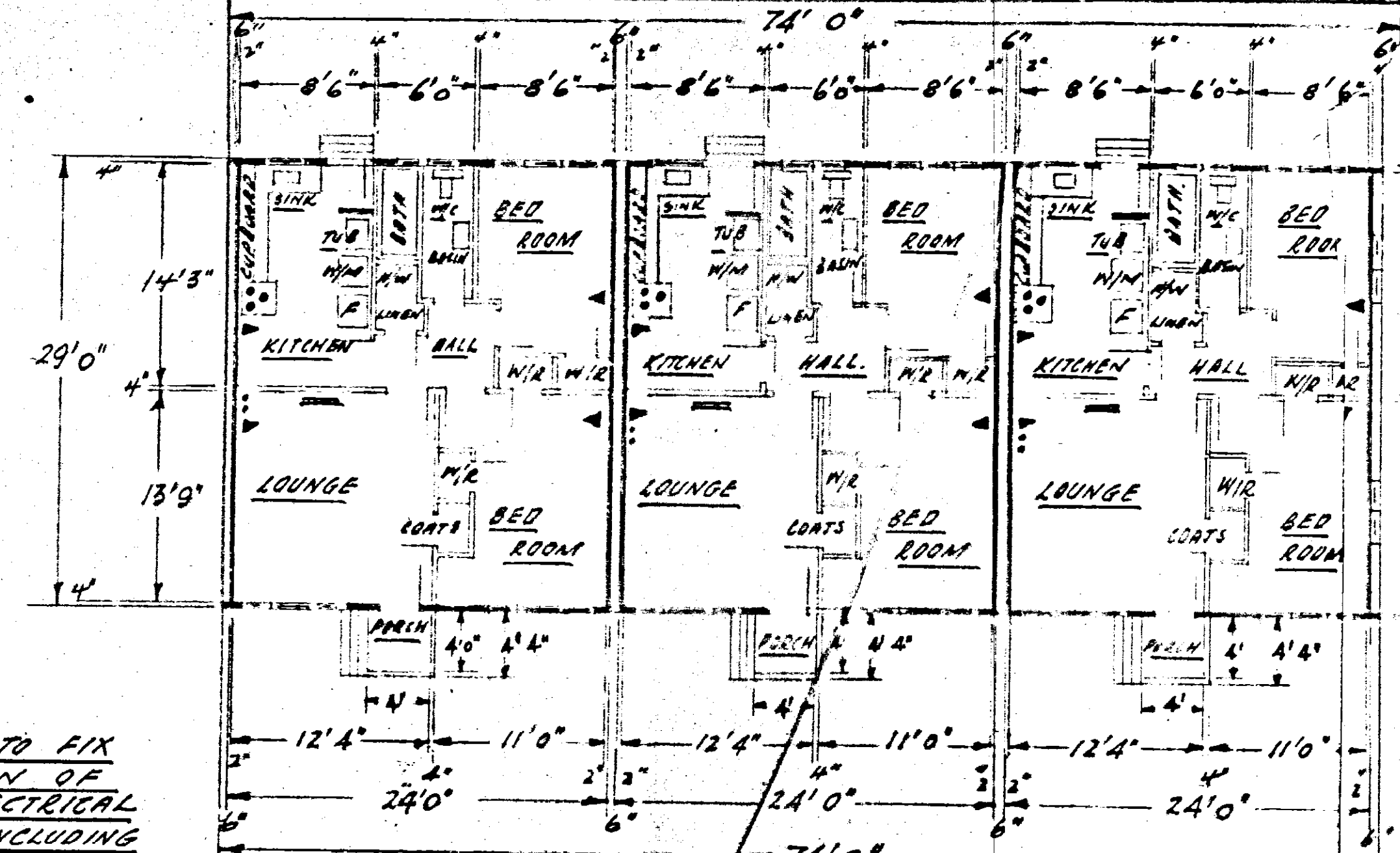
1. GENERAL: Make necessary connection to Power Board's main; and install where directed necessary switchboard complete. All work to conform to Power Board's regulations. All conduit to be concealed.
2. MATERIAL: All material to be the best quality and manufacture. All wire to be 600 M.G. best quality. Switches to be of magnet type and standard or other approved brand. All fittings to be bakelite brass lined. Flush switches throughout.
3. POINTS: The Contractor shall allow in his tender for one light point in each room. Power points to be placed in positions directed, one to every room.
4. ELECTRIC RANGE, COMBINATION CHIP HEATER: The Contractor shall allow for the supply and fixing of an electric range to be selected by Owner, and fitted as shown on the plan in kitchen. Installation to be left in proper working order. P.C. £55. Install points where shown on plan and lighting points as shown.

PAINTER AND PAPERHANGER

1. MATERIAL: All material shall be the best of its respective kind of approved English manufacture. All tints to be selected. Finishing coats of paint to be mixed 48 hours before using, and thinners of turpentine and linseed oil only used.
2. EXTERNAL PAINTING: Prime all external woodwork of house with red and white lead proportioned in parts of 2 to 1 and linseed oil paint. Totara to be given one coat of special primer.
3. STOPPING: Stop all defects and nail holes with first quality putty.
4. FINISH COATS: Paint the whole of the wood, primed and iron work with two coats of white lead and pure white zinc proportions 66-2/3rd to 33-1/3rd and linseed oil paint and finish in approved tints with patent driers and pure turpentine added.
5. SASHES & DOORS: Sashes and doors to be rubbed down and treated as other woodwork to approved tints, all painting to be neatly cut in.
6. WEATHER: All paint work is to be properly protected from the weather and any so affected to be done again.
7. INTERIOR: Woodwork to be slightly stained where timber is O.B. finish. All interior woodwork unless otherwise specified to be given one coat of linseed oil. All nail holes to be stopped with coloured putty, and the whole to have one coat of eggshell gloss varnish of approved brand pure enamel to selected tints.
8. FIBROUS PLASTER: All fibrous plaster to be papered to have one coat of best glue size.
9. PAPERING: Allow P.C. value of 8/- per roll for wallpapers to be hung in Lounge, Bedroom 1, Bedroom 2, Hall.
- All papers to be neatly trimmed and hung to have butt joints true and plumb, patterns to be carefully matched and the whole to be left free from paste or finger marks and oil stains.

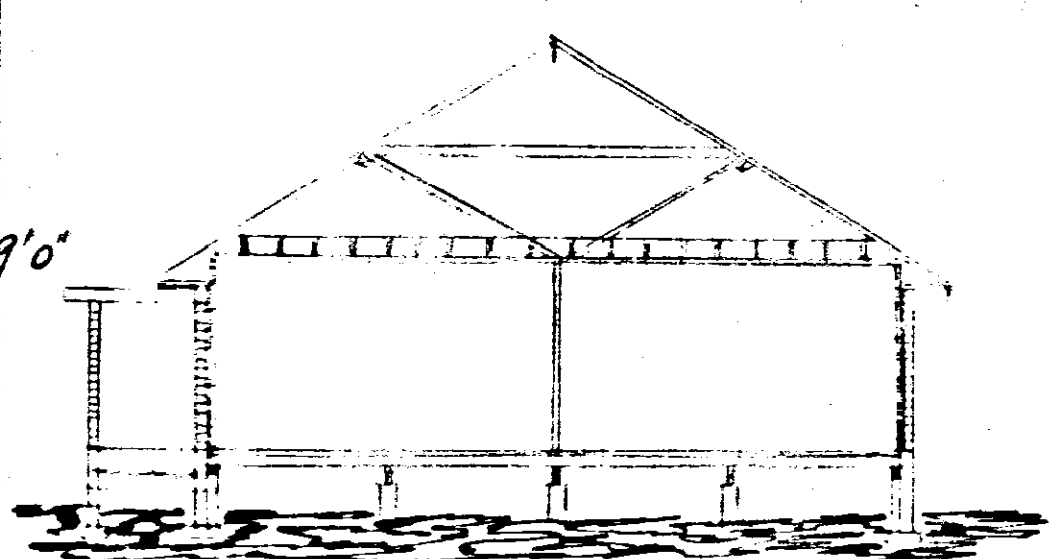
NOTE: This specification to be read in conjunction with the minimum standard specification as required by the State Advances for the construction of dwellings.

LF_24428B



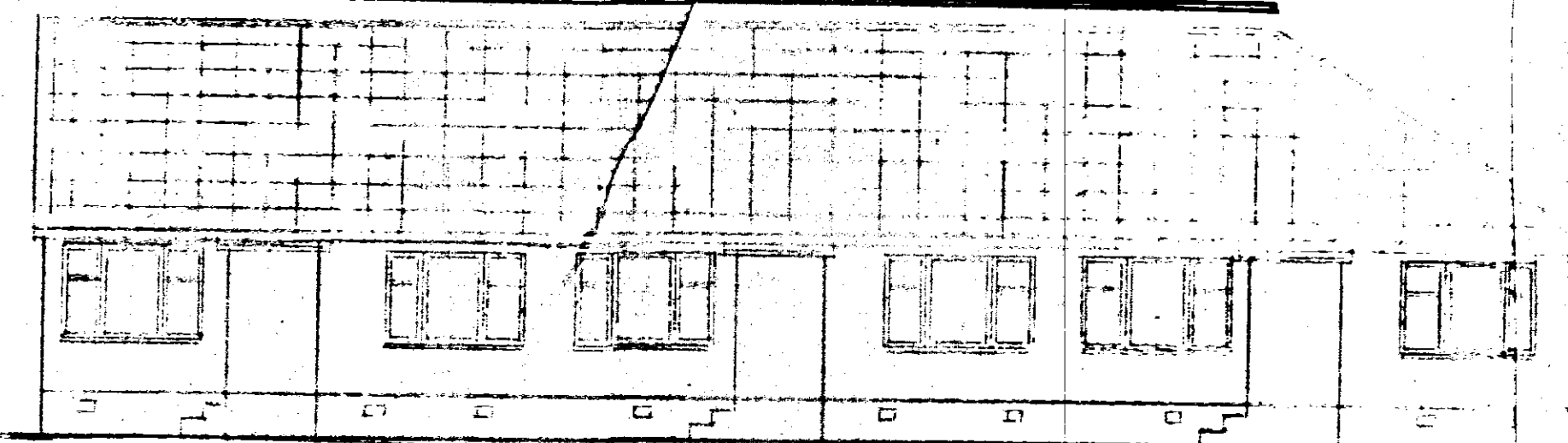
NOTE
 THE OWNER TO FIX THE LOCATION OF ALL THE ELECTRICAL FITTINGS, INCLUDING 2 BAR ELECTRIC HEATER FOR EACH FLAT.

PROPOSED FLOOR PLAN SCALE 1/8" TO 1'0"

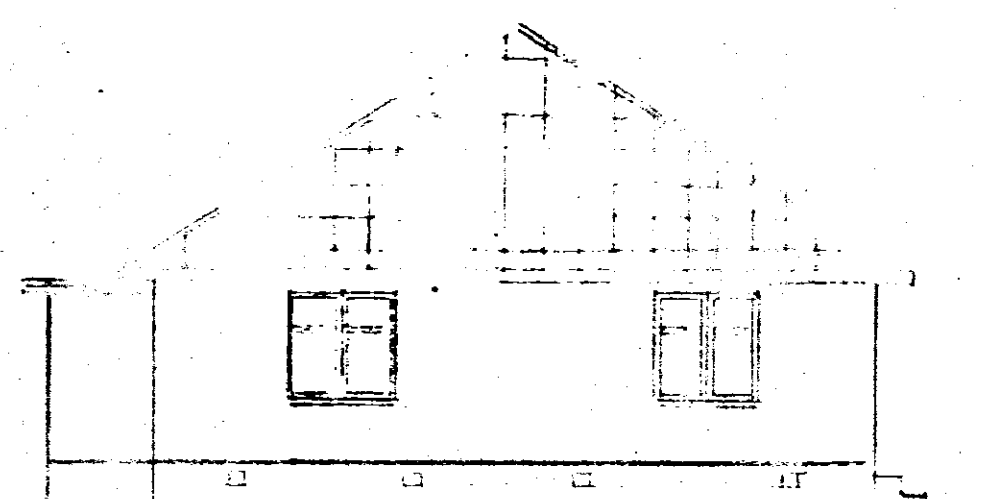


TYPICAL CROSS SECTION

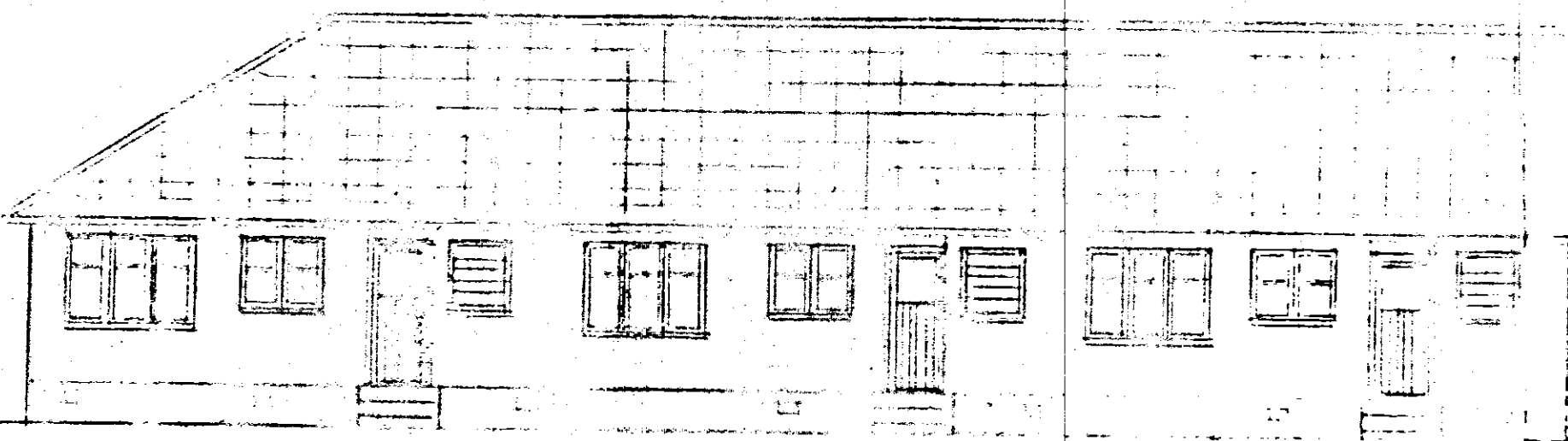
FOUNDATIONS 6" THICK CONTINUOUS CONCRETE WITH 12"x6" FOOTINGS PILES 8"x8" CONCRETE TAKEN 18" INTO SOLID AND SPACED AT NOT MORE THAN 4'6" C/S BY NOT MORE THAN 6'6" C/S IN THE OPPOSITE DIRECTION PILE FOOTINGS TO BE 12"x6"



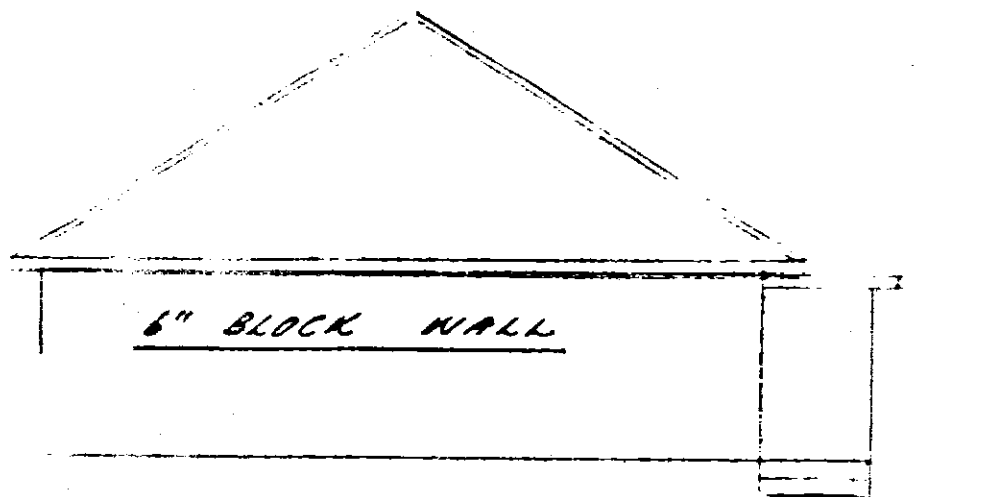
PROPOSED NORTH ELEVATION



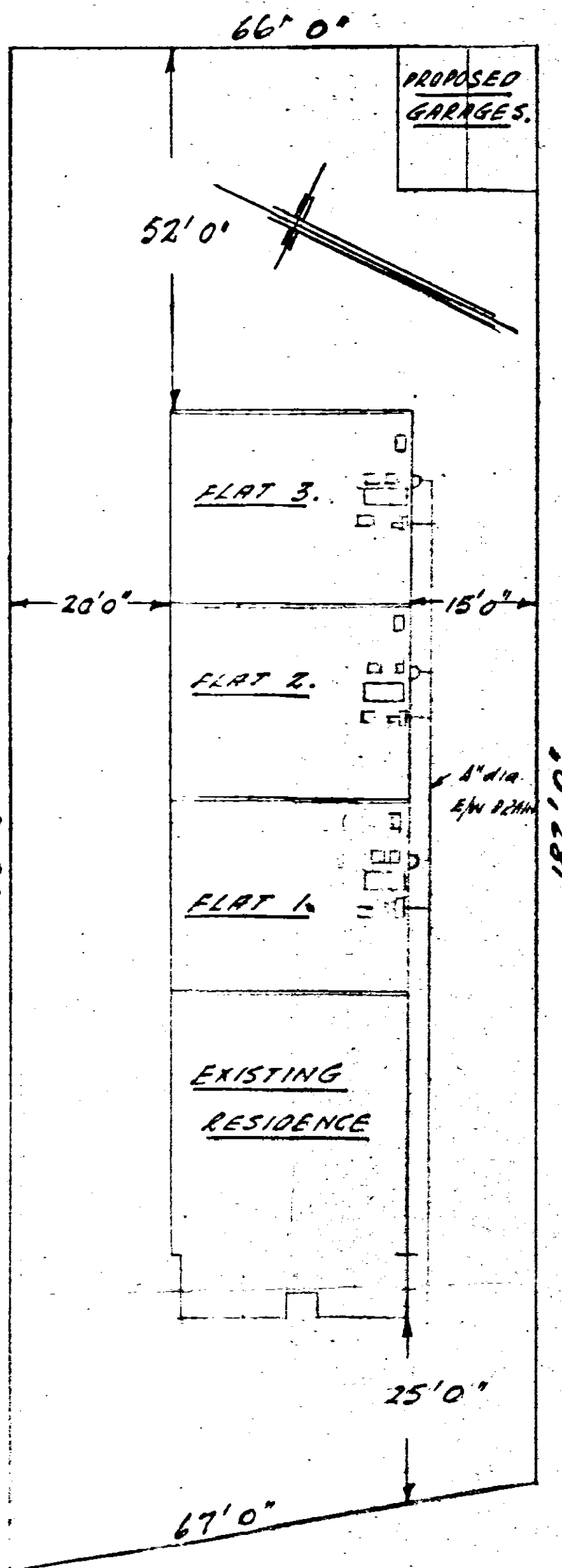
PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



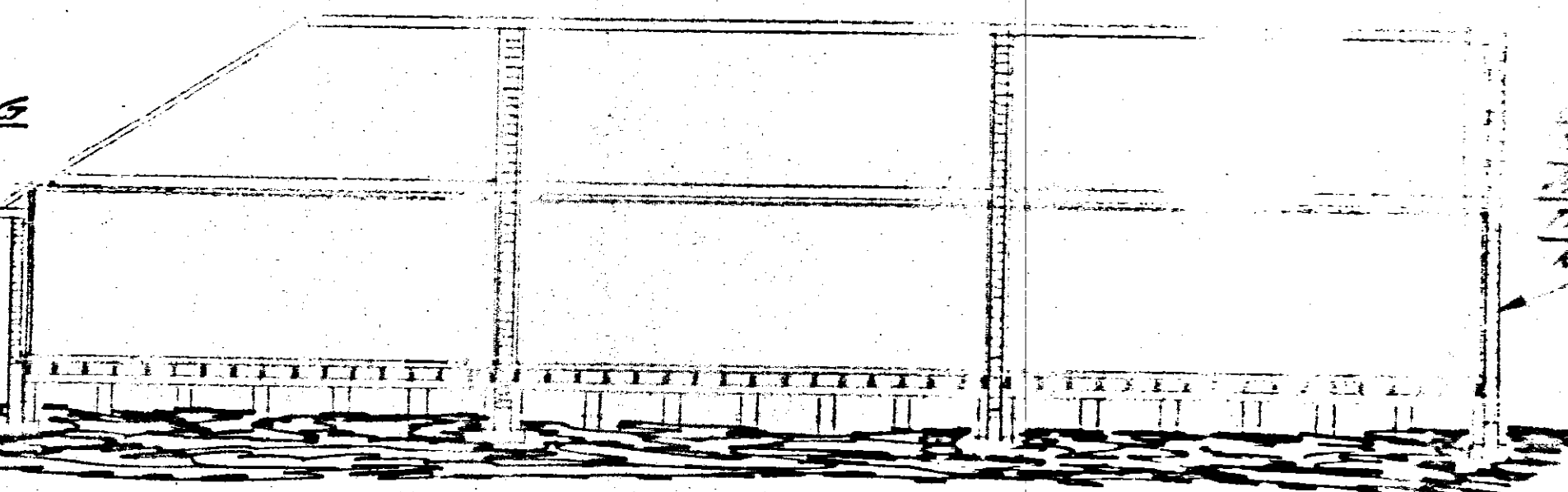
WEST ELEVATION WHICH WILL JOIN THE EXISTING RESIDENCE



FRONTAGE TO WARD STREET
PROPOSED SITE & DRAINAGE PLAN SCALE 1/4" TO 1'0"

NOTE
 THE BUILDING INSPECTOR TO GIVE LOCATION AND LEVELS FOR ALL DRAINAGE WORK

NOTE
 ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH N.Z.S.S 95 FOR LIGHT TIMBER CONSTRUCTION.
 EXTERIOR COVER TO BE BRICK VENEER BRICKWORK TO BE 1/2" CLEAR OF TIMBER FRAMING.
 ALLOW FOR VENTS IN DIVIDING WALLS TO TAKE SERVICES
 INSTALL VERMIN PROOFING IN THE USUAL TRADE MANNER.

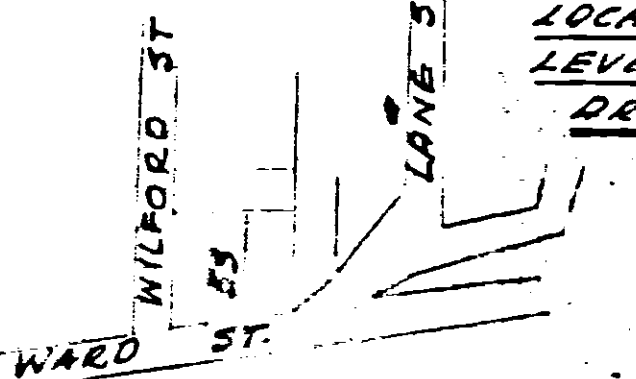


TYPICAL LONG SECTION

DIVIDING WALLS BETWEEN FLATS TO BE 6" BLOCK WORK TAKEN FULL HEIGHT TO THE UNDER FACE OF TILE BATTENS. FOOTINGS FOR WALLS TO BE 12"x6" TAKEN 18" INTO SOLID

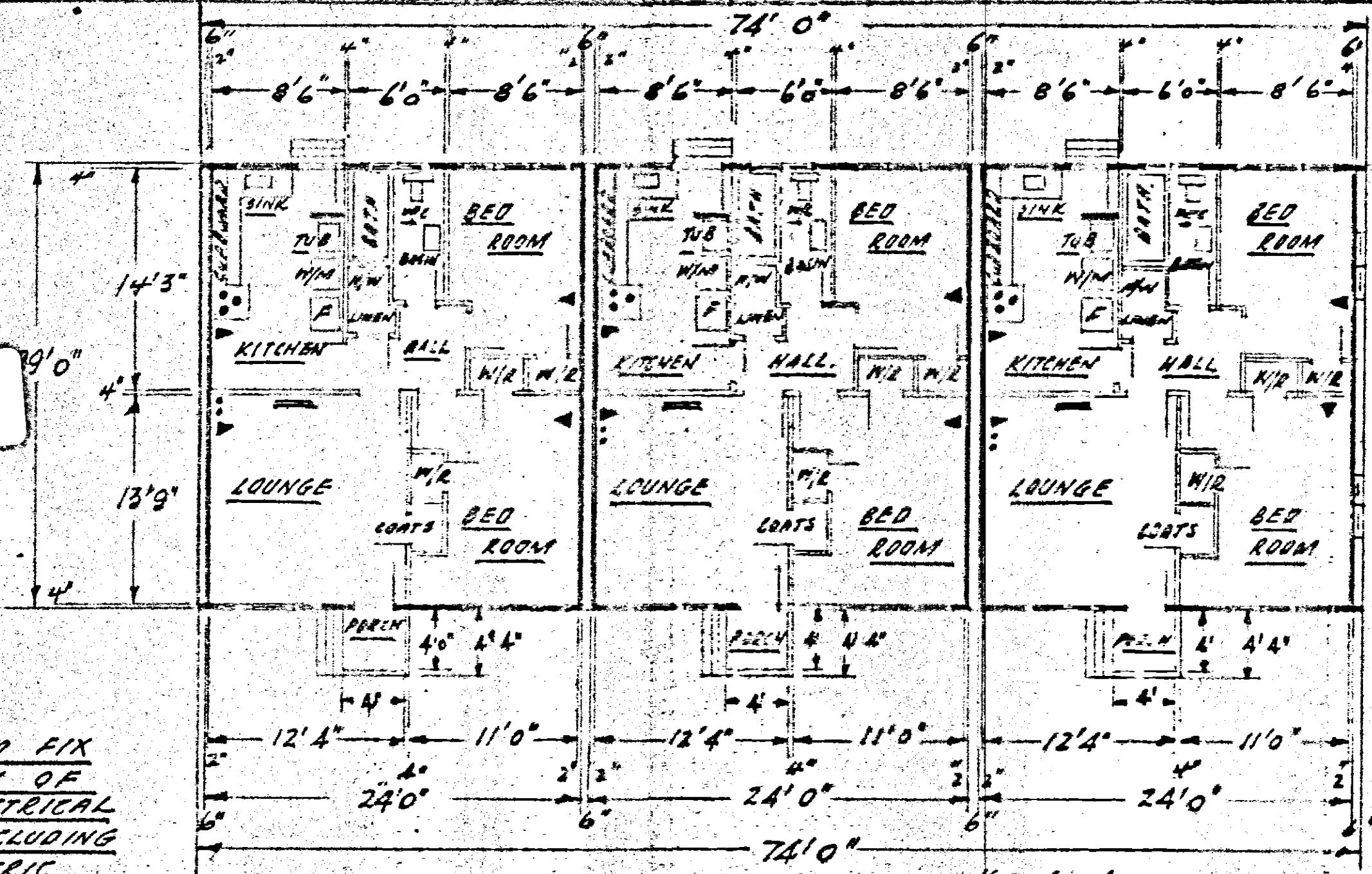
NOTE
 THIS WALL TO JOIN UP WITH THE EXISTING RESIDENCE

NOTE
 THE EXISTING RESIDENCE TO BE MOVED ON SECTION TO A LOCATION AS SHOWN ON THE NEW PROPOSED SITE PLAN.
 THE REMOVAL OF THE EXISTING RESIDENCE TO NEW SITE WILL BE CARRIED OUT BY T. PARRY WHOM WILL BE RESPONSIBLE FOR ALL DRAINAGE ETC. AND WILL WORK IN CONJUNCTION WITH MR. Y. R. HARTLEY BUILDER OF THE PROPOSED FLATS.



LOCALITY PLAN.

PROPOSED BLOCK OF 3 FLATS TO BE ERECTED ON LOT 53 D.P. 1560 WARD ST. FOR MRS McNICOL OF UPPER HUTT

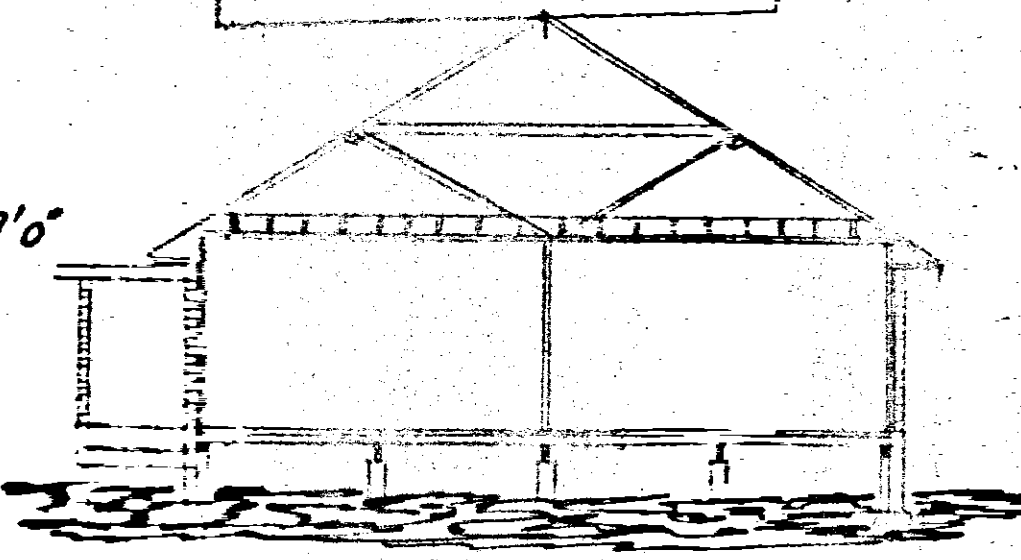


PROPOSED FLOOR PLAN SCALE 1/8" TO 1"

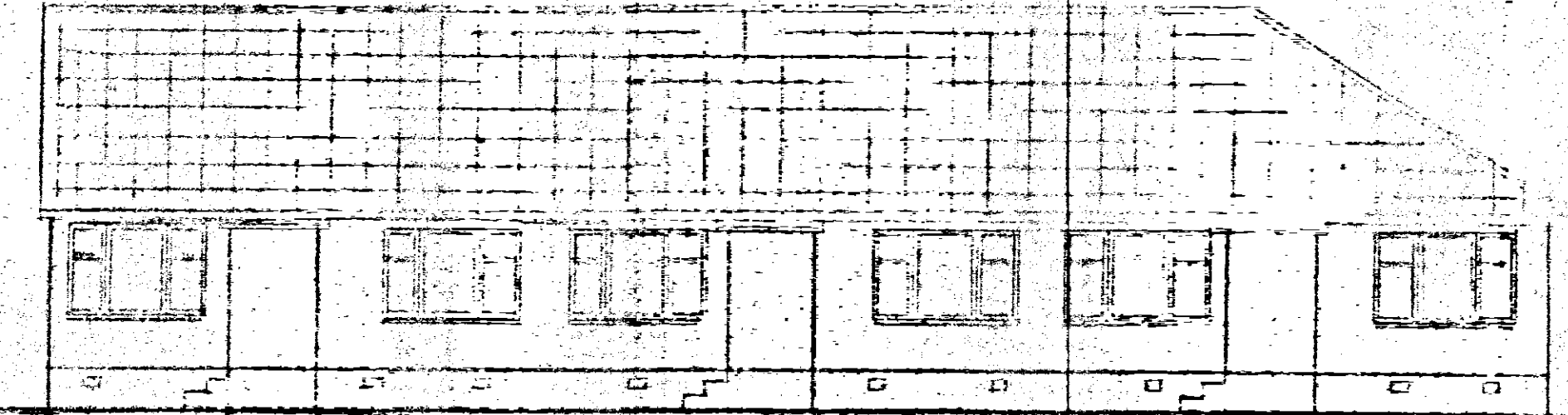
NOTE THE OWNER TO FIX THE LOCATION OF ALL THE ELECTRICAL FITTINGS, INCLUDING 2 BAR ELECTRIC HEATER FOR EACH FLAT.

FOUNDATIONS 6" THICK CONTINUOUS CONCRETE WITH 12"x6" FOOTINGS PILES 8"x8" CONCRETE TAKEN 18" INTO SOLID AND SPACED AT NOT MORE THAN 4'6" CBS BY NOT MORE THAN 6'6" CBS IN THE OPPOSITE DIRECTION PILE FOOTINGS TO BE 12"x6"

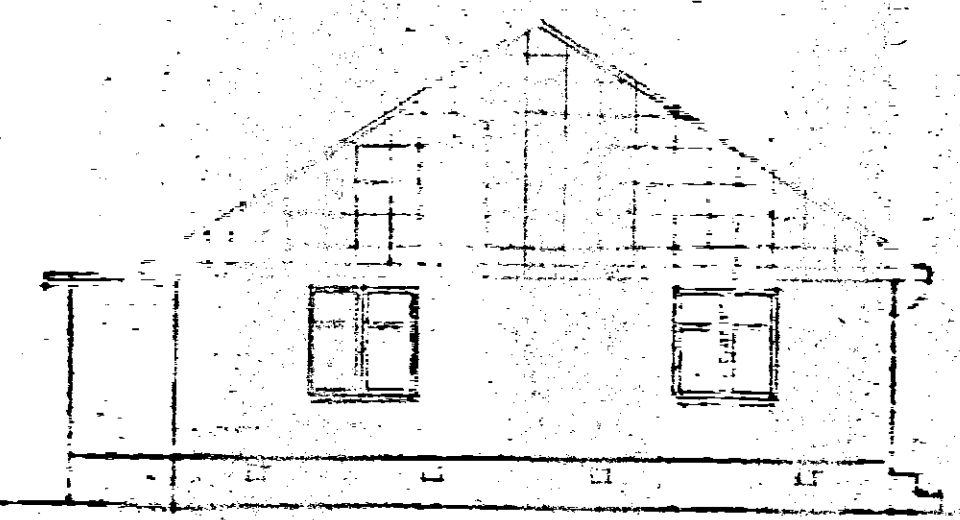
UPPER HUTT BOROUGH COUNCIL DATE 22.04.1961 APPROVED



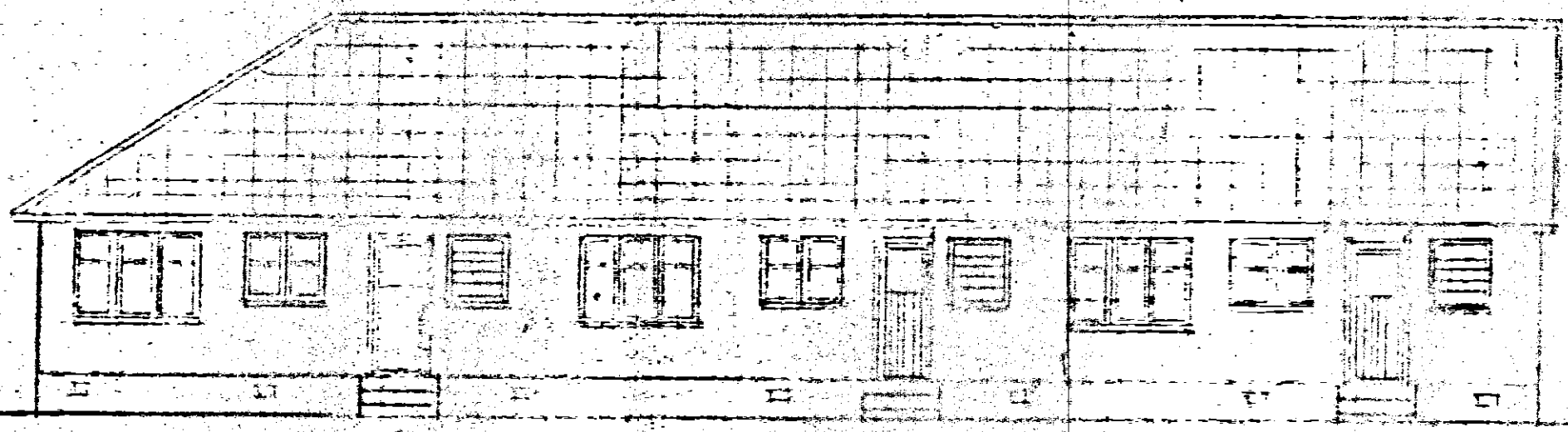
TYPICAL CROSS SECTION



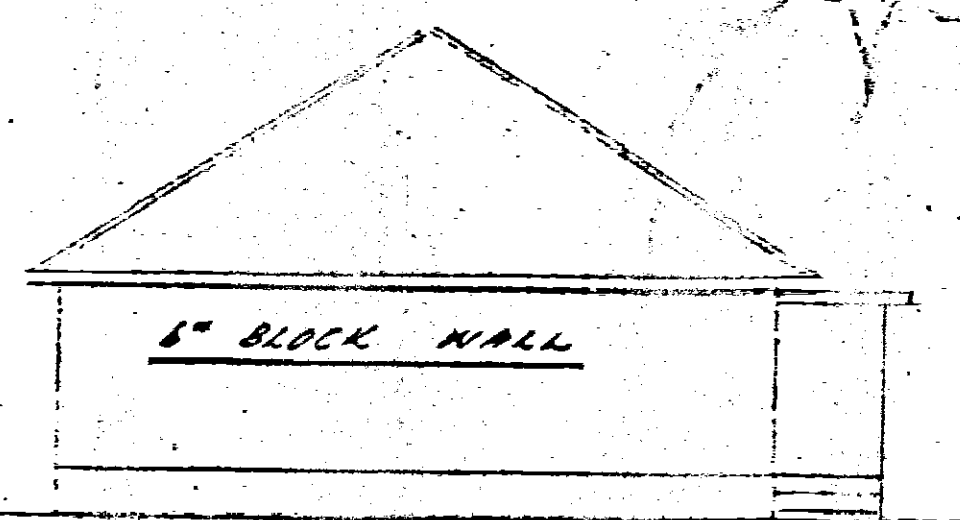
PROPOSED NORTH ELEVATION



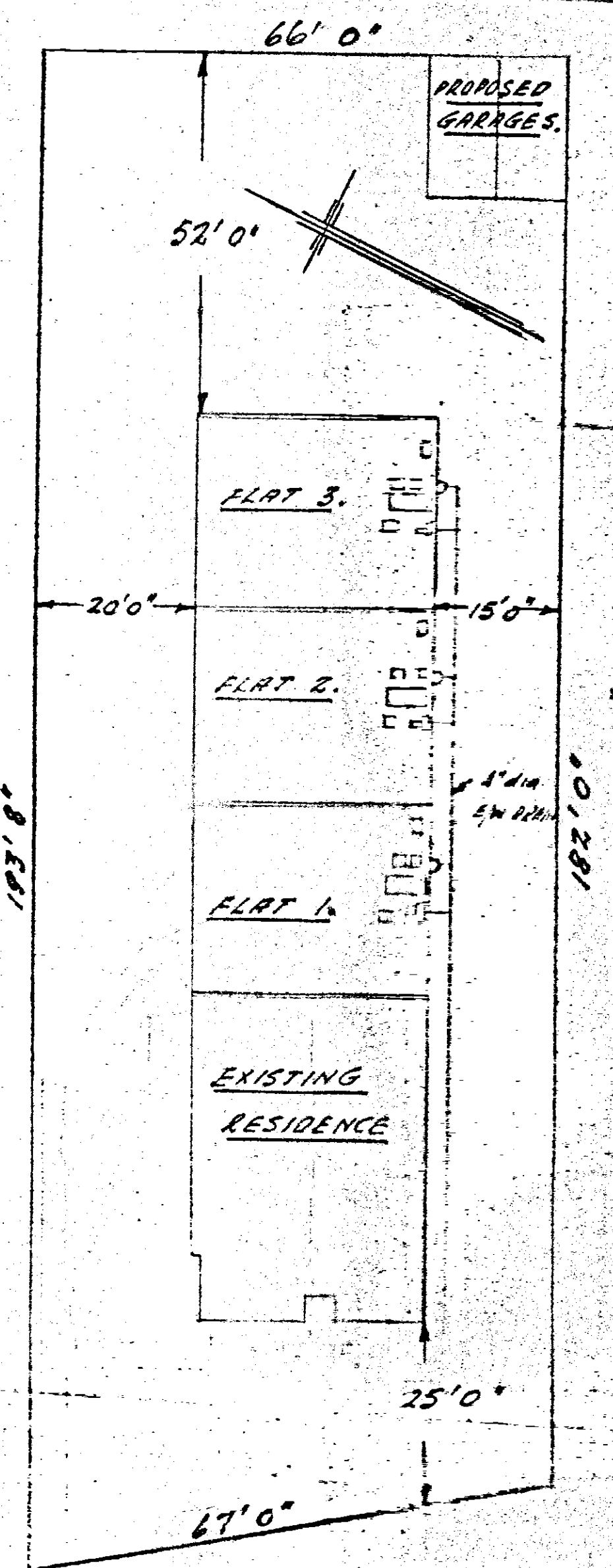
PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



WEST ELEVATION WHICH WILL JOIN THE EXISTING RESIDENCE

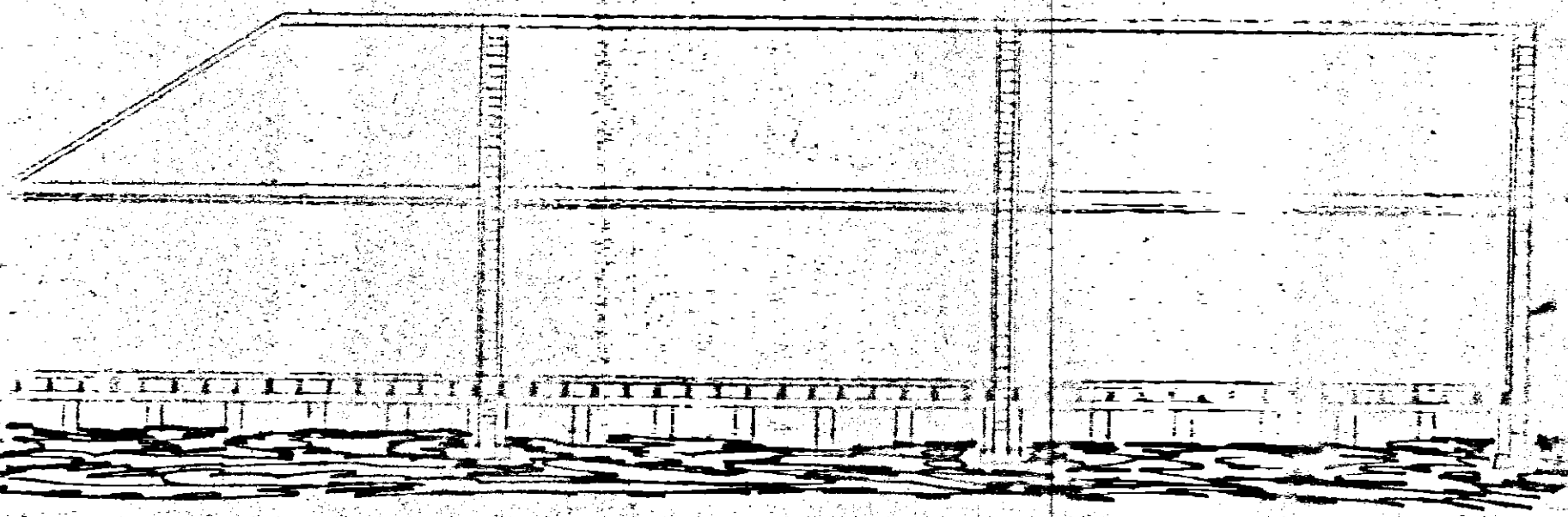


FRONTAGE TO WARD STREET PROPOSED SITE & DRAINAGE PLAN SCALE 1/16 TO 1"

NOTE ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH N.Z. S.S. 95 FOR LIGHT TIMBER CONSTRUCTION.

EXTERIOR COVER TO BE BRICK VENEER BRICKWORK TO BE 1 1/2" CLEAR OF TIMBER FRAMING.

ALLOW FOR VENTS IN DIVIDING WALLS TO TAKE SERVICES INSTALL VERMIN PROOFING IN THE USUAL TRADE MANNER.



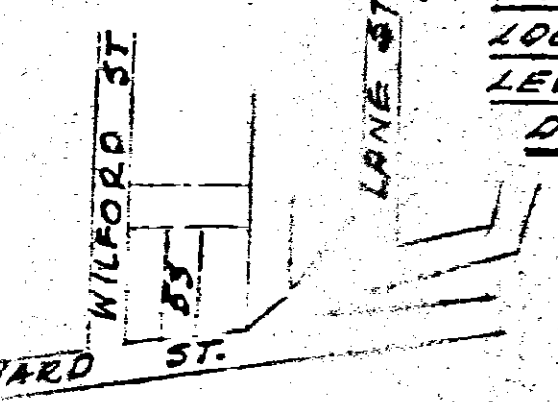
TYPICAL LONG SECTION

DIVIDING WALLS BETWEEN FLATS TO BE 6" BLOCK WORK TAKEN FULL HEIGHT TO THE UNDER FACE OF TILE BATTENS. FOOTINGS FOR WALLS TO BE 12"x6" TAKEN 18" INTO SOLID

NOTE THIS WALL TO JOIN UP WITH THE EXISTING RESIDENCE

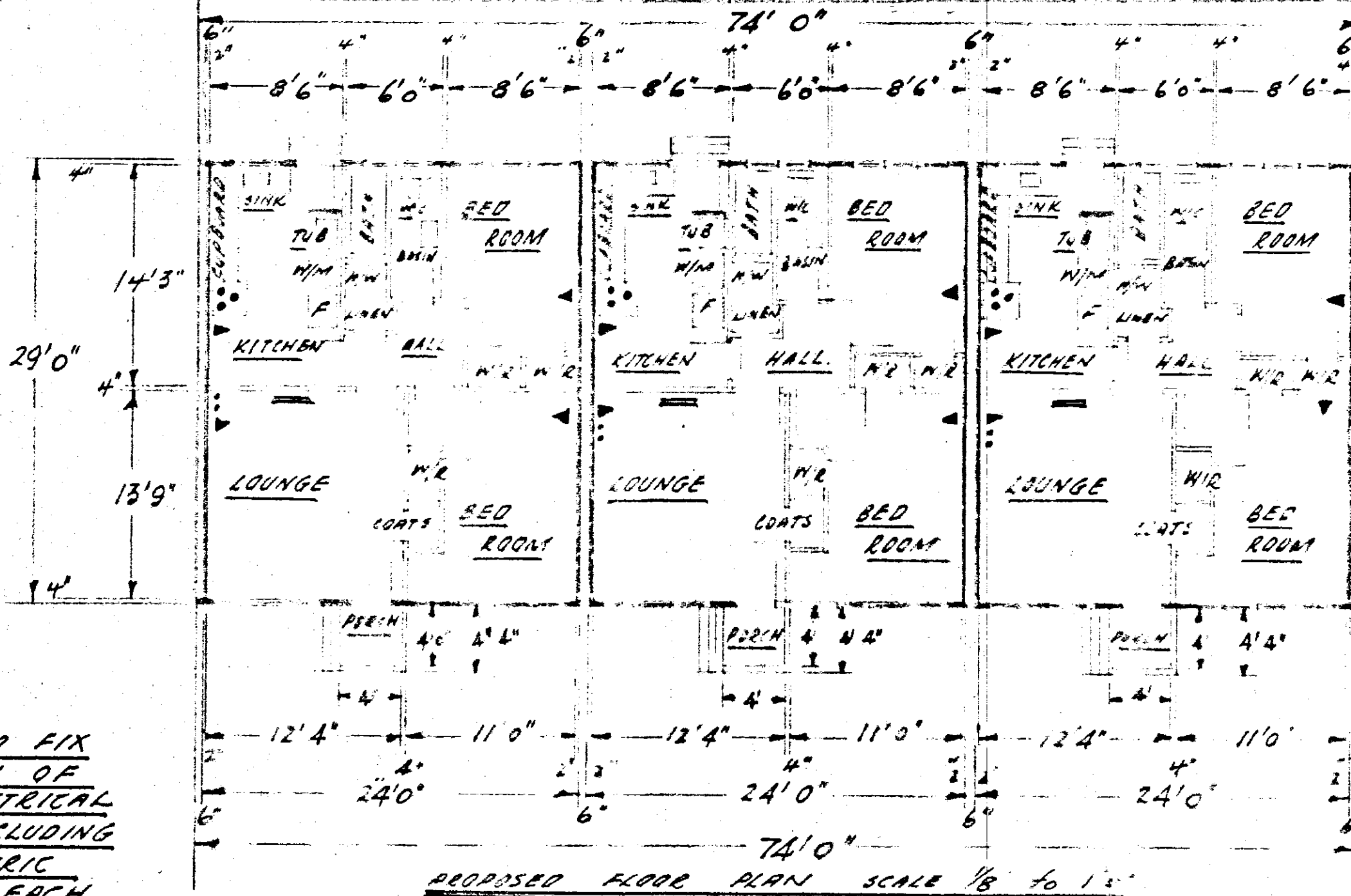
NOTE THE EXISTING RESIDENCE TO BE MOVED ON SECTION TO A LOCATION AS SHOWN ON THE NEW PROPOSED SITE PLAN. THE REMOVAL OF THE EXISTING RESIDENCE TO NEW SITE WILL BE CARRIED OUT BY T. PARRY WHOM WILL BE RESPONSIBLE FOR ALL DRAINAGE ETC. AND WILL WORK IN CONJUNCTION WITH MR. V.P. HARTLEY BUILDER OF THE PROPOSED FLATS.

NOTE THE BOROUGH INSPECTOR TO GIVE LOCATION AND LEVELS FOR ALL DRAINAGE WORK



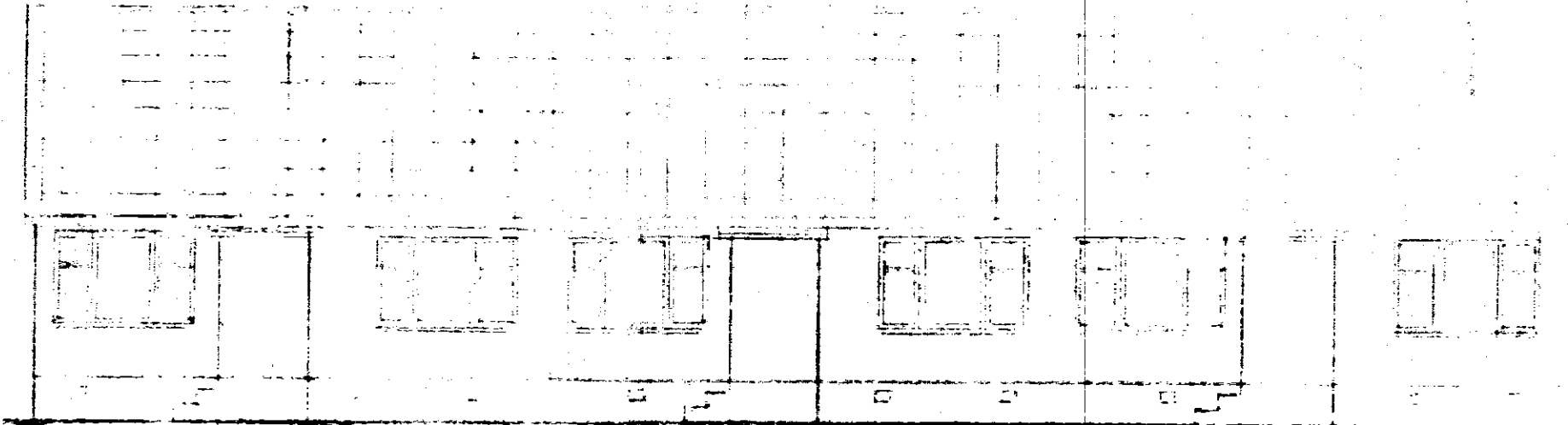
LOCALITY PLAN

PROPOSED BLOCK OF 3 FLATS TO BE ERECTED ON LOT 53 D.P. 1560 WARD ST. FOR MRS McNICOL OF UPPER HUTT

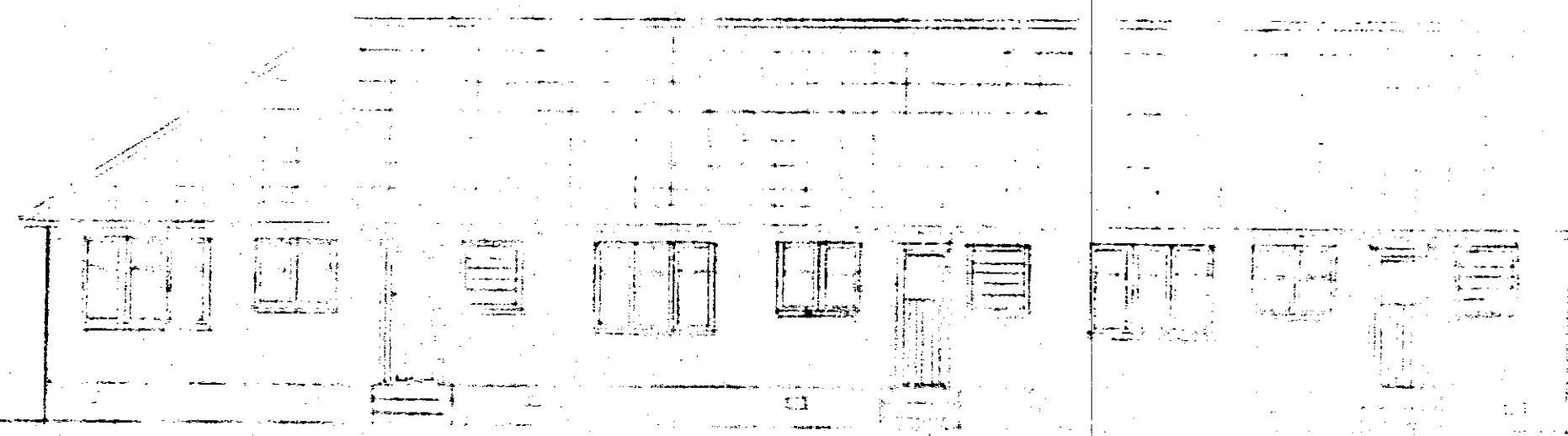


NOTE
 THE OWNER TO FIX
 THE LOCATION OF
 ALL THE ELECTRICAL
 FITTINGS, INCLUDING
 2 BAR ELECTRIC
 HEATER FOR EACH
 FLAT.

PROPOSED FLOOR PLAN SCALE 1/8 TO 1"

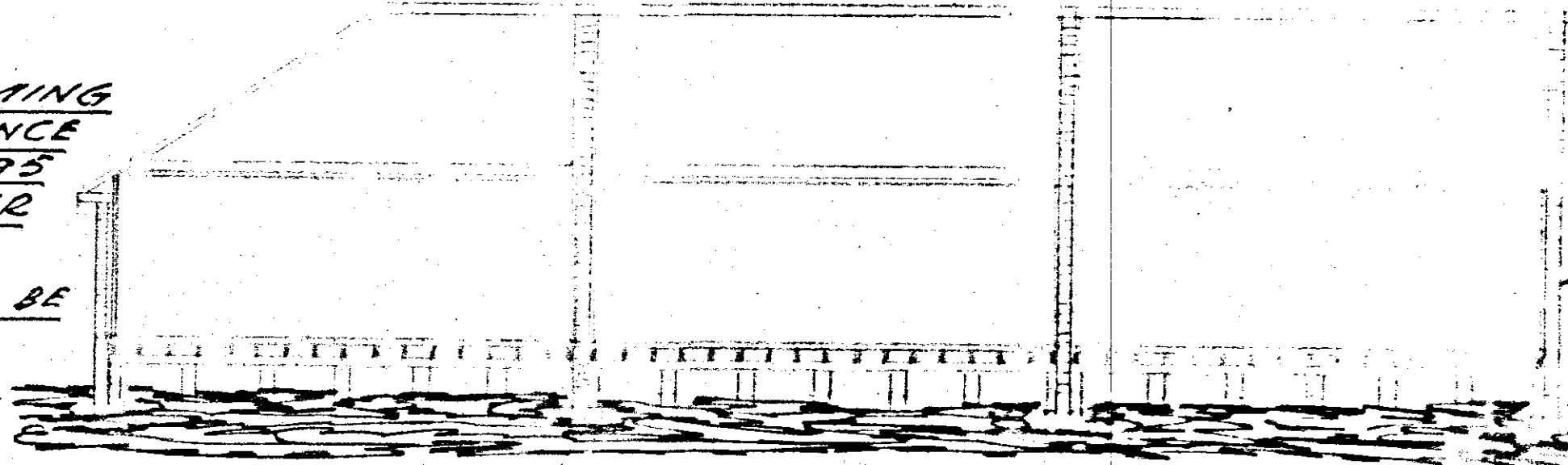


PROPOSED NORTH ELEVATION



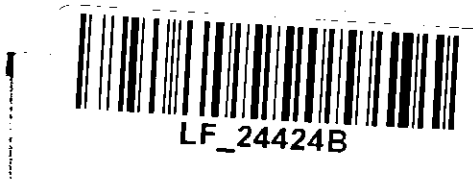
PROPOSED SOUTH ELEVATION

NOTE
 ALL TIMBER FRAMING
 TO BE IN ACCORDANCE
 WITH N.Z.S. 3 95
 FOR LIGHT TIMBER
 CONSTRUCTION.
 EXTERIOR COVER TO BE
 BRICK VENEER
 BRICKWORK TO BE
 1/2" CLEAR OF
 TIMBER FRAMING.
 ALLOW FOR VENTS IN
 DIVIDING WALLS TO
 TAKE SERVICES
 INSTALL VERMIN
 PROOFING IN THE
 USUAL TRADE MANNER.

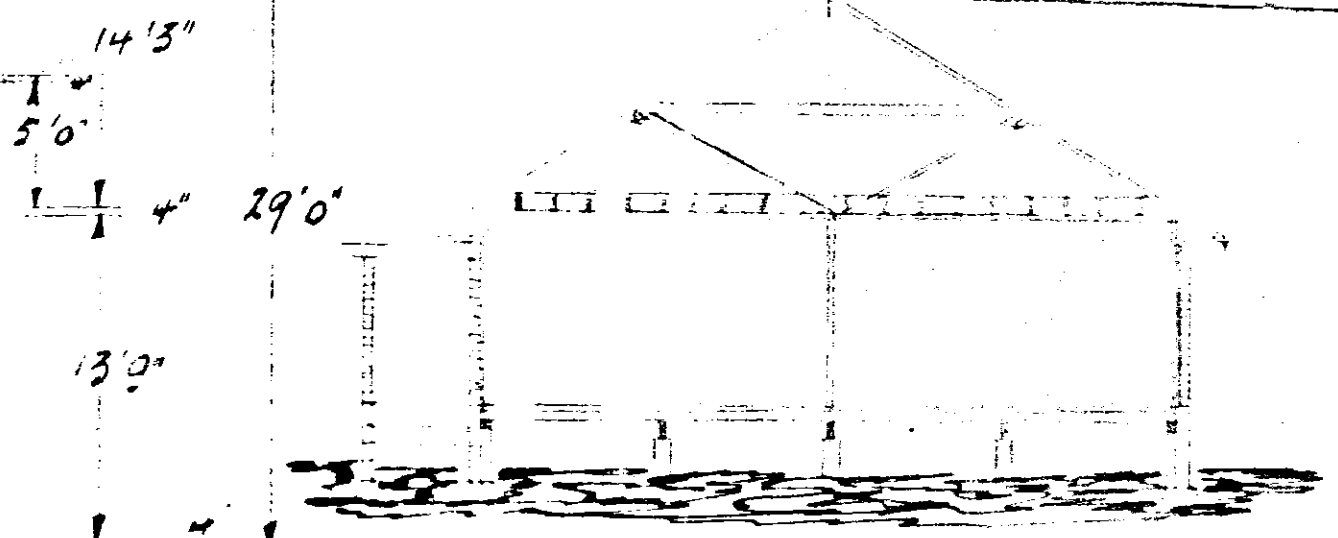


TYPICAL LONG SECTION

DIVIDING WALLS BETWEEN FLATS TO BE 6"
 BLOCK WORK TAKEN FULL HEIGHT TO THE
 UNDER FACE OF TILE BATTENS. FOOTINGS FOR
 WALLS TO BE 12"x6" TAKEN 18" INTO SOLID

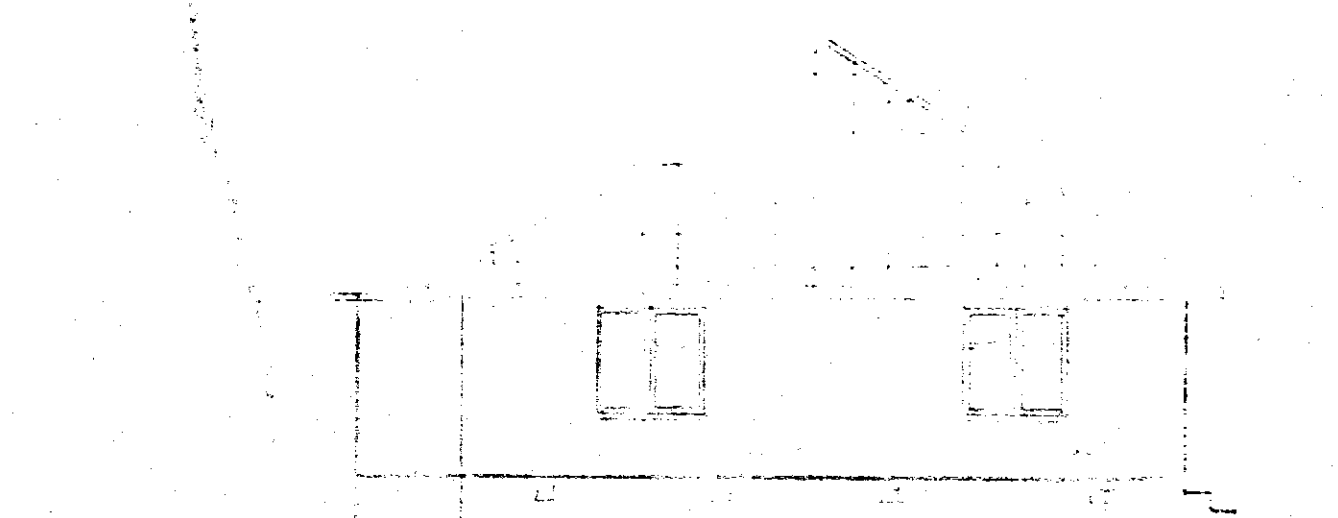


UPPER HUTT BOROUGH COUNCIL
 DATE: 22/11/11
APPROVED

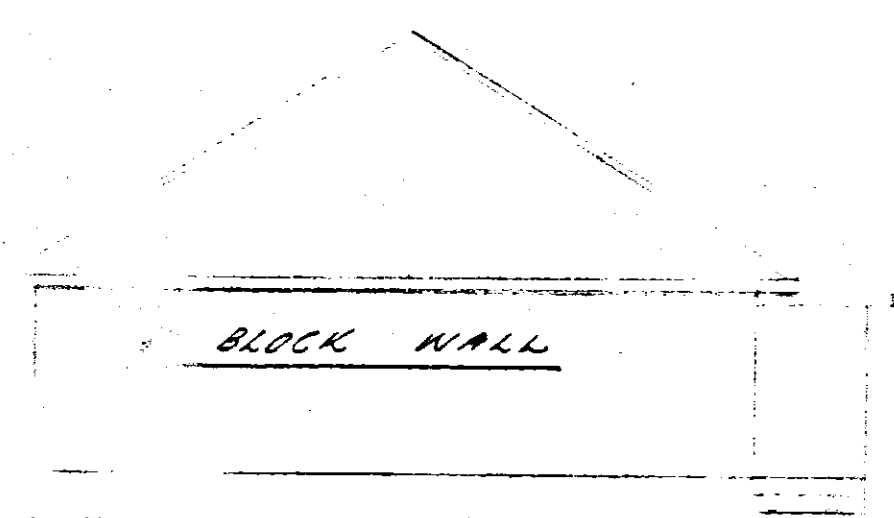


TYPICAL CROSS SECTION

FOUNDATIONS 6" THICK CONTINUOUS CONCRETE
 WITH 12"x6" FOOTINGS PILES 8"x8" CONCRETE
 TAKEN 18" INTO SOLID AND SPACED AT NOT MORE
 THAN 4'6" CBS BY NOT MORE THAN 6'6" CBS
 IN THE OPPOSITE DIRECTION PILE
 FOOTINGS TO BE 12"x6"



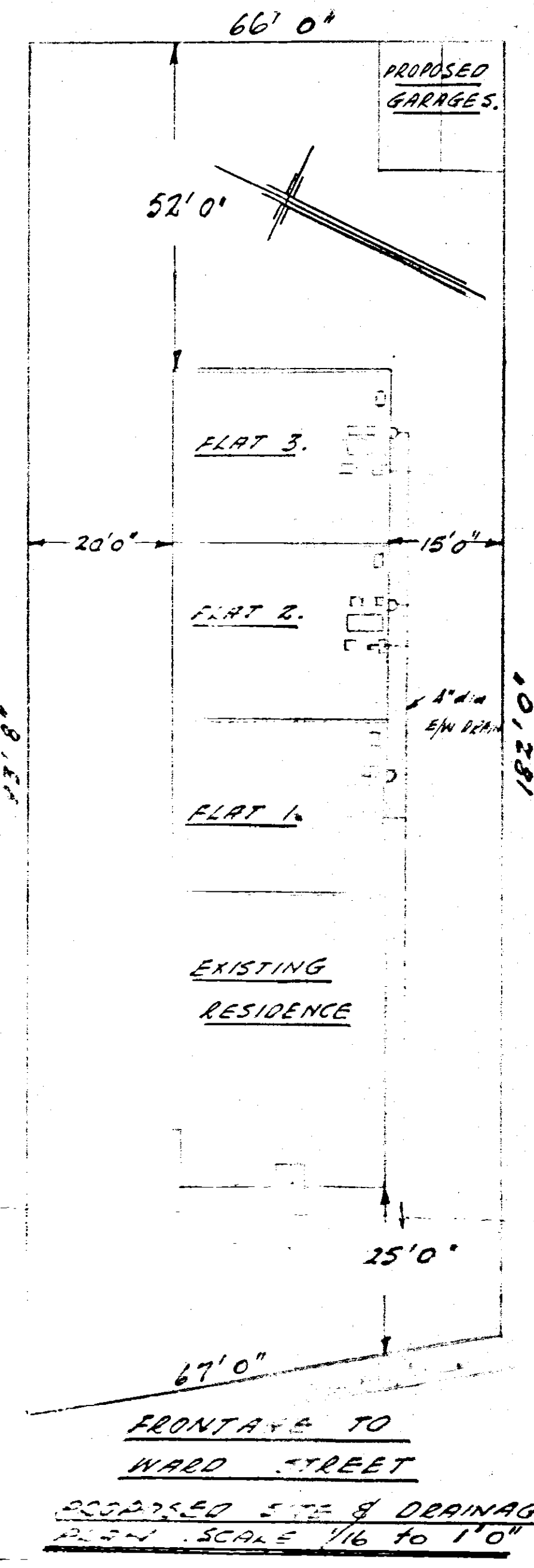
PROPOSED EAST ELEVATION



WEST ELEVATION WHICH WILL
 JOIN THE EXISTING RESIDENCE

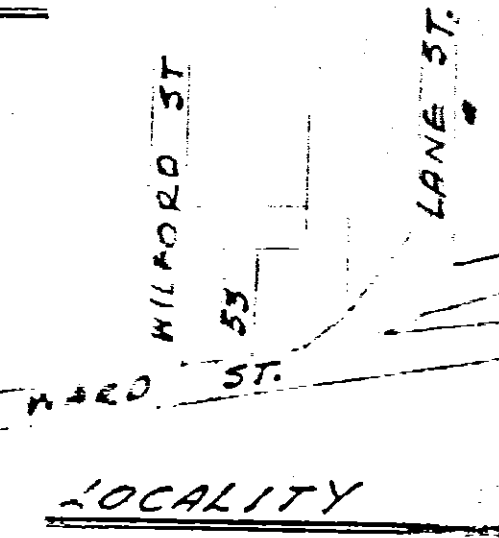
NOTE
 THIS WALL TO
 JOIN UP WITH
 THE EXISTING
 RESIDENCE

NOTE.
 THE EXISTING RESIDENCE
 TO BE MOVED ON SECTION
 TO A LOCATION AS SHOWN
 ON THE NEW PROPOSED
 SITE PLAN.
 THE REMOVAL OF THE
 EXISTING RESIDENCE TO
 NEW SITE WILL BE CARRIED
 OUT BY T. PARRY WHO WILL
 BE RESPONSIBLE FOR ALL
 DRAINAGE ETC. AND WILL
 WORK IN CONJUNCTION WITH
 MR. Y. R. HARTLEY, BUILDER
 OF THE PROPOSED FLATS.



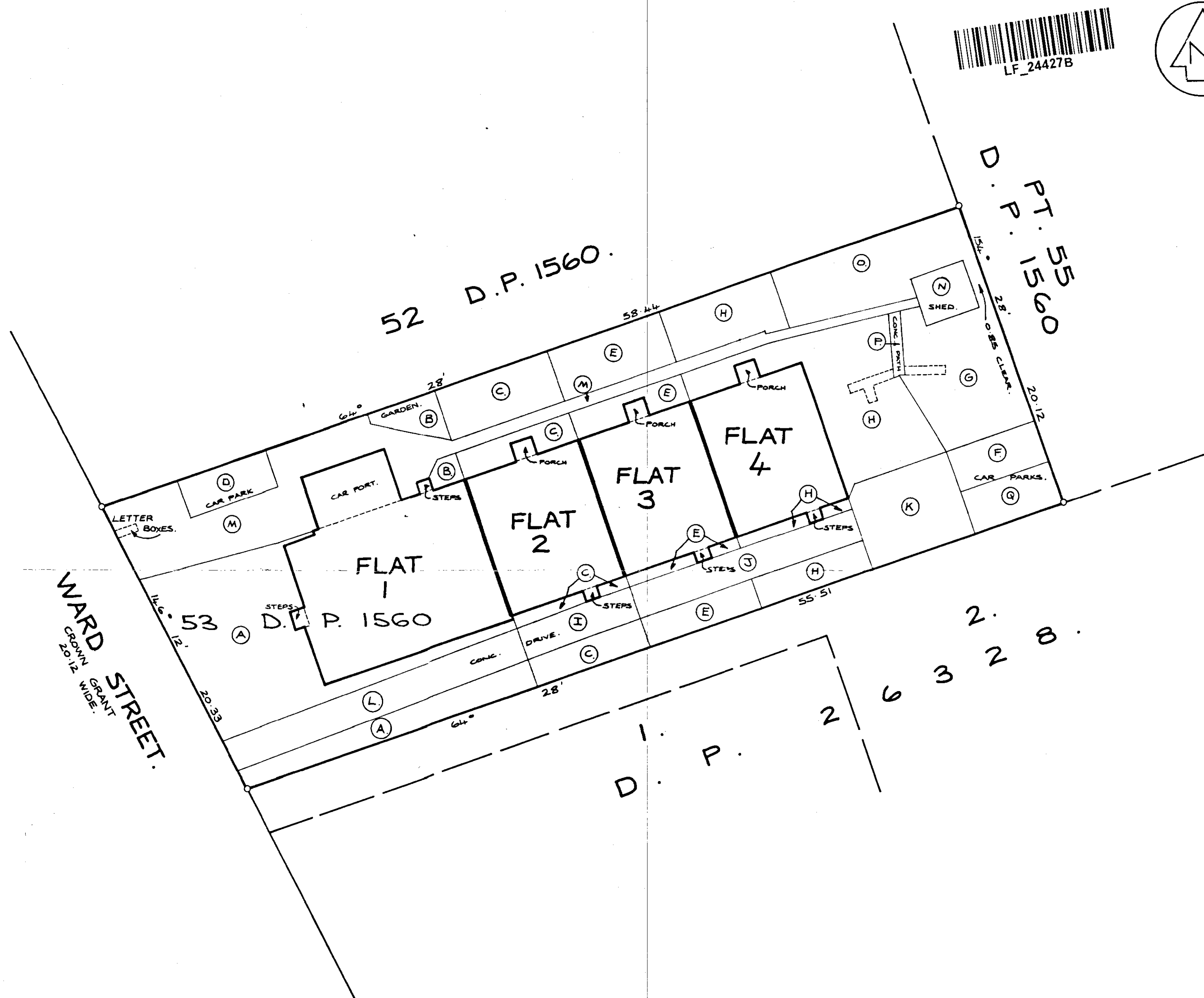
PROPOSED SITE & DRAINAGE
 PLAN SCALE 1/16 TO 1"

NOTE
 THE BOROUGH
 INSPECTOR TO GIVE
 LOCATION AND
 LEVELS FOR ALL
 DRAINAGE WORK



LOCALITY PLAN

PROPOSED BLOCK OF 3
 FLATS TO BE ERECTED
 ON LOT 53 D.P. 1560
 WARD ST. FOR MRS McNICOL
 OF UPPER HUTT



APPROVED.

REGISTERED PROPRIETOR.

SEE LEASES FOR RESTRICTIVE COVENANTS SHOWN A-Q.

PURSUANT TO SECTION 314 OF THE LOCAL GOVERNMENT ACT 1974 I HEREBY CERTIFY THAT THE BUILDINGS AS SHOWN OR DESCRIBED HEREON WERE CONSTRUCTED BEFORE 1 APRIL 1979 AND WERE PROVIDED WITH SUCH SAFEGUARDS AGAINST FIRE AND MEANS OF ESCAPE IN CASE OF FIRE AS ARE REQUIRED BY THE BY-LAWS OF THE UPPER HUTT CITY COUNCIL APPLYING AT THE DATE HEREOF.

DATED THIS _____ DAY OF _____ 1981

TOWN CLERK
UPPER HUTT CITY COUNCIL.

Total Area **1146 m².**

Comprised in C.T. 167-125 (All)

I, JOHN HUGH FRANCIS McKECHNIE of UPPER HUTT. Registered Surveyor and holder of an annual practising certificate hereby certify that this plan has been made from Surveys executed by me or under my direction; that both plan and Survey are correct and have been made in accordance with the regulations under the Surveyors Act 1966

Dated at UPPER HUTT this 11TH day of DECEMBER 1981 Signature *J.H.F. McKechnie*

Field Book p. _____ Traverse Book p. _____

Reference Plans D.P. 1560, 26328

Examined _____ Correct

Approved as to Survey

Chief Surveyor

Deposited this _____ day of _____ 19 _____

District Land Registrar

LAND DISTRICT WELLINGTON.

SURVEY BLK.& DIST. I RIMUTAKA.

N7MS SHEET NO.

FLATS 1-4 ON LOT 53 D.P. 1560.

LOCAL AUTHORITY UPPER HUTT CITY.

Surveyed by JOHN H.F. McKECHNIE.

Scale 1:200 Date DEC. 1981.

File 81/78

Received Instructions



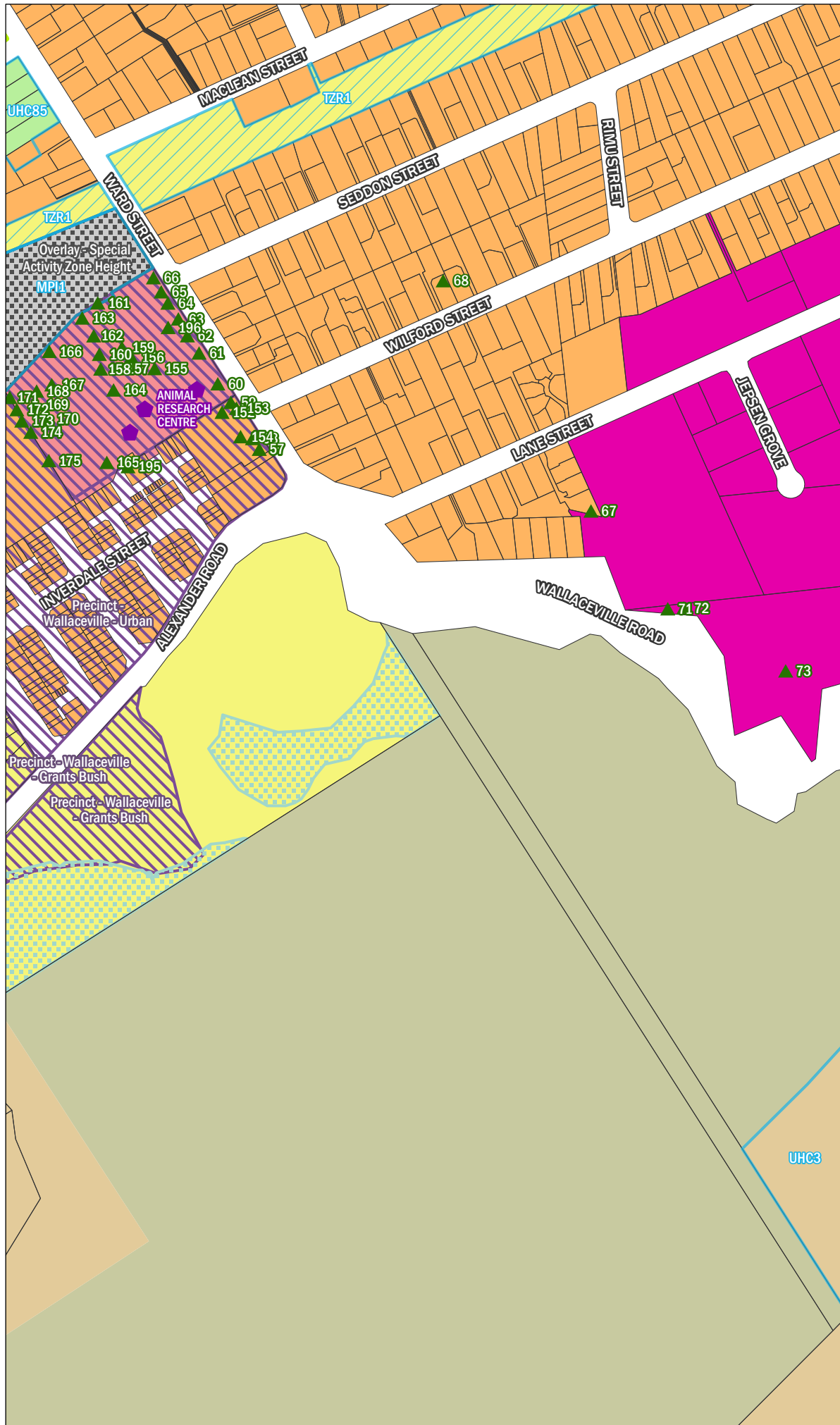
Planning

L240311 - AERIAL



URBAN MAP 37

	13	14	15	16	17	18	19	2
2	23	24	25	26	27	28	29	3
3	34	35	36	37	38			
4	43	44						
5								
6								
7								



- Land Parcels
- ZONES**
 - General Residential
 - High Density Residential
 - General Rural
 - Rural Production
 - Rural Lifestyle
 - Settlement
 - Neighbourhood Centre
 - Local Centre
 - Commercial
 - Mixed Use
 - Town Centre
 - City Centre
 - General Industrial
 - Open Space
 - Special Activity
- FEATURES**
 - Heritage Features
 - Notable Trees
 - Urban Tree Groups
 - Rivers & Streams
 - Active Street Frontage
- DESIGNATIONS**
 - Utilities Designations
 - General
 - Highway
 - Railway
- PRECINCTS**
 - Development Area - Gabites Block
 - Development Area - St Patrick's
 - Overlay - Special Activity Zone Height
 - Precinct - Indigenous Biodiversity
 - Precinct - Industrial Eastern Hutt Road
 - Precinct - St Patrick's College
 - Precinct - Wallaceville - Gateway
 - Precinct - Wallaceville - Grants Bush
 - Precinct - Wallaceville - Living A
 - Precinct - Wallaceville - Living B
 - Precinct - Wallaceville - Urban
 - Precinct - Wellington Speedway

L240311 - KNOWN HAZARDS



PROPERTY	DISTRICT PLAN ZONES	DRAFT PLAN CHANGES	
<ul style="list-style-type: none"> Land Parcels Titles Easement Esplanade Strip Covenant QEII National Trust 	<ul style="list-style-type: none"> General Residential High Density Residential General Rural Rural Production Rural Lifestyle Settlement Neighbourhood Centre Local Centre Commercial Mixed Use Town Centre City Centre General Industrial Open Space Special Activity 	47 - NATURAL HAZARDS <ul style="list-style-type: none"> Fault Traces (GNS, 2022) Indicative Slope Setback - Crest & Toe (Coffey, 2020) Medium Liquefaction Risk (Coffey, 2019) Updated Wellington Fault Band (GNS, 2022) Distributed Uncertain constrained Well-defined Well-defined extension 	
OPERATIVE DISTRICT PLAN	PROPOSED PLAN CHANGES		
FEATURES	47 - NATURAL HAZARDS <ul style="list-style-type: none"> Wgt Fault Band - Distributed Wgt Fault Band - Uncertain constrained Wgt Fault Band - Uncertain poorly constrained Wgt Fault Band - Well-defined Wgt Fault Band - Well-defined extension 	48 - SNAs & LANDSCAPES <ul style="list-style-type: none"> Significant Natural Areas Landscape Areas 	
<ul style="list-style-type: none"> Heritage Features Notable Trees Urban Tree Groups Rivers & Streams Protected Ridgelines Utilities Designation Designation - General Designation - Highway Designation - Railway Overlay - Active Street Frontage Overlay - Southern Hills - Visual Overlay - Southern Hills - Landscape Overlay - Southern Hills - Ecological 	49 - OPEN SPACES <ul style="list-style-type: none"> Open Space Natural Open Space Sports & Active Recreation Variation 1 - Natural Area 	49 - OPEN SPACES <ul style="list-style-type: none"> Open Space Natural Open Space Sports & Active Recreation Variation 1 - Natural Area 	
HAZARDS	<ul style="list-style-type: none"> Fault Band High Voltage Lines 100 year Flood Extent Pinehaven Catchment Overlay Pinehaven Stream Corridor Pinehaven Overland Flow Pinehaven Ponding Area Mangaroa Erosion Hazard Area Mangaroa River Corridor Mangaroa Overflow Path Mangaroa Ponding Area 	50 - RURAL REVIEW <ul style="list-style-type: none"> Overlay - Clay Target Club Acoustic Precinct - Berketts Farm Precinct - Staglands General Residential General Rural Rural Production Rural Lifestyle Settlement Natural Open Space Open Space Special Activity 	50 - RURAL REVIEW <ul style="list-style-type: none"> Overlay - Clay Target Club Acoustic Precinct - Berketts Farm Precinct - Staglands General Residential General Rural Rural Production Rural Lifestyle Settlement Natural Open Space Open Space Special Activity
PRECINCTS	<ul style="list-style-type: none"> Development Area - Gabites Block Development Area - St Patrick's Overlay - Special Activity Zone Height Precinct - Blue Mountains Precinct - Indigenous Biodiversity Precinct - Industrial Eastern Hutt Road Precinct - St Patrick's College Precinct - Wallaceville Precinct - Wellington Speedway 		