

PROCESS NAME: ADMIN PROJECT COMPLETION PROMPT LIST

DOCUMENT NUMBER: BAD0002 - CI1281

RESPONSIBILITY: BUILDING CONTROL GROUP MANAGER

PROJECT DETAILS

Building Consent No: 220065

Items to be Checked	What is checked	Checked	Not Applicable	Comments	
				Field Sheet	Proclaim
Inspections	Are all inspections accounted for	✓			✓
	All LBP Certificates received		✓		
Attached Documents	PS4 Producer Statement		✓		
	Application for CCC signed and received	✓		✓	
	Services as laid plan		✓		
	Energy work certificates - gas - electrical		✓ ✓		
	Warning System Test Certificate		✓		
	FPIS Sign off		✓		
Compliance Schedule	Issue CS and CS Statement		✓		
Fees	All fees paid?	✓			✓
	Additional charges/refunds		✓		
	CPU Charges completed		✓		
	Receipt number on field sheet	✓			✓
	Development Levies paid		✓		
Inspectors Signoff	Field sheet signed off and BAD0023 completed by Building Control Officer.	✓			

Signed



Date

1/4/2022

Print Name

\\kpa....O:\Templatesforms\RegQualitySystems\1BuildingControlChapter(B)\AD Administration Forms\BAD0002-C11014-Admin Project Completion Prompt List.doc Saved 01-Apr-22 12:25:00 PM

CODE COMPLIANCE CERTIFICATE



**MARLBOROUGH
DISTRICT COUNCIL**

PO Box 443, Blenheim 7240

Phone: (03) 520 7400

Fax: (03) 520 7496

ISO9001

Document Number

BCF0041-CI2303

SECTION 95, BUILDING ACT 2004

Form 7

THE BUILDING		Property Reference Number	
Street address of building:	6799 SH 6 Rai	150068	
Legal description of land where building is located	LOT 1 DP 5816	Building Consent Number	
Building name:		BC220065	
Location of building with site/block number:			
Level/Unit number:		Year First Constructed	Mixed/Remod
Current, lawfully established, use:	Detached Dwellings	Maximum occupant number:	N/A

NAME OF OWNER AND MAILING ADDRESS
P M Jones, T L McCormick PO Box 7 Rai Valley 7145
Contact person <i>First point of contact for communications with the building consent authority:</i>
Street address/registered office:
Phone number:

BUILDING WORK

Building Consent No:

BC220065

for

Free-Standing Jayline FR300 Solid Fuel Heater

Issued by:



Marlborough District Council - Building Consent Authority

Contact Person:

Postal Address: PO Box 443
Blenheim 7240

Phone: 520 7400

Fax: 520 7496

CODE COMPLIANCE

(1) The Marlborough District Council is satisfied, on reasonable grounds, that
[✓ tick applicable option(s)]



(a) the building work complies with the building consent; and



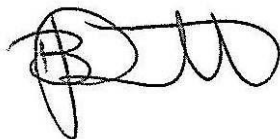
(b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

ATTACHMENT

A copy of the following document is attached to this Code Compliance Certificate
[✓ tick if applicable]



Compliance Schedule



Signature

Position

BUILDING CONTROL GROUP MANAGER

On behalf of **Marlborough District Council**

Date: 01 April 2022

From: mdc@marlborough.govt.nz
Sent: 8 Feb 2022 10:08:29 +1300
To: office@heatingmarlborough.co.nz; Building Admin
Subject: Building Application: REF220138889 - Solid Fuel Heaters and Log Fires
(Residential Only) consent issued

This email is to advise that the consent for the proposed works has been issued for 6799 SH 6 Rai .

Your building consent number is BC220065.

The issued consent documents can be accessed via our property files online service using the link below.

[Link to your building consent BC220065](#)

A copy of the approved plans and documents are required to be onsite for all inspections. Please ensure that the plans are printed to the originally drawn scale. Failure to do so may result in a failed inspection.

In Building Control we are always looking for ways to improve our service. Please take a minute to complete a short survey and let us know your thoughts.

[Take the survey now](#)

Kind regards,

Marlborough District Council Building Control



PO Box 443, Blenheim 7240
Tel 03 520 7400 / Fax 03 520 7496
Email mdc@marlborough.govt.nz / www.marlborough.govt.nz
GST No. 50-430-960

This e-mail message has been scanned by **SEG Cloud**

INFORMATION

BUILDING BY-LAWS — NZSS 1900 N.Z. STANDARD MODEL BUILDING BY-LAWS

Building Permits are required among other things for the erection, re-erection, reconditioning of a building, alterations, repair, addition or removal from one place to another (maintenance-work, other than structural is not deemed a repair). For buildings whether temporary or permanent, movable or immovable. For retaining walls within 1.25m of a boundary or exceeding 1.25m in height.

Applications:

Both applications for Building, Drainage and Plumbing (if required) to be submitted with the fees. In duplicate — site plan, foundation and floor plan, elevations and cross section, and specifications of material and workmanship, and all measurements to be in metrics.

Estimate value means the value of the completed work including all materials and labour. The Engineer shall have absolute determination of the valuation of such work.

No person shall erect or cause to erect a building without first obtaining a permit. Nor shall they commence any excavations or filling to form access from any road or reserve without prior approval from the Engineer. Especially where the garage is above or below the road level.

The Building Inspector is to be notified at least 24 hours prior to foundations being poured.

Any enquiries regarding zoning and land use refer to the County Land Planning Officer.

SCHEDULE OF FEES:

FIRST SCHEDULE		Estimated Value of Work		FEE	BUILDING RESEARCH LEVY FOR VALUE EXCEEDING \$3,000		
Examination and Inspection Fee based on estimated value of work:				\$	Total Value (including plumbing) \$	Levy \$	
	Not exceeding	\$ 4,000	—	\$ 25	3,000- 4,000	4.00	
\$ 4,000	Not exceeding	\$ 5,000	—	\$ 30	4,000- 5,000	5.00	
\$ 5,000	" "	\$ 6,000	—	\$ 36	5,000- 6,000	6.00	
\$ 6,000	" "	\$ 8,000	—	\$ 46	6,000- 7,000	7.00	
\$ 8,000	" "	\$10,000	—	\$ 56	7,000- 8,000	8.00	
\$10,000	" "	\$15,000	—	\$ 75	8,000- 9,000	9.00	
\$15,000	" "	\$20,000	—	\$100	9,000-10,000	10.00	
\$20,000	" "	\$30,000	—	\$125	10,000-11,000	11.00	
\$30,000	" "	\$40,000	—	\$150	11,000-12,000	12.00	
\$40,000	" "	\$50,000	—	\$175	12,000-13,000	13.00	
\$50,000	" "	\$60,000	—	\$200	13,000-14,000	14.00	
\$60,000	" "	\$70,000	—	\$225	14,000-15,000	15.00	
\$70,000	" "	\$80,000	—	\$250	15,000-16,000	16.00	
\$80,000	" "	\$90,000	—	\$275	16,000-17,000	17.00	
\$90,000	" "	\$100,000	—	\$300	17,000-18,000	18.00	
For every \$50,000 in excess of \$100,000				—	\$ 45	18,000-19,000	19.00
						19,000-20,000	20.00
						20,000-21,000	21.00
						21,000-22,000	22.00
						22,000-23,000	23.00
						23,000-24,000	24.00
						24,000-25,000	25.00
						25,000-26,000	26.00
						26,000-27,000	27.00
						27,000-28,000	28.00
						28,000-29,000	29.00
						29,000-30,000	30.00
						30,000-31,000	31.00
						31,000-32,000	32.00
						32,000-33,000	33.00
						33,000-34,000	34.00
						34,000-35,000	35.00
						35,000-36,000	36.00
						36,000-37,000	37.00
						37,000-38,000	38.00
						38,000-39,000	39.00
						39,000-40,000	40.00
						40,000-41,000	41.00
						41,000-42,000	42.00
						42,000-43,000	43.00
						43,000-44,000	44.00
						44,000-45,000	45.00
						45,000-46,000	46.00
						46,000-47,000	47.00
						47,000-48,000	48.00
						48,000-49,000	49.00
						49,000-50,000	50.00

SECOND SCHEDULE

Fees payable for special duties, travelling surcharge:

TRAVELLING SURCHARGE

0 - 6 kms	-	\$5
6 - 11 kms	-	\$10
11 - 16 kms	-	\$18
16 - 31 kms	-	\$24
31 - 46 kms	-	\$32
46 - 61 kms	-	\$48
Over 60 kms	-	\$64

This to apply to all buildings except dwellings costing over \$30,000 excluding plumbing, drainage. Commercial and Industrial Buildings costing over \$40,000.

For fees in excess of those shown contact the County Office.

Additional fees may be calculated at \$1 per \$1,000 value or part thereof.

MARLBOROUGH COUNTY COUNCIL
- 7 OCT 1981
ENGINEERING DEPT.
RECEIVED

2
C.T. 40/238
RAI VALLEY CO-OPERATIVE DAIRY FACTORY CO LTD.

APPROVED *[Signature]*
SUBJECT TO THE CONDITIONS
SET OUT ON THE PERMIT.
MARLBOROUGH COUNTY COUNCIL

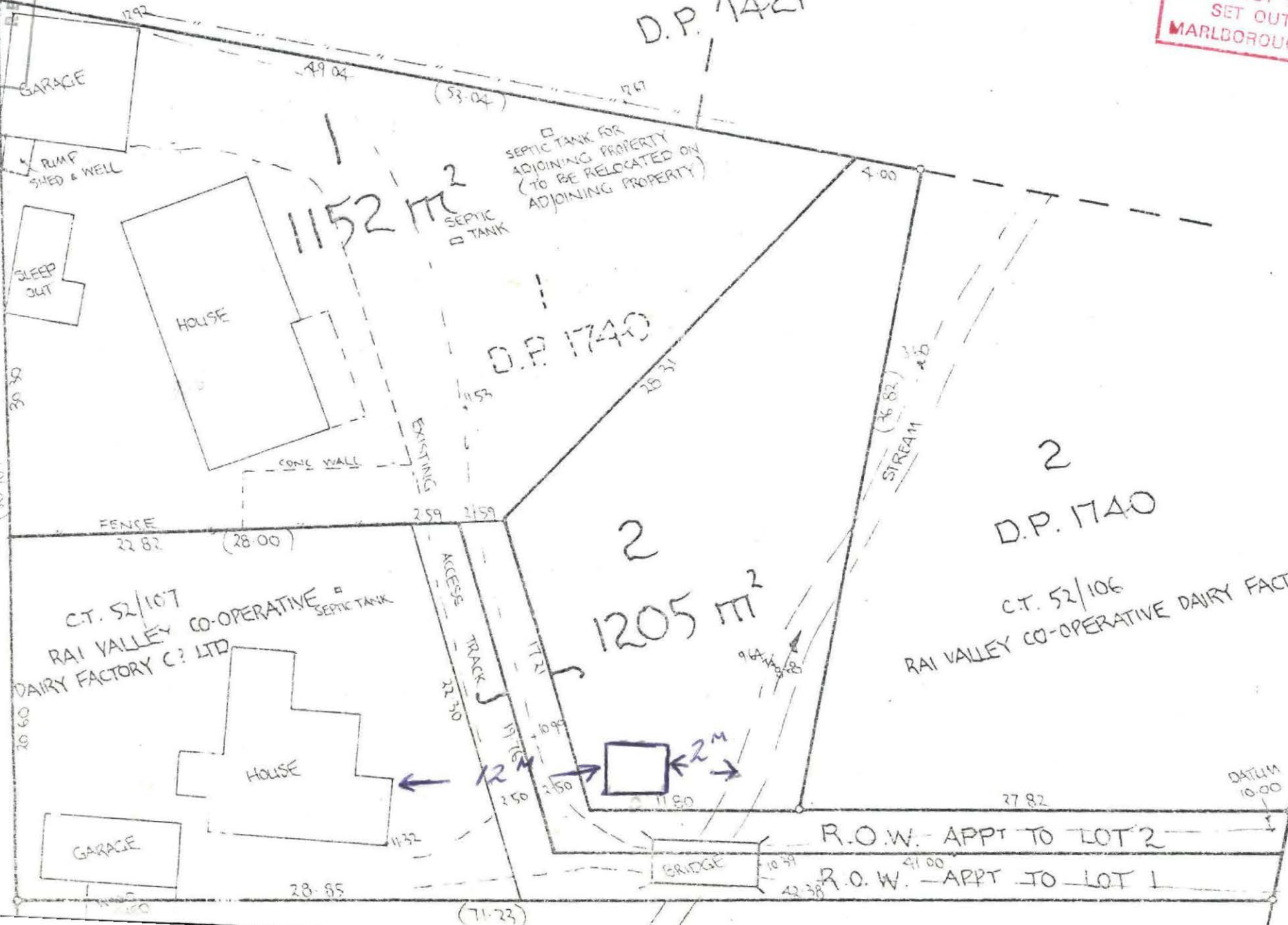
D.P. 1421

D.P. 1740

2
D.P. 1740

C.T. 52/106
RAI VALLEY CO-OPERATIVE DAIRY FACTORY CO LTD

20-12
STATE HIGHWAY No 6
LEGAL



Rai Valley;
12 October 1981.

I, Jo Anne Mellis have no objection to
Mr W. Holdaway in siting a meat safe
next to me in Rai Valley.

J. A. Mellis

WJH

RECEIVED
14 OCT 1981
MALBOROUGH COUNCIL



New Zealand Forest Service

Telegrams "Forestry" - Telex

- P.O. Box 12,

Rai Valley
12 October 1981.

Forest Service Rai Valley have no objection to Mr W. Holdaway to site a meat safe next to Forest Service Office Boundary, Rai Valley.

J.G. Birchfield
J.G. Birchfield
OFFICER-IN-CHARGE.

NON NOTIFIED PLANNING APPLICATION

- 1.0 Applicant
W.S. Holdaway.
- 2.0 Application
The application is for consent to erect a game freezer in a residential area.
- 3.0 Location
The property is located in Rai Valley on a private right of way.
- 4.0 District Scheme
The area is zoned Residential A.
- 5.0 Proposal
It is proposed to erect a game freezer to serve as a game collection point.
- 6.0 Evaluation
The building is to be sited on a right of way serving the applicant's property and an adjacent property and is well off the highway. Delivery and collection can be carried out at irregular hours and it is considered that the consent of adjoining property owners should be obtained.
- 7.0 Recommendation
It is recommended that pursuant to Section 31 of the Town and Country Planning Act 1977 that consent be given to the application subject to the following conditions:
- 8.0 Conditions
The applicant shall obtain the written consent of each of the land owners bounding the applicant's property. Such consent shall state that they are aware of the siting and nature of the proposal.
- 9.0 Sub-Committee Chairman
Report approved.

Report not approved.

N.A. Morris.

NON NOTIFIED PLANNING APPLICATION

1.0 Applicant
W.S. Holdaway.

2.0 Application
The application is for consent to erect a game freezer in a residential area.

3.0 Location
The property is located in Rai Valley on a private right of way.

4.0 District Scheme
The area is zoned Residential A.

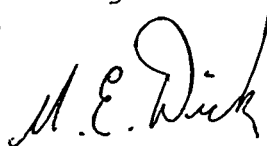
5.0 Proposal
It is proposed to erect a game freezer to serve as a game collection point.

6.0 Evaluation
The building is to be sited on a right of way serving the applicant's property and an adjacent property and is well off the highway. Delivery and collection can be carried out at irregular hours and it is considered that the consent of adjoining property owners should be obtained.

7.0 Recommendation
It is recommended that pursuant to Section 31 of the Town and Country Planning Act 1977 that consent be given to the application subject to the following conditions.

8.0 Conditions
The applicant shall obtain the written consent of each of the land owners bounding the applicant's property. Such consent shall state that they are aware of the siting and nature of the proposal.

9.0 Sub-Committee Chairman



Report approved.

~~Report not approved.~~

N.A. Morris.

20280-18100

Valuation No.

20280.181.00.00

276

Application No.

Name W. S. HOLDAWAY,

Address MAIN RD,

RAI VALLEY.

150068

Checked For

Access to Property

Stormwater Disposal

Water

Sewer

Set Back

Building Line Restriction

Zoning Res A.

Coverage ✓

Yard Requirement ✓

Fire Zoning

Structural Details

Site Stability

Permanent Levels

Off-Street Parking Provisions

Other Acts and Regulations

Sent to Council Detrimental work

for Decision approved

Signed by:

Engineer

Health/Building Inspector W. A. Bongson 19.10.81.

Land Planning Officer J. Munn 16.10.81

Inspections Permit No K045571

Chief Health/Building Inspector

Land Planning Officer

Staff Engineer

Detrimental Work

*Rang Mrs Hoddaway asking for
adjoining owners consent.*

11/10/81
[Signature]

MARLBOROUGH LAND DISTRICT
MARLBOROUGH COUNTY

Pt 6
ct 16/82

2
ct 40/138

1
ct 40/120

Lot 1

0 - 2 - 13.2

Lot 2

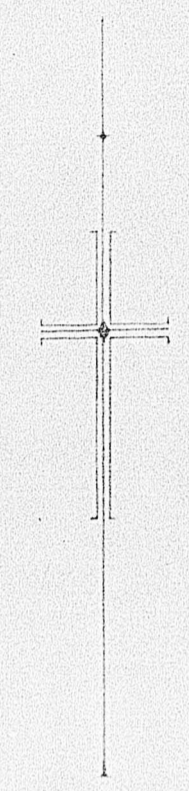
0 - 0 - 37

BLENHEIM - NELSON MAIN RD

12

Reserve Gas 5.748

LAND USES AREAS
Residential 0.3 - 10.3



Approved _____
Owner
Recommended for Approval _____
Chief Surveyor
Recommended for Approval _____
Surveyor General
Approved _____
Minister of Lands
Chief Surveyor

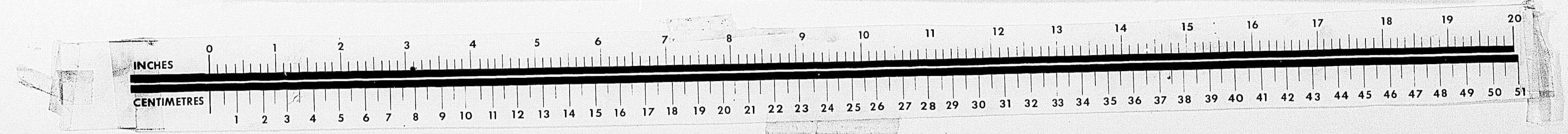
TOWN OF RAI VALLEY EXTN. NO 3
BEING SUBDN OF PT SEC. 10.
BLOCK II HERINGA S. D.
Scale 80 Links to an inch

Approved in accordance
with the Land Subdivision
in Counties Act, 1946.
J. M. Mulla
Chief Surveyor
11/11/49

I, John Macmillan Gilbert, Registered Surveyor, hereby certify that this
scheme plan has been prepared by me in accordance with the provisions of
the Land Subdivision in Counties Act 1946, and the regulations made
thereunder

Registered Surveyor

T191



T 191

CONDITIONS OF BUILDING-LINE

SECTION 5. LAND SUBDIVISION IN COUNTIES ACT, 1946.

Pursuant to the provisions of Section 5 (4) of the Land Subdivision in Counties Act, 1946, I, JAMES CECIL MEALE, Chief Surveyor, Marlborough Land District, hereby give notice that Lots 1 and 2, more particularly delineated on the scheme plan of Rai Valley Extension No. 3, being a subdivision of Part Section 10, Block II, Heringa Survey District, comprised in Certificate of Title Volume 38, folio 297, Marlborough Land Registry are subject to the condition that no buildings or hoardings shall be erected within 49.5 feet of the centre line of the Elenheim-Nelson Main Highway.

Given under my hand this 14th day of Nov. 1949.

J. Meale

Chief Surveyor

Marlborough Land District

To your reply

XIV/26

Please quote



TELEGRAPHIC ADDRESS
"LANDS."

KPP:AOS

Department of Lands and Survey,
P.O. Box 97, Blenheim.
District Office, 9th November, 1949.

The County Clerk,
Marlborough County Council,
BLENHEIM.

Dear Sir,

Kai Valley Extension No.3 - Plan T.191
R.J. Barnes - C.T. 38/297

I am enclosing herewith for your records copy of the above scheme plan, together with notice of building line condition.

Yours faithfully,

J.C. Meale

(J.C. Meale)
CHIEF SURVEYOR.

ENCL:

Domestic Woodburning – Burn Right

How you operate your domestic woodburner has a big impact on the amount of smoke that is generated and its effect on local air quality.

Follow the tips in this guide to operate your burner in the most efficient manner to keep you warm and reduce your fire's impact on the local air quality.

5 EASY STEPS TO A SMOKE FREE WOODBURNER



Image extracted from www.nelson.govt.nz/assets/Environment/Burn-Bright/Burn-Bright-Leader-Page-31-May-183.pdf

What is the best wood to buy?

- Not all firewood is created equal.
- Pine and Douglas Fir, known as softwoods, dry faster and are great for starting fires.
- Gum and Manuka, known as hardwoods, take longer to dry, sometimes up to 5 years, but they burn hotter and produce more heat.
- Avoid Old Man Pine. It contains lots of resins and produces lots of black smoke no matter how dry the wood is or how hot the burn is. Resin also clogs up flues which affects the fire's performance and increases the risk of chimney fires.

When to get firewood in?

- Firewood needs to be dry to burn efficiently and not produce smoke.
- The best time to get firewood in is not just before winter but in the summer. This will allow the wood to dry out during the warmer months of the year.
- If you have the space then buying your wood a year in advance is even better.
- Store your wood so that it does not get wet and does not sweat.
- Check with your wood supplier that the wood has been 'seasoned' or is dry. Ask questions such as;
 1. When was the tree felled?
 2. When was the wood split?
 3. How has the wood been stored?
 4. Is the wood dry?

Appliances, Flues and Chimneys

- A flue decays with time and use. This is dependent on how the appliance has been used and the fuel burnt.
- A flue older than five years will not be accepted by Council as complying with the Building Code and therefore will not be approved.
- Council recommends that new flues be installed with every new installation, even if the appliance is an approved second hand model.

What not to burn?

The following items are prohibited from burning due to the release of polluting chemicals in the air if burnt.

- Treated timber, plywood, particle board, MDF or painted timber.
- Plastic, household rubbish, disposable nappies or glossy magazines.
- Driftwood from the beach – the salt in the wood causes the firebox and flue to corrode.

Note: Wood from a building site or skip will usually contain some sort of chemical treatment.

What are acceptable appliances?

All wood burning appliances to be installed on properties less than 2 hectares in size must comply with the air emission standards prescribed by the Ministry for the Environment.

All appliances must have a discharge of less than 1.5 grams of particles for each kilogram of dry wood burnt and a thermal efficiency of at least 65%. Most of the appliances in town must meet these standards.

Only appliances that have been through testing and meet these requirements are acceptable on properties of smaller than 2 hectares.

A list of approved authorised woodburners is available on the MFE web page at www.mfe.govt.nz/woodburners

What are the rules?

For a summary of the Proposed Marlborough Environment Plan rules which affect small scale solid fuel burning appliances, please see Council's "Rules for Small Scale Fuel Burning Appliances and Pellet Fires" Information Sheet.

Please Note:

The present emission rules do not apply to pellet fires, gas fires, multi-fuel burners, or appliances used for cooking. These rules may change in the future.

Some appliances meet the standards if installed without a wet back, but do not if installed with a wet back.

Similarly, some newer models have an installed fan. If this fan is not operational, the burner may not meet the standards.

Open fires can no longer be installed in private dwellings within the Blenheim Airshed. To find out if your property is within the Blenheim Airshed, go to the MDC website and search "Are you in the Blenheim Airshed", then search your address.

Questions about burning? Contact the Council:

Marlborough District Council
15 Seymour Street
PO Box 443
Blenheim 7240

Ph: +64 3 520 7400
Email: mdc@marlborough.govt.nz
www.marlborough.govt.nz



From: office@heatingmarlborough.co.nz
Sent: 1 Feb 2022 10:26:48 +1300
To: Janeen Wiffen-5442
Subject: RE: REF220138889 - PN150068 - 6799 SH 6 Rai
Attachments: Jayline -FlueKitMKII_Installation_Nov16.pdf

See attached.
Cheers
Tina

From: Janeen Wiffen-5442 <Janeen.Wiffen@marlborough.govt.nz>
Sent: Tuesday, 1 February 2022 8:09 a.m.
To: 'office@heatingmarlborough.co.nz' <office@heatingmarlborough.co.nz>
Subject: REF220138889 - PN150068 - 6799 SH 6 Rai

Good Morning,

I have received your application for PN150068 - 6799 SH 6 Rai.

Can you please address the following :-

- Flue specification – please provide a specification for the flue that is being installed with the log fire.
This specification must state the NZ standard AS/NZS 2918:2001.

Await your reply.

Kind regards

Janeen Wiffen
Building Support Officer



Phone: 03 520 7400

15 Seymour Street, PO Box 443
Blenheim 7240, New Zealand
janeen.wiffen@marlborough.govt.nz
www.marlborough.govt.nz

This email, including any attachments, is confidential and may contain legally privileged material and is only for the use of the intended recipient. If you are not the intended recipient then any use, dissemination, distribution or copying of this message is strictly prohibited. If you have received this email in error please notify us immediately

and delete the original message. This email does not necessarily represent the views of the Marlborough District Council. Thank you.

This e-mail message has been scanned by **SEG Cloud**



150MM FREE STANDING WOOD FIRE FLUE KIT MKII INSTALLATION INSTRUCTIONS

WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES. WOOD FIRE AND FLUE CLEARANCES FROM THE COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.

CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.

CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO. BENDS AND EXTENSIONS TO THE LENGTH OF A FLUE SYSTEM ARE PERMITTED (AS/NZS 2918:2001 4.1).

FLAT CEILING INSTALLATION

- 1) Locate the wood fire in its proposed position and mark a point on the ceiling that is directly above the centre of the flue spigot. Check that the location of the wood fire allows the OUTER GALV LINER to clear all structural roof timbers.
- 2) Cut a 250mm square hole in the ceiling. Directly above cut a hole in roof to accommodate OUTER GALV LINER.
- 3) Fit a timber frame around the ceiling. i.e. frames form a 250mm square aperture that allows air to circulate freely over the OUTER GALV LINER surface.
- 4) Position the OUTER GALV LINER so that it is flush with the underneath of the ceiling and protrudes through the roof at the required height. Note that AS/NZS 2918:2001 4.9 1(a) states, "the FLUE PIPE shall extend no less than 4.6m above the top of the floor protector". **Refer to diagram A.**
 - a) If the FLUE PIPE is within 3 metres of the ridge, the FLUE PIPE must protrude at least 600mm above the ridge of the roof.
 - b) If the distance from the ridge is more than 3 metres, the FLUE PIPE must protrude at least 1000mm above roof penetration.
 - c) The FLUE PIPE must be more than 3 metres from any nearby structure. **Refer to diagram D.**Additional FLUE PIPE, OUTER GALV LINER and/or INNER GALV LINER may have to be added to ensure the following:
 - i) The correct minimum roof penetration height.
 - ii) Sufficient overall height to encase the FLUE PIPE which must extend a minimum of 4.6m from the floor protector.**Refer diagram A.**

Note that the INNER GALV LINER should extend 200mm above roof penetration.

NB: Do not secure the OUTER GALV LINER SLIP EXTENSION onto the OUTER GALV LINER, as final adjustment will be required when fitting COWL assembly. (See 11).



- 5) Fix an appropriate flashing around the OUTER GALV LINER to seal onto the roofing material. Refer to the manufacturer's recommendations for the correct fitting.

NB: On iron roofs, fixings such as metal angle brackets (40mm x 40mm) can be fitted under the flashing to securely fix the roof to OUTER GALV LINER (supplied).

- 6) Place CEILING PLATE over wood fire's flue spigot, ensuring the folded edges are facing the ceiling.
- 7) Position bottom length of FLUE PIPE (crimped end downwards) into wood fire flue spigot.

Refer to the supplier of the wood fire and use flue pipe sealant if recommended.

- 8) Assemble FLUE PIPES together ensuring seams are straight; offsetting the seams will ensure a neat fit. FLUE PIPES must be assembled with crimped ends down (towards wood fire). Secure each joint with a minimum of three Monel Steel rivets equally spaced around the joint. The protective wrapping should be left on the FLUE PIPE during installation.
- 9) From the roof lower FLUE PIPE through OUTER GALV LINER into the bottom FLUE PIPE securing with three Monel rivets.
- 10) Check the FLUE PIPE SPACING BRACKETS inside the INNER GALV LINER are correctly positioned and then from the roof slide the INNER GALV LINER into the OUTER GALV LINER until the brackets rest on to the internal swage ring of the OUTER GALV LINER, this will ensure the INNER GALV LINER is the correct 12mm above ceiling level. Check the INNER GALV LINER when correctly positioned extends a minimum of 200mm above the roof penetration.
- 11) Before securing the OUTER GALV LINER SLIP EXTENSION to the OUTER GALV LINER with 3 rivets, ensure the FLUE PIPE extends above the top of the OUTER GALV LINER SLIP EXTENSION 145mm. Adjust SLIP EXTENSION to obtain the measurement.
- 12) Fit TOP SPACER BRACKET to the FLUE PIPE making sure the lugs fit snugly inside OUTER GALV LINER SLIP EXTENSION. Make sure TOP SPACER BRACKET fits hard down onto OUTER GALV LINER SLIP EXTENSION.
- 13) Fit GALV LINER COVER over the FLUE PIPE and push down firmly onto TOP SPACER BRACKET.
- 14) Fit COWL but do not secure, as removal for the flue cleaning will be necessary. Deform the stub of the COWL to ensure it is a tight friction fit.
- 15) Fasten CEILING PLATE to ceiling using screws provided. Do not over-tighten, as a 12mm air gap must be maintained via the 4 external slots). Ensure an even air gap around FLUE PIPE when fixing. Remove protective plastic from CEILING PLATE.
- 16) Leave all installation and operating instructions with the owner.

The Satin Black painted flue pipe can be touched up using only STOVE BRIGHT aerosol paint.

The stainless steel pipe used in the Jayline/Fisher MKII Flue Kit is warranted for five years from date of purchase to the initial purchaser, provided these installation instructions and the manufacturer's instructions on how to operate the appliance are met.



SLOPING CEILING INSTALLATION

The instructions for a sloping ceiling and a flat ceiling are the same except for the following:

- A) The 200mm Inner Liner, and the 250mm Outer Liner will need to be trimmed to the angle required to suit the ceiling (between 15-45 degrees).
- B) Fitted to the non swaged end of the 200mm Inner Liner are 3 x locating brackets. These will need to be removed and not used.
- C) A 150mm-200mm, and a 200mm-250mm spider bracket will be needed at the ceiling end of the liners.
- D) Point 10) will differ from the flat ceiling installation, in that the 200mm Inner Liner will need to be 6mm lower than the 250mm Outer Liner as shown in Diagram C.
- E) Ensure the 150mm-200 spider is secured to the flue pipe, and is free floating inside the 200mm Inner Liner.
- F) The 200mm-250mm spider must be secured to both the 200mm Inner and 250mm Outer Liners once they have been aligned and the 6mm height difference has been achieved.
- G) Point 15) will also differ from the flat ceiling installation as the sloping ceiling plate will use ceramic spacers between the ceiling plate and ceiling. Please do not over tighten the screws.

DIAGRAM A

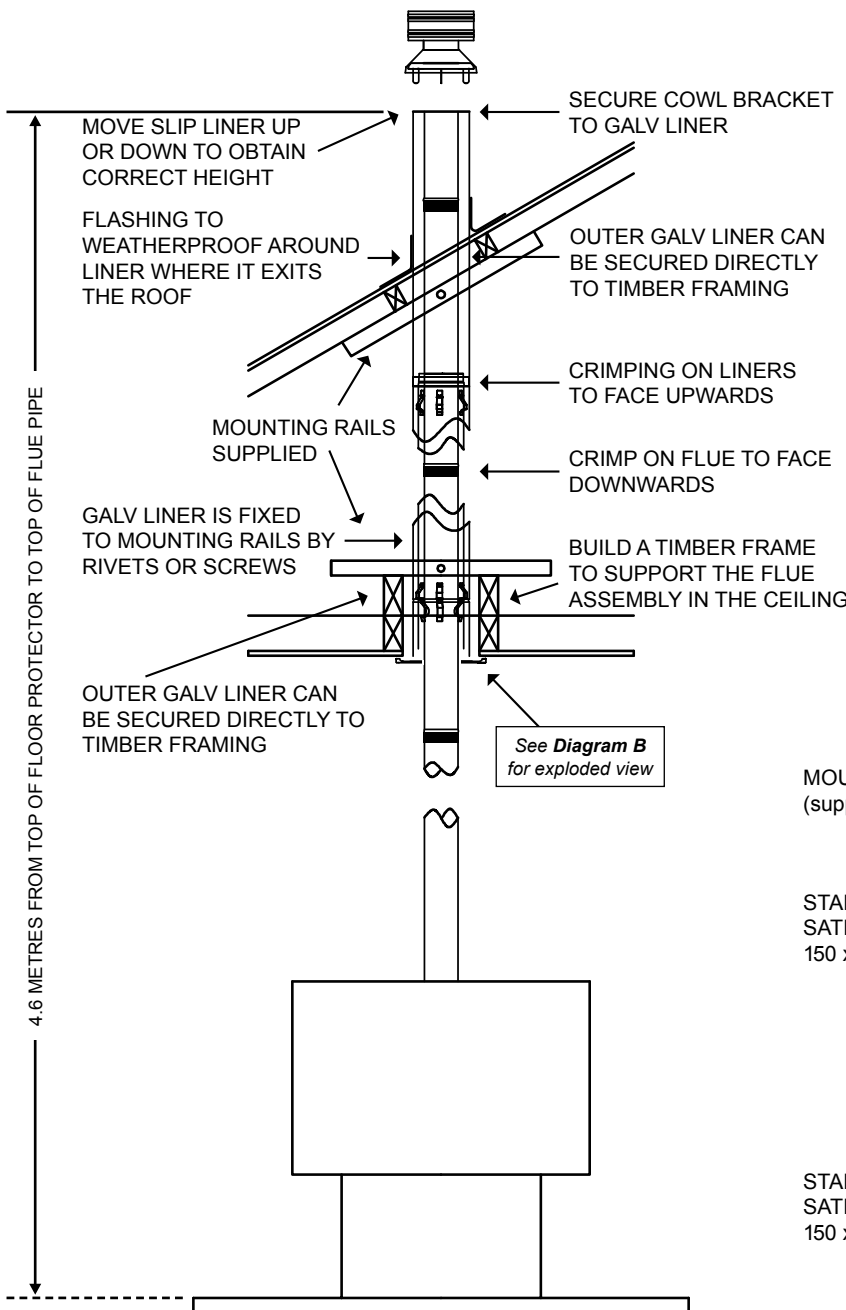
150mm Free Standing Flue Kit Satin Black, 4.2 Metres MKII

(Kit Code: 302551)

Manufactured by Retail Links Limited.

This flue kit must be installed by a suitably qualified tradesperson or solid fuel heater installer and complies with AS/NZS 2918:2001. This kit may require additional components to complete the installation

ROOF AND CEILING INSTALLATION



ASSEMBLY LIST

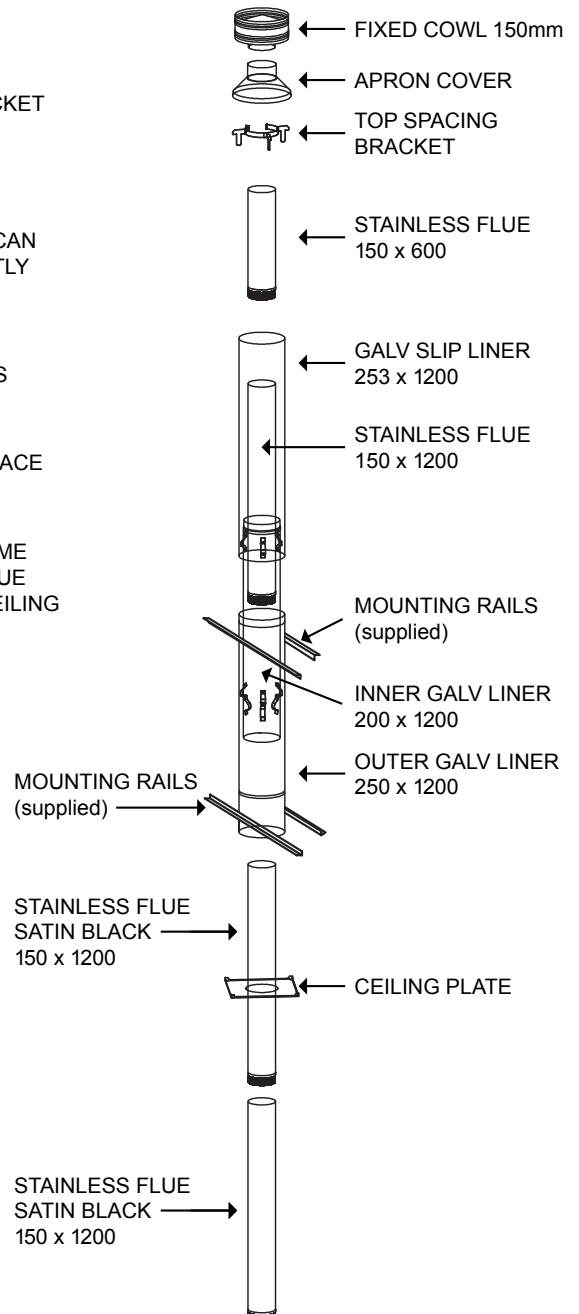


DIAGRAM B

POSITIONING LINERS AND CEILING PLATE

THIS DIAGRAM IS SUITABLE FOR FLAT CEILINGS ONLY

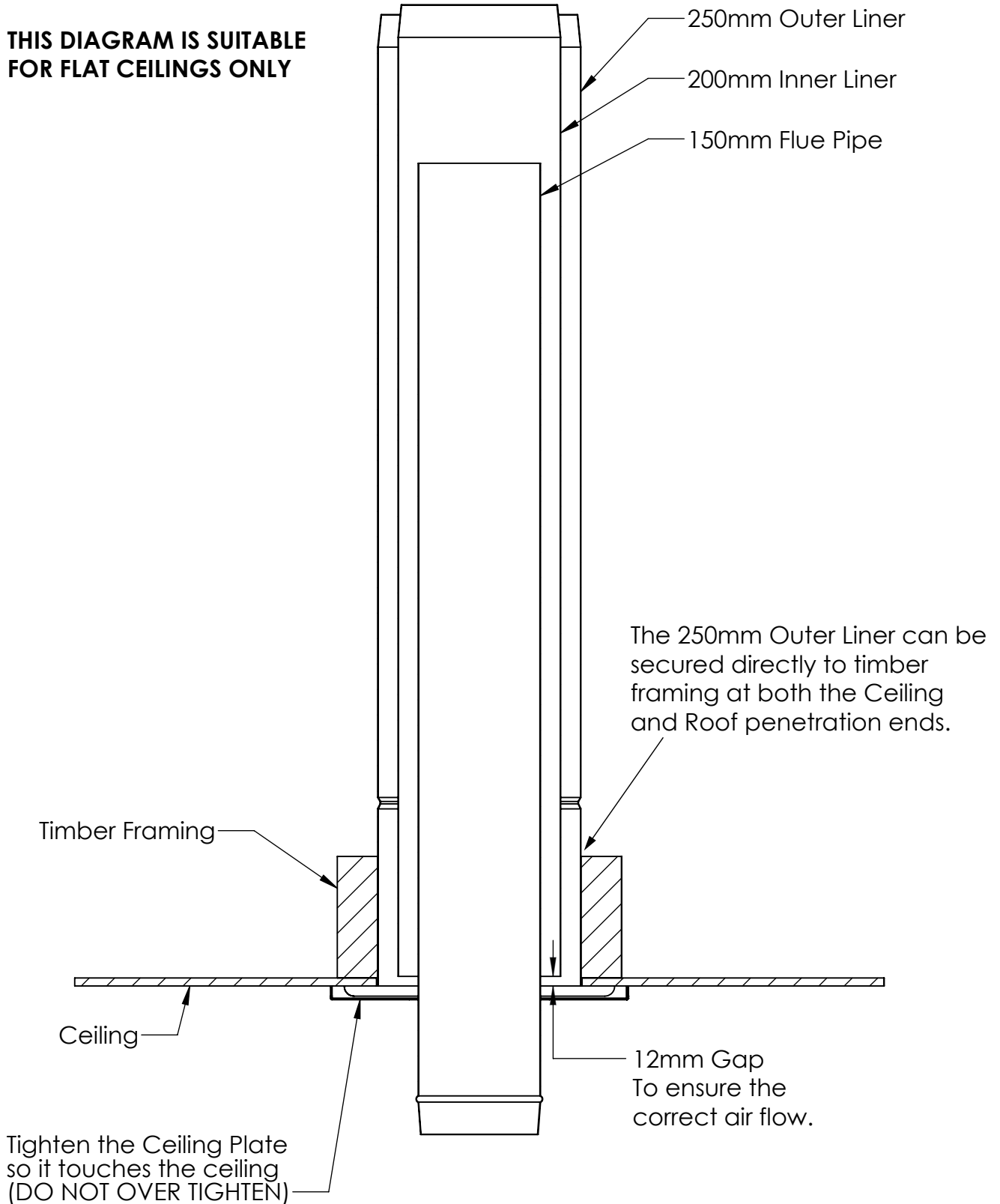


DIAGRAM C

POSITIONING LINERS AND CEILING PLATE

This diagram is suitable for sloping ceilings 15-45 degrees

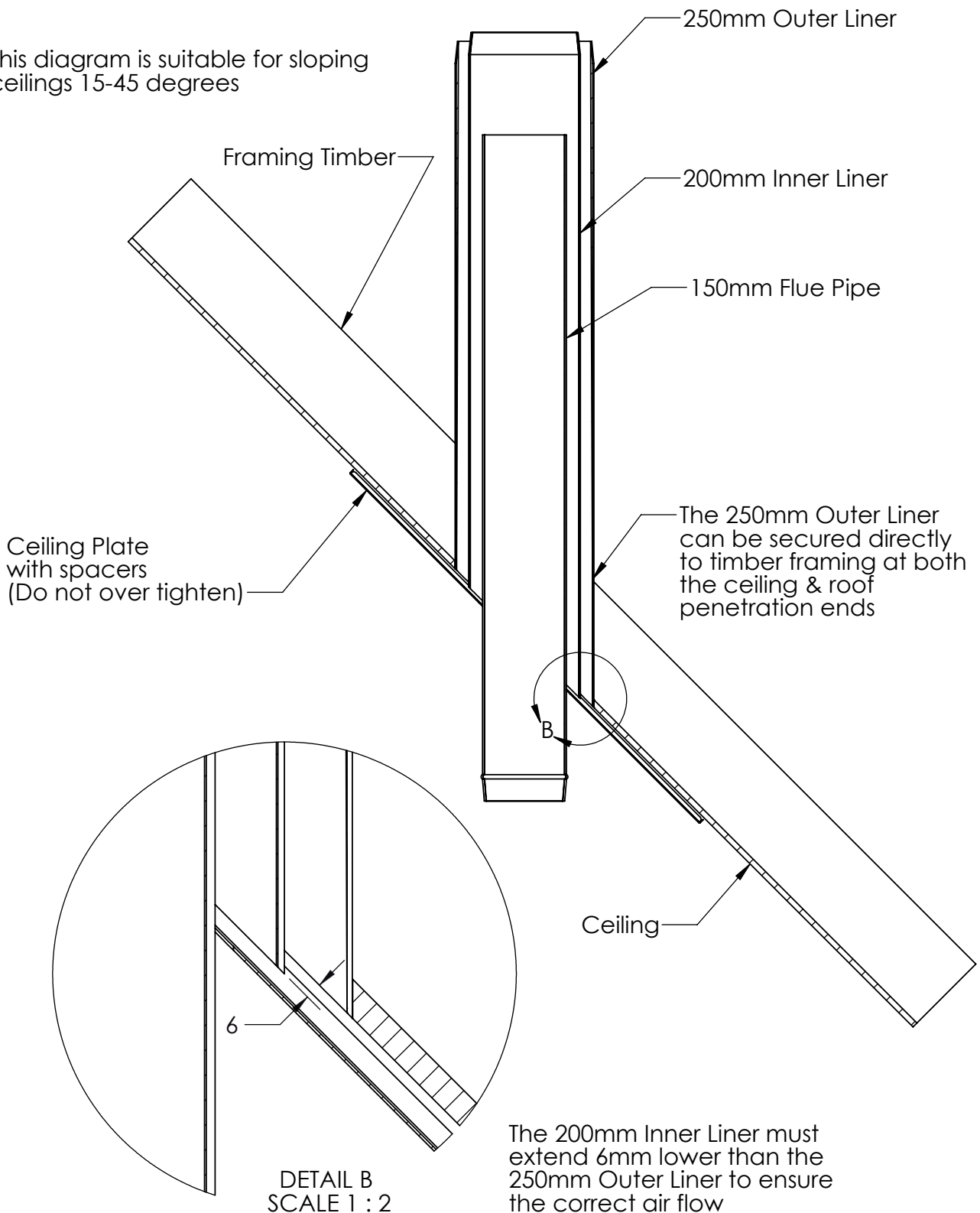


DIAGRAM D – AS/NZS 2918:2001

MINIMUM HEIGHTS FOR FLUE SYSTEM

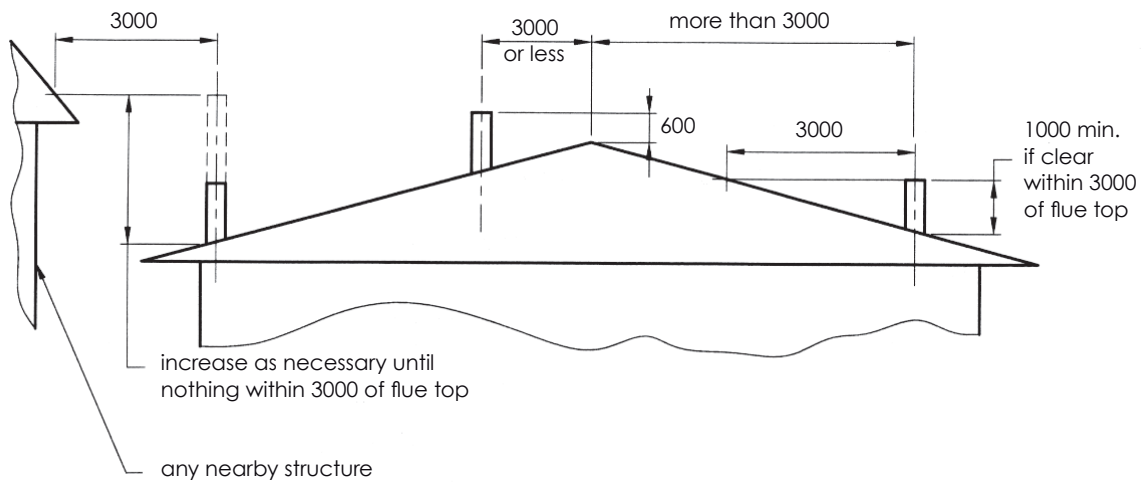
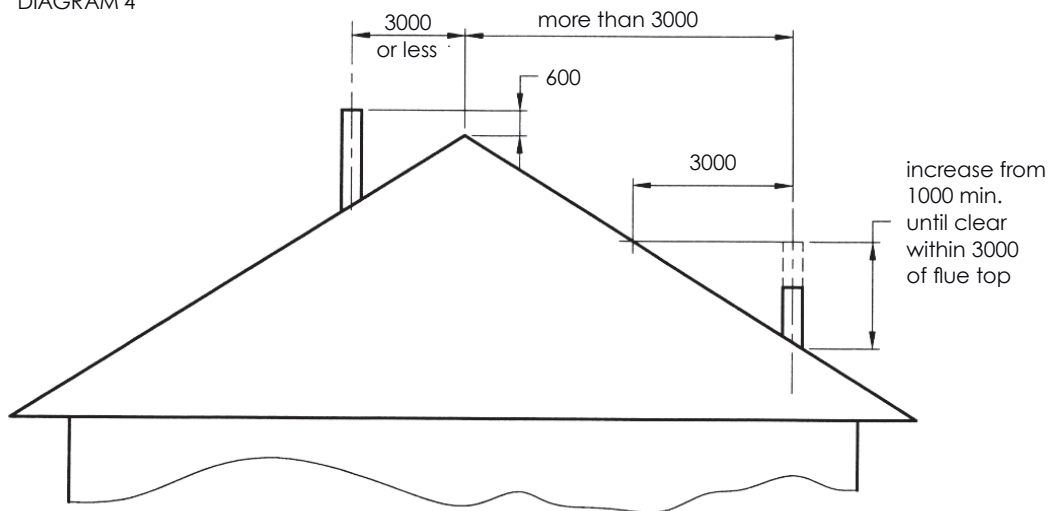


DIAGRAM 4



Notes:

Depending on local circumstances, taller chimneys may be required for satisfactory performance, check with your local retailer or installation technician.

Flue Shield Assembly Instructions

Components used are the flue shield, lower shield bracket (fig 1) and the top shield bracket (fig 2).

The lower shield bracket fits between the flue spigot of the fire and the flue pipe (fig 3).



Figure 1.



Figure 2.



Figure 3.

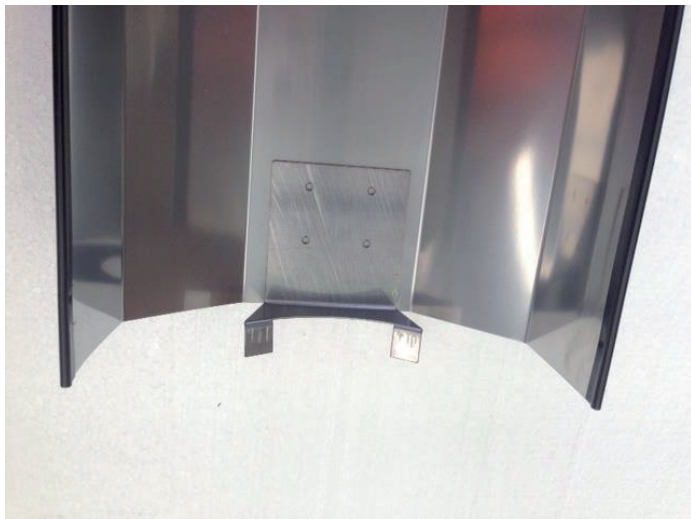


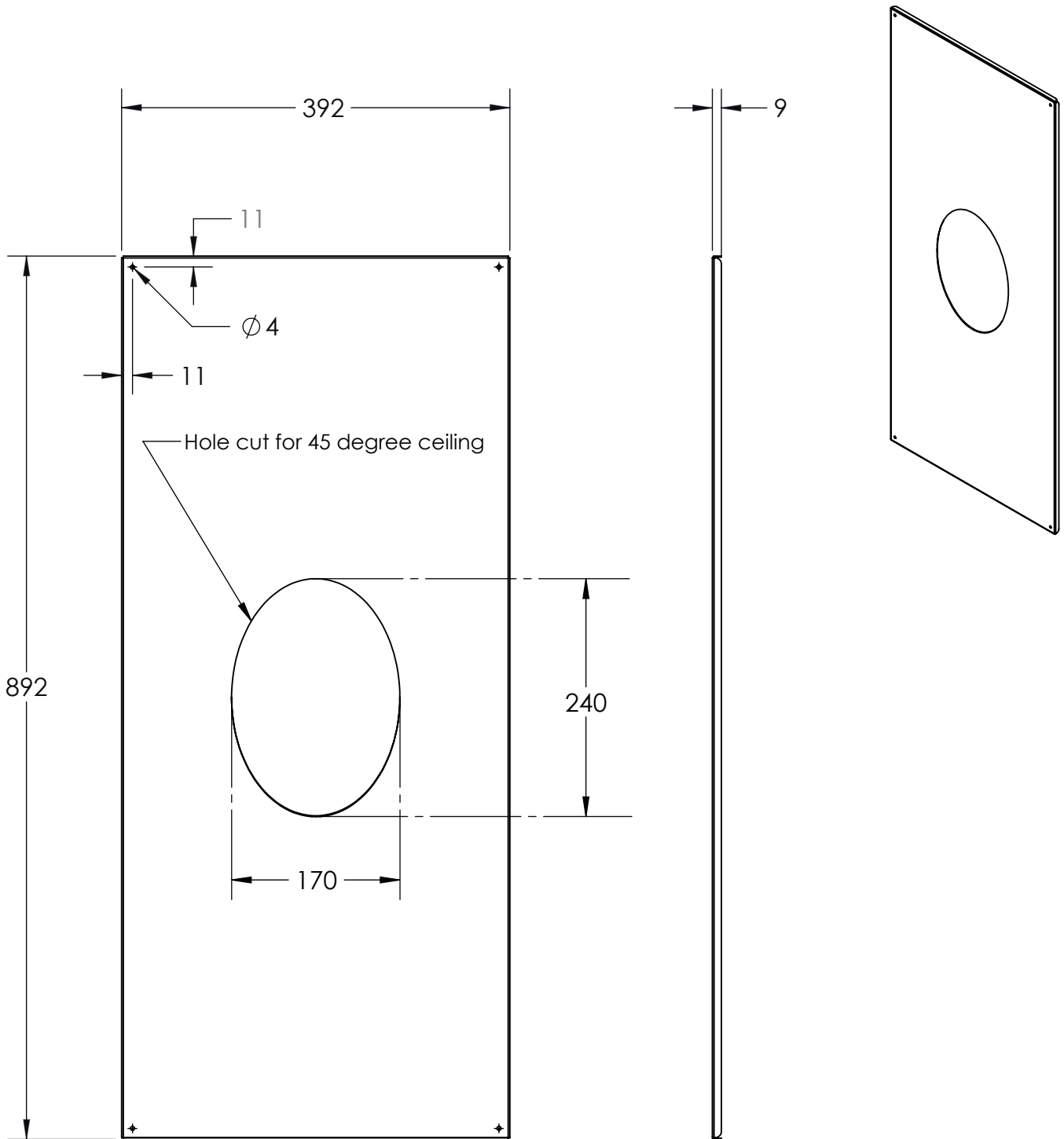
Figure 4.



Figure 5.

The height between the bottom of the flue shield & the top of the heater is referred to on page 2 of the specification sheet for each model. Please check carefully before riveting the lower bracket (fig 4) to the shield to ensure the correct height is reached. Once the lower bracket is fitted between the spigot and flue pipe, the top bracket (fig 5) can be riveted to the shield and flue pipe.

DIAGRAM OF 45° CEILING PLATE



Ceiling Plate required as tested



FLUE KIT BLACK 4.2M MKII

Contents Include:

- 2 x Flue Stainless Steel 150 x 1200mm (Black)
- 1 x Flue Stainless Steel 150 x 1200mm
- 1 x Flue Stainless Steel 150 x 600mm
- 1 x Flue Galvanised Liner Combination (Inner: 200 x 1200mm / Outer: 250 x 1200mm)
- 1 x Flue Outer Galvanised Liner Slip Extension 253 x 1200mm
- 1 x Anti Down-Draught Cowl 150mm
- 1 x Apron Cover 150-250mm
- 1 x Ceiling Plate 150mm (Black) 370mm Square
- 1 x Ceiling Plate Screw Pack (4)
- 1 x Top Spacing Bracket, Bolt and Nut
- 2 x 40 x 40 x 1200mm Galvanised Mounting Rails
- 1 x Double Flue Shield MKII
- 1 x Top Flue Shield Bracket (Part A & B)
- 1 x Bottom Flue Shield Bracket (Multi-fit)

OPTIONAL COMPONENTS FOR A SLOPING CEILING (NOT SUPPLIED IN KIT)

1X polished SS ceiling plate at 45°, 30°, or 15°

1X white ceiling plate at 45°, 30°, or 15°

1X black ceiling plate at 45°, 30°, or 15°

1X pack (4) ceramic ceiling plate spacers

1X 150mm - 200mm spider bracket

1X 200mm - 250mm spider bracket

Customer: Retail Links
PO Box 9056
Annesbrook
NELSON

P1930/5



This laboratory is accredited by International Accreditation New Zealand (IANZ). The tests reported herein have been performed in accordance with the terms of our accreditation. This accreditation does not extend to any opinions or any interpretations of test results contained in this report. Laboratory Registration Number 395.

IANZ is recognised at international level by ILAC. This means that an IANZ endorsed test report or certificate is also recognised by other signatories to the ILAC MRA such as NATA.

Compliance Certificate

Appliance	Jayline/Fisher MK II 150 mm Freestanding Wood Fire Flue Kit
Test Standard	AS/NZS 2918:2001 Appendix F.
Full Report	16/2854. The full report contains information on the test methods, details of the appliance tested, the installation and the results of the test in flat ceiling configuration. 16/2855. The full report contains information on the test methods, details of the appliance tested, the installation and the results of the test in sloping ceiling configuration.
Minimum Clearances	The Jayline/Fisher Mk II Flue Kit meets the requirements of AS/NZS 2918:2001 when the Jayline/Fisher Mk II Flue Kit is installed as detailed in the manufacturer's instructions.

Full Report Ref.: 16/2854, 16/2855

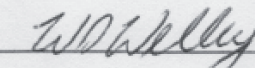
This Report:

Report: 16/2859

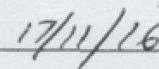
Prepared by: G. Looman



Approved by: W.S. Webley



Release Date:



This report relates only to the product sample tested. Any modifications to the product may invalidate the compliance results. This report must not be reproduced except in full. Results are based on materials and information supplied by the client. Applied Research Services Ltd shall not be liable in respect of any loss or damage (including consequential loss or damage) resulting from use of reports prepared by them.

From: office@heatingmarlborough.co.nz
Sent: 25 Mar 2022 14:51:00 +1300
To: Jenny Eising-5062
Subject: ccc paperwork bc220065
Attachments: Scan.pdf

This e-mail message has been scanned by **SEG Cloud**

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

Section 92, BUILDING ACT 2004
FORM 6



MARLBOROUGH
DISTRICT COUNCIL

ISO9001

Document Number:
BAF0002.13-CI2389

The Building Consent

Building Consent Number: BC 220065
Property Reference Number: 150068

Issued by: Marlborough District Council
PO Box 443, Blenheim 7240
Phone: (03) 520 7400
Fax: (03) 520 7496
Email: mdc@marlborough.govt.nz

The Owner

Must be completed to be accepted

Full Name of Owner(s):

Paula Maree Jones, Trent Lennard McCormick

Mailing Address:

PO box 7
Rai Valley 7145

Street Address/Registered Office:

Contact Details:

Telephone Number: 022497 7065 Mobile _____

Facsimile Number _____ After Hours _____

Email Address: trentpaulanz@gmail.com

Contact Person: _____

The Agent (only required if application is being made on behalf of the owner)

Full Name of Agent(s) Heating Marlborough 2018 Limited
 55 Grove Road, Blenheim
 03 5785950
 GST No 127-103-798

Mailing Address: Heating Marlborough 2018 Limited
 55 Grove Road, Blenheim
 03 5785950
 GST No 127-103-798

Street Address/Registered Office:
 Heating Marlborough 2018 Limited
 55 Grove Road, Blenheim
 03 5785950
 GST No 127-103-798

Contact Details:
 Telephone Number: 035 785950 Mobile _____
 Facsimile Number _____ After Hours _____
 Email Address: office@heatingmarlborough.co.nz

Application Must be completed to be accepted, if applicable

(1) The licensed building practitioner(s) who carried out or supervised the restricted building work is/are as follows:

Name	Licensed Class	Licensed Building Practitioner Number <small>(or registration number if treated as being licensed under Section 291 of the Building Act 2004)</small>	Particular Work Carried Out or Supervised

The personnel who carried out building work other than restricted building work are as follows:
[List names, addresses, telephone numbers and licence or registration numbers (where relevant and if not provided above) of all licensed building practitioners and plumbers, gasfitters and drainlayers]

Heating Marlborough 2018 Limited

Note: continue on another page if necessary

Must be completed to be accepted

(2) All building work to be carried out under the above consent was completed on: 25-3-22

(3) I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to: [tick applicable option] Owner Agent

I certify that the information provided in this application is correct

Name of person certifying correctness: BRAD MILLAR Date: 25-3-22

[tick one]
 Owner
 Agent acting on behalf of the owner and with the authority of the owner

Attachments

The following documents are attached to this application *[tick applicable option(s)]*

- Memoranda (records of building work) from licensed building practitioners stating what restricted building work they carried out or supervised
- Certificates or other documents from the personnel who carried out the work
- Certificates that relate to the energy work
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent

Must be completed to be accepted, if applicable

(4) The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standard set in the building consent:

SS01	Automatic Systems for Fire Suppression	
SS02	Automatic or Manual Emergency Warning Systems for Fire or other Dangers	
SS03	Electromagnetic or Automatic Doors or Windows	
SS04	Emergency Lighting Systems	
SS05	Escape Route Pressurisation	
SS06	Riser Mains for use by Fire Services	
SS07	Automatic Backflow Preventers Connected to Potable Supply	
SS08	Lifts, Escalators, or Other Systems for Moving People or Goods Within Buildings	
SS09	Mechanical Ventilation and Air Conditioning Systems	
SS10	Building maintenance units providing access to exterior and interior walls of buildings	
SS11	Laboratory Fume Cupboards	
SS12	Audio Loops or other Assistive Listening Systems	
SS13	Smoke Control Systems	
SS14	Emergency Power Systems for, or signs relating to a system or feature specified in any of clauses 1-13	
SS16	All buildings with cable car including single residential buildings	

Systems below included only if compliance schedule contains one or more of the specified systems 1-6, 9 and 13

SS15/a	Systems for Communicating Spoken Information Intended to Facilitate Evacuation	
SS15/b	Final Exits (as defined by clause A2 of the building code)	
SS15/c	Fire Separations (as so defined)	
SS15/d	Signs for Communicating Information Intended to Facilitate Evacuation	
SS15/e	Smoke Separation that forms part of the means of escape from fire	

Please note that all information provided in this application is public information and will be made available on Council's website in accordance with s216 and 217 Building Act 2004.

If you are the person who submitted the plans or specifications, the owner or any subsequent owner of that building, you can mark the plans or specifications confidential for building security reasons. However, the disclosure requirements of the Local Government Official Information and Meetings Act 1987 will still apply to those plans and specifications.

Declaration

I am

- the owner of the building
- the representative of the owner of the building and have their written approval to act on their behalf
- _____ [other – please specify]

and confirm that all information in this application is true and correct and that I have read, understood and agree to the above terms and conditions.



Signature

Helen Lyons

Name

25/3/22

Date

If you have any queries regarding completion of this form please contact us on phone (03) 520 7400 or fax (03) 520 7496

BC220065

Ravelli®
il fuoco intelligente

APPROVED DOCUMENTS
Date Approved: 08/02/2022
MARLBOROUGH DISTRICT COUNCIL

T. + 39 030 7402939
F. + 39 030 7301758

info@ravelligroup.it
www.ravelligroup.it

6799 STATE HIGHWAY 6
RAI VALLEY

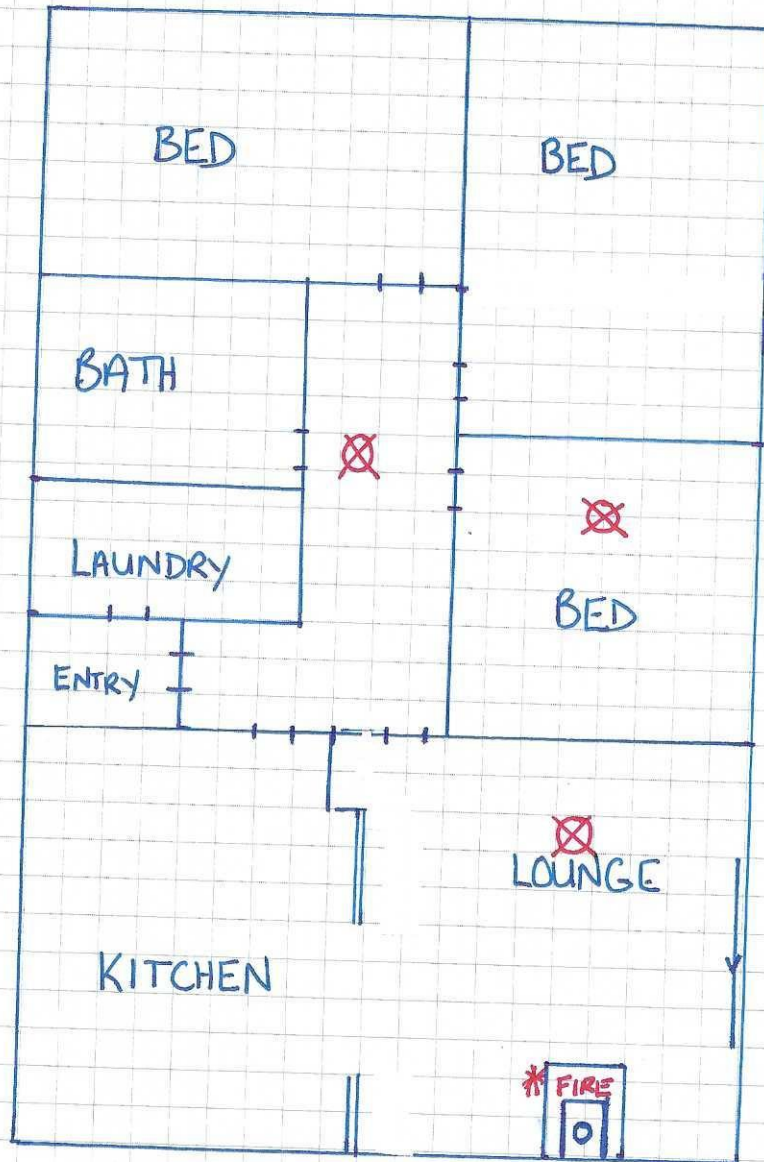
MARLBOROUGH DISTRICT COUNCIL
BUILDING CONSENT AUTHORITY
APPROVED DOCUMENTS

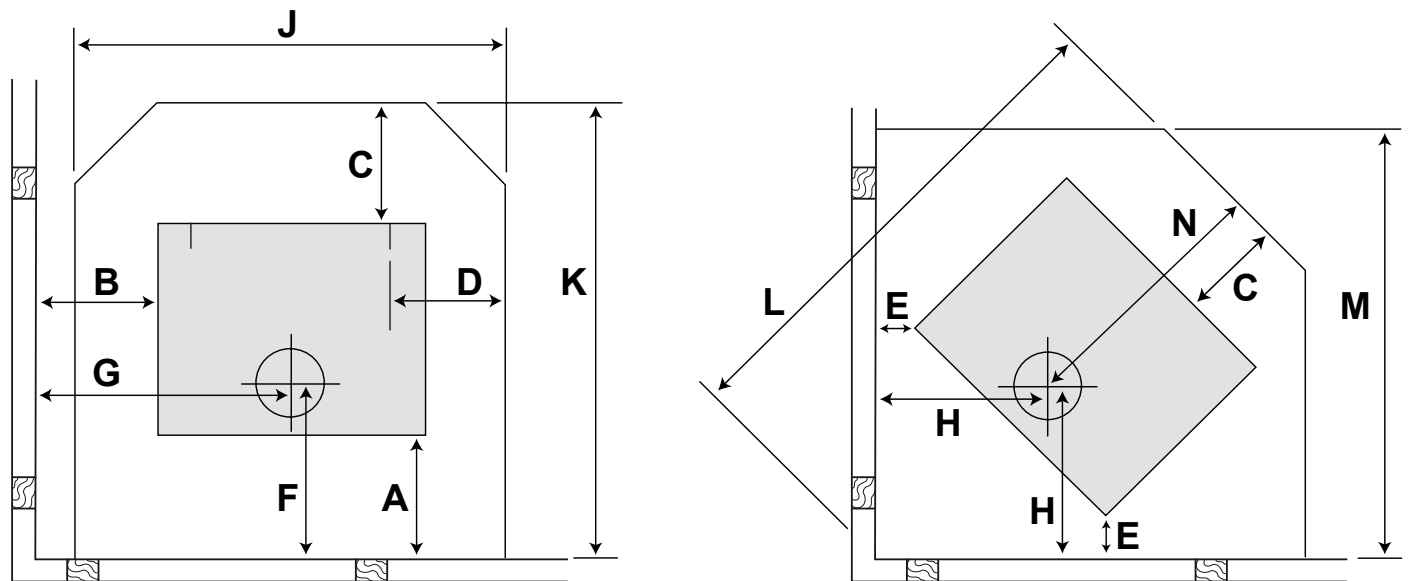
Signed:

Date:

08 Feb 2022

ALL WORK IS TO COMPLY WITH THE CONSENTED DOCUMENTS & THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL





- A = Rear wall to rear heat shield
- B = Side wall to side edge of top plate
- C = Door seal lip (firebox) to the front of the floor protector
- D = Door seal lip (firebox) to the side of the floor protector
- E = Wall to rear corner of top plate

All dimensions are in millimetres.
 All dimensions are set as a minimum guide only.

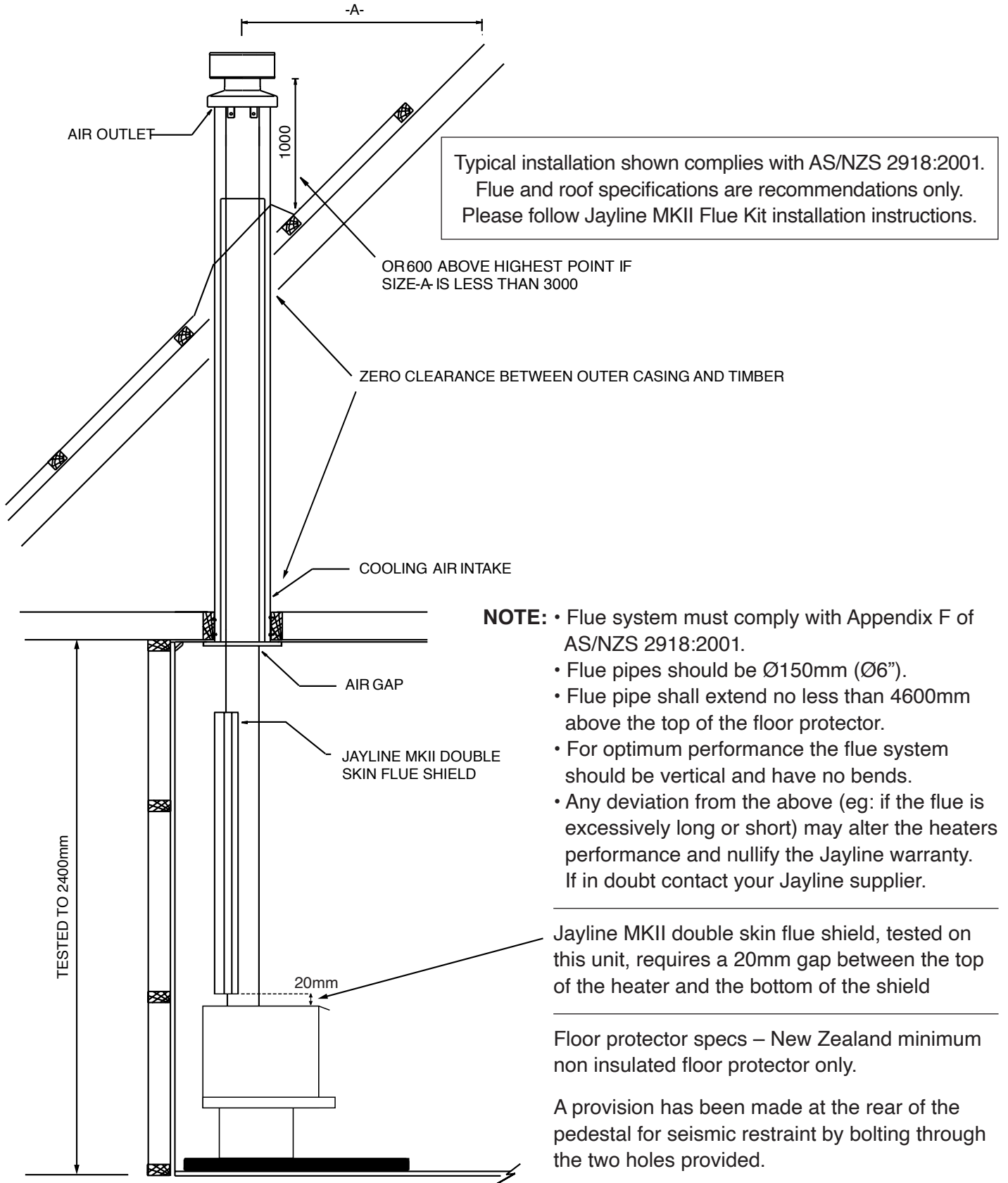
Minimum clearance requirements to combustibles with 1200mm Jayline MKII double skin flue shield

A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	T	U
100	290	300	200	100	254	598	406	827	898	1217	1007	642	650	615	562	320	420	107.5

Model	Water Heating Option	Floor Protector	Emissions	Efficiency
FR300	NO	Non insulated	0.7g/kg	65.4%
FR300W	3.1kW Jayline	Non insulated	0.66g/kg	65.1%

THIS MODEL HAS BEEN TESTED TO AS/NZS 2918:2001 AND IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 including Appendix F. The minimum clearance to combustibles may be reduced if the combustibles are shielded with an approved non-combustible material. Details of suitable shielding materials and appropriate clearance reduction factors are present in Section 3 of AS/NZS 2918:2001.

Clean Air Authorisation #173527 / 184795



- NOTE:**
- Flue system must comply with Appendix F of AS/NZS 2918:2001.
 - Flue pipes should be Ø150mm (Ø6”).
 - Flue pipe shall extend no less than 4600mm above the top of the floor protector.
 - For optimum performance the flue system should be vertical and have no bends.
 - Any deviation from the above (eg: if the flue is excessively long or short) may alter the heaters performance and nullify the Jayline warranty. If in doubt contact your Jayline supplier.

Jayline MKII double skin flue shield, tested on this unit, requires a 20mm gap between the top of the heater and the bottom of the shield

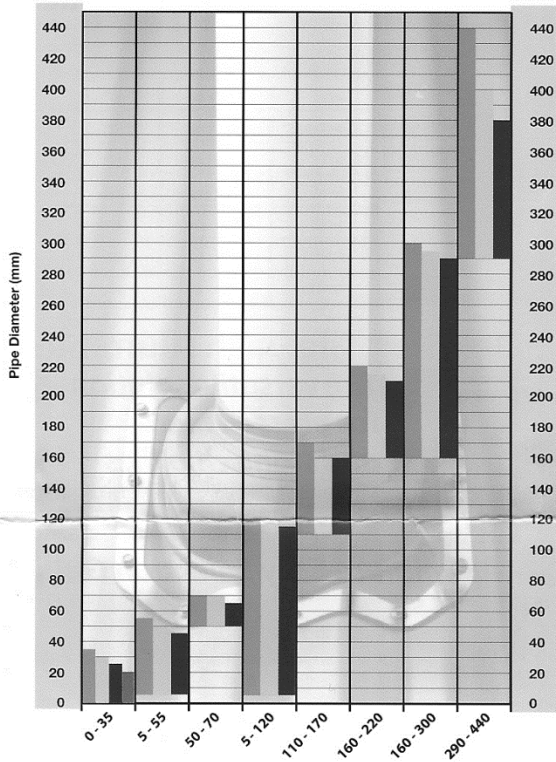
Floor protector specs – New Zealand minimum non insulated floor protector only.

A provision has been made at the rear of the pedestal for seismic restraint by bolting through the two holes provided.

IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 including Appendix F.

Dektite®

Dektite® Selector Chart



Dektite® Code DB - Black DG - Grey

- From 0 to 30° pitch
- From 30 to 35° pitch
- From 35 to 45° pitch
- From 45 to 60° pitch (DFE 0-35 only)

Step 1
Select the pitch of your roof and choose your colour

Step 2
Select the pipe diameter

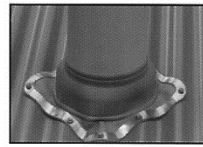
Step 3
Read across until you reach your colour

Silicone Sealants

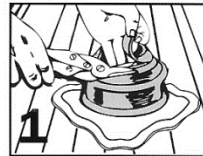
Use only Neutral Cure, Alcohol free, Low Modulus Sealant (Silicone). Deks Industries have trialed the following silicone sealants and found them to provide a satisfactory seal between the EPDM and most commonly used roofing materials.

- OCI Roof and Gutter N-192, Silicone Sealant
- Selleys® Roof & Gutter Silicone Sealant
- Sikasil®-C Multipurpose Silicone Sealant
- Bostik Findley Roof & Gutter Silicone Sealant
- Dow Corning® 791 Silicone Weatherproofing Sealant

INSTALLATION INSTRUCTIONS



For more effective drainage always fit the Dektite on the Diamond as shown.



Cut a neat hole in roofing sheet with minimum clearance for pipe and insert pipe through hole. Trim the cone to suit pipe size using sharp tin snips. (Where necessary, support cut sections of sheet with additional timber framing).



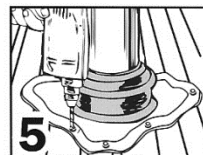
Slide Dektite® flashing down over pipe. Lubricating the pipe with water allows the pipe to slide snugly into position.



Press base to the roof profile by hand, smooth out any awkward creases. Don't fully extend to allow for vibration.



Apply a neutral cure silicone* sealant by turning back the flexible flange.



Fasten using class 4 coating washered screws. Fit fasteners progressively outward in opposing pairs to avoid gaps.



Dektite®

First and the Best!

HINT: When flashing a metal flue that has an exposed seam, using a neutral cure sealant, seal the seam from underside of cowl to the top of Dektite® cone.



APPROVED DOCUMENTS
Date Approved: 08/02/2022
MARLBOROUGH DISTRICT COUNCIL



150MM FREE STANDING WOOD FIRE FLUE KIT MKII INSTALLATION INSTRUCTIONS

WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES. WOOD FIRE AND FLUE CLEARANCES FROM THE COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.

CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.

CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO. BENDS AND EXTENSIONS TO THE LENGTH OF A FLUE SYSTEM ARE PERMITTED (AS/NZS 2918:2001 4.1).

FLAT CEILING INSTALLATION

- 1) Locate the wood fire in its proposed position and mark a point on the ceiling that is directly above the centre of the flue spigot. Check that the location of the wood fire allows the OUTER GALV LINER to clear all structural roof timbers.
- 2) Cut a 250mm square hole in the ceiling. Directly above cut a hole in roof to accommodate OUTER GALV LINER.
- 3) Fit a timber frame around the ceiling. i.e. frames form a 250mm square aperture that allows air to circulate freely over the OUTER GALV LINER surface.
- 4) Position the OUTER GALV LINER so that it is flush with the underneath of the ceiling and protrudes through the roof at the required height. Note that AS/NZS 2918:2001 4.9 1(a) states, "the FLUE PIPE shall extend no less than 4.6m above the top of the floor protector". **Refer to diagram A.**
 - a) If the FLUE PIPE is within 3 metres of the ridge, the FLUE PIPE must protrude at least 600mm above the ridge of the roof.
 - b) If the distance from the ridge is more than 3 metres, the FLUE PIPE must protrude at least 1000mm above roof penetration.
 - c) The FLUE PIPE must be more than 3 metres from any nearby structure. **Refer to diagram D.**

Additional FLUE PIPE, OUTER GALV LINER and/or INNER GALV LINER may have to be added to ensure the following:

- i) The correct minimum roof penetration height.
- ii) Sufficient overall height to encase the FLUE PIPE which must extend a minimum of 4.6m from the floor protector.

Refer diagram A.

Note that the INNER GALV LINER should extend 200mm above roof penetration.

NB: Do not secure the OUTER GALV LINER SLIP EXTENSION onto the OUTER GALV LINER, as final adjustment will be required when fitting COWL assembly. (See 11).



APPROVED DOCUMENTS
Date Approved: 08/02/2022
MARLBOROUGH DISTRICT COUNCIL



- 5) Fix an appropriate flashing around the OUTER GALV LINER to seal onto the roofing material. Refer to the manufacturer's recommendations for the correct fitting.

NB: On iron roofs, fixings such as metal angle brackets (40mm x 40mm) can be fitted under the flashing to securely fix the roof to OUTER GALV LINER (supplied).

- 6) Place CEILING PLATE over wood fire's flue spigot, ensuring the folded edges are facing the ceiling.
- 7) Position bottom length of FLUE PIPE (crimped end downwards) into wood fire flue spigot.

Refer to the supplier of the wood fire and use flue pipe sealant if recommended.

- 8) Assemble FLUE PIPES together ensuring seams are straight; offsetting the seams will ensure a neat fit. FLUE PIPES must be assembled with crimped ends down (towards wood fire). Secure each joint with a minimum of three Monel Steel rivets equally spaced around the joint. The protective wrapping should be left on the FLUE PIPE during installation.
- 9) From the roof lower FLUE PIPE through OUTER GALV LINER into the bottom FLUE PIPE securing with three Monel rivets.
- 10) Check the FLUE PIPE SPACING BRACKETS inside the INNER GALV LINER are correctly positioned and then from the roof slide the INNER GALV LINER into the OUTER GALV LINER until the brackets rest on to the internal swage ring of the OUTER GALV LINER, this will ensure the INNER GALV LINER is the correct 12mm above ceiling level. Check the INNER GALV LINER when correctly positioned extends a minimum of 200mm above the roof penetration.
- 11) Before securing the OUTER GALV LINER SLIP EXTENSION to the OUTER GALV LINER with 3 rivets, ensure the FLUE PIPE extends above the top of the OUTER GALV LINER SLIP EXTENSION 145mm. Adjust SLIP EXTENSION to obtain the measurement.
- 12) Fit TOP SPACER BRACKET to the FLUE PIPE making sure the lugs fit snugly inside OUTER GALV LINER SLIP EXTENSION. Make sure TOP SPACER BRACKET fits hard down onto OUTER GALV LINER SLIP EXTENSION.
- 13) Fit GALV LINER COVER over the FLUE PIPE and push down firmly onto TOP SPACER BRACKET.
- 14) Fit COWL but do not secure, as removal for the flue cleaning will be necessary. Deform the stub of the COWL to ensure it is a tight friction fit.
- 15) Fasten CEILING PLATE to ceiling using screws provided. Do not over-tighten, as a 12mm air gap must be maintained via the 4 external slots). Ensure an even air gap around FLUE PIPE when fixing. Remove protective plastic from CEILING PLATE.
- 16) Leave all installation and operating instructions with the owner.

The Satin Black painted flue pipe can be touched up using only STOVE BRIGHT aerosol paint.

The stainless steel pipe used in the Jayline/Fisher MKII Flue Kit is warranted for five years from date of purchase to the initial purchaser, provided these installation instructions and the manufacturer's instructions on how to operate the appliance are met.



APPROVED DOCUMENTS
Date Approved: 08/02/2022

MARLBOROUGH DISTRICT COUNCIL

BOSCA[®]

SLOPING CEILING INSTALLATION

The instructions for a sloping ceiling and a flat ceiling are the same except for the following:

- A) The 200mm Inner Liner, and the 250mm Outer Liner will need to be trimmed to the angle required to suit the ceiling (between 15-45 degrees).
- B) Fitted to the non swaged end of the 200mm Inner Liner are 3 x locating brackets. These will need to be removed and not used.
- C) A 150mm-200mm, and a 200mm-250mm spider bracket will be needed at the ceiling end of the liners.
- D) Point 10) will differ from the flat ceiling installation, in that the 200mm Inner Liner will need to be 6mm lower than the 250mm Outer Liner as shown in Diagram C.
- E) Ensure the 150mm-200 spider is secured to the flue pipe, and is free floating inside the 200mm Inner Liner.
- F) The 200mm-250mm spider must be secured to both the 200mm Inner and 250mm Outer Liners once they have been aligned and the 6mm height difference has been achieved.
- G) Point 15) will also differ from the flat ceiling installation as the sloping ceiling plate will use ceramic spacers between the ceiling plate and ceiling. Please do not over tighten the screws.

DIAGRAM A

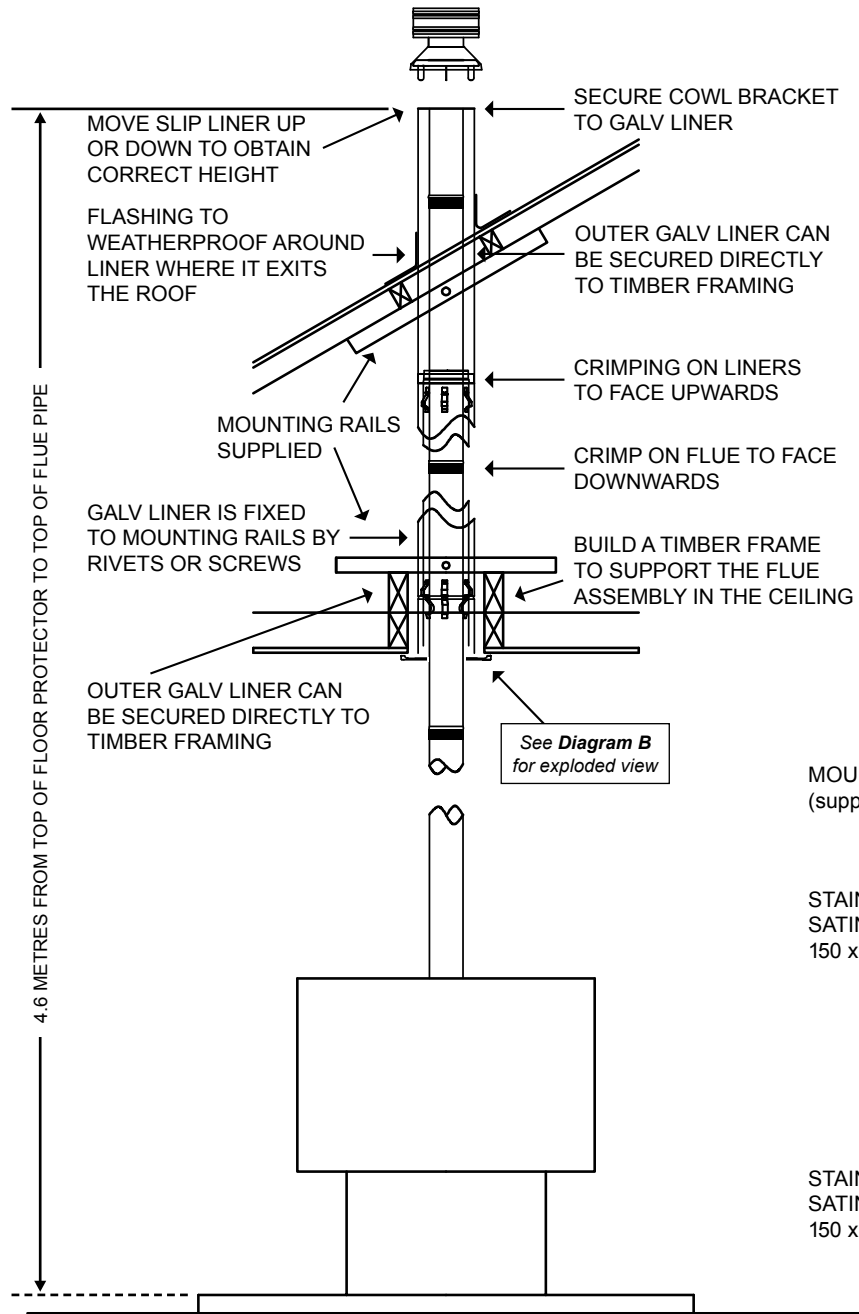
150mm Free Standing Flue Kit Satin Black, 4.2 Metres MKII

(Kit Code: 302551)

Manufactured by Retail Links Limited.

This flue kit must be installed by a suitably qualified tradesperson or solid fuel heater installer and complies with AS/NZS 2918:2001. This kit may require additional components to complete the installation

ROOF AND CEILING INSTALLATION



ASSEMBLY LIST

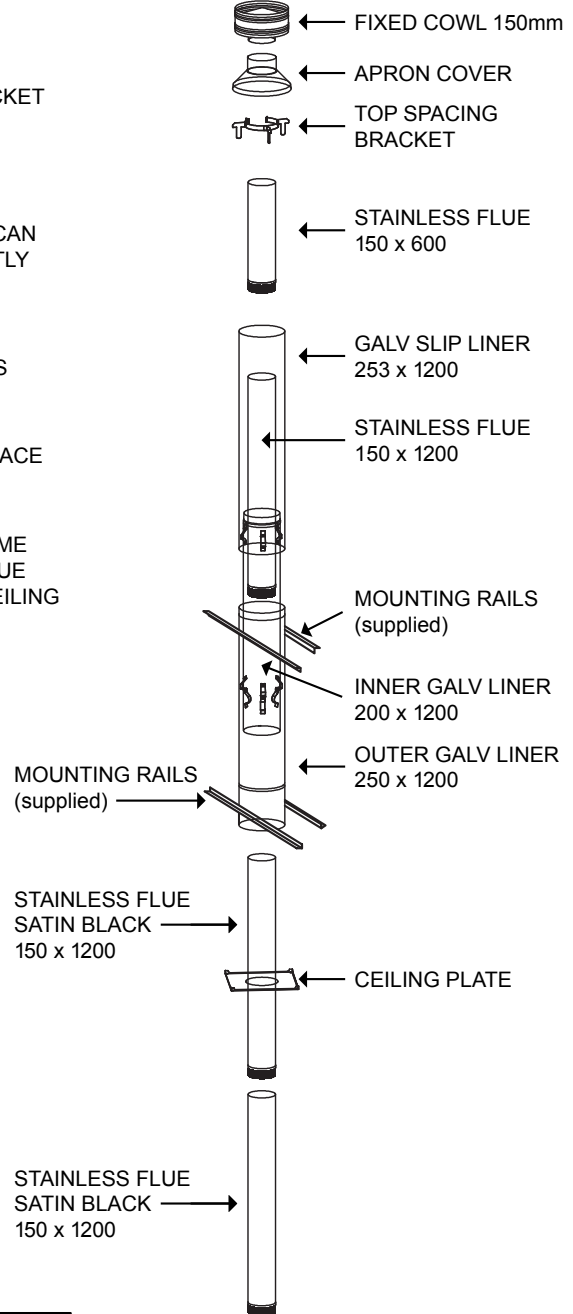


DIAGRAM B

POSITIONING LINERS AND CEILING PLATE

THIS DIAGRAM IS SUITABLE FOR FLAT CEILINGS ONLY

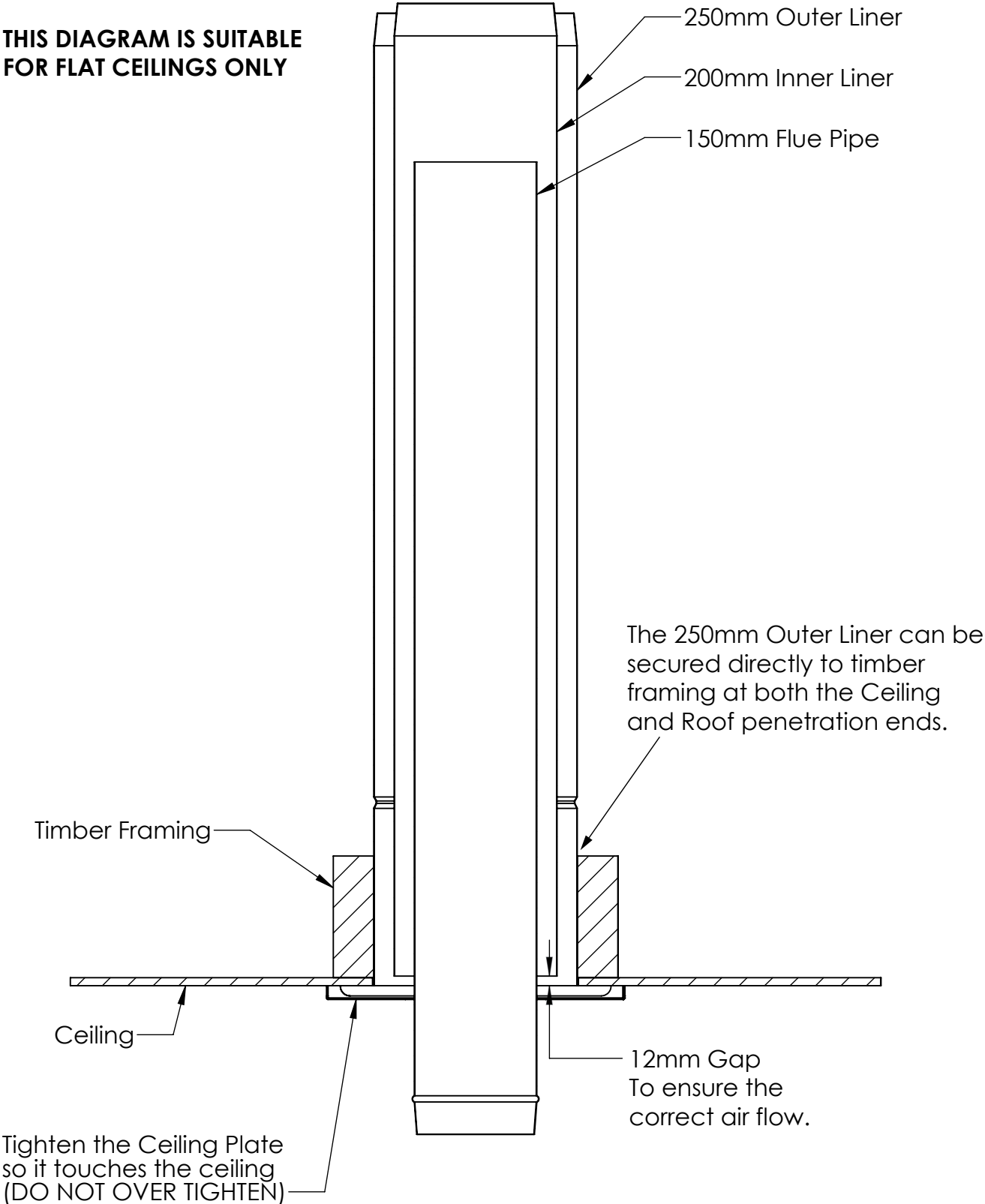


DIAGRAM C

POSITIONING LINERS AND CEILING PLATE

This diagram is suitable for sloping ceilings 15-45 degrees

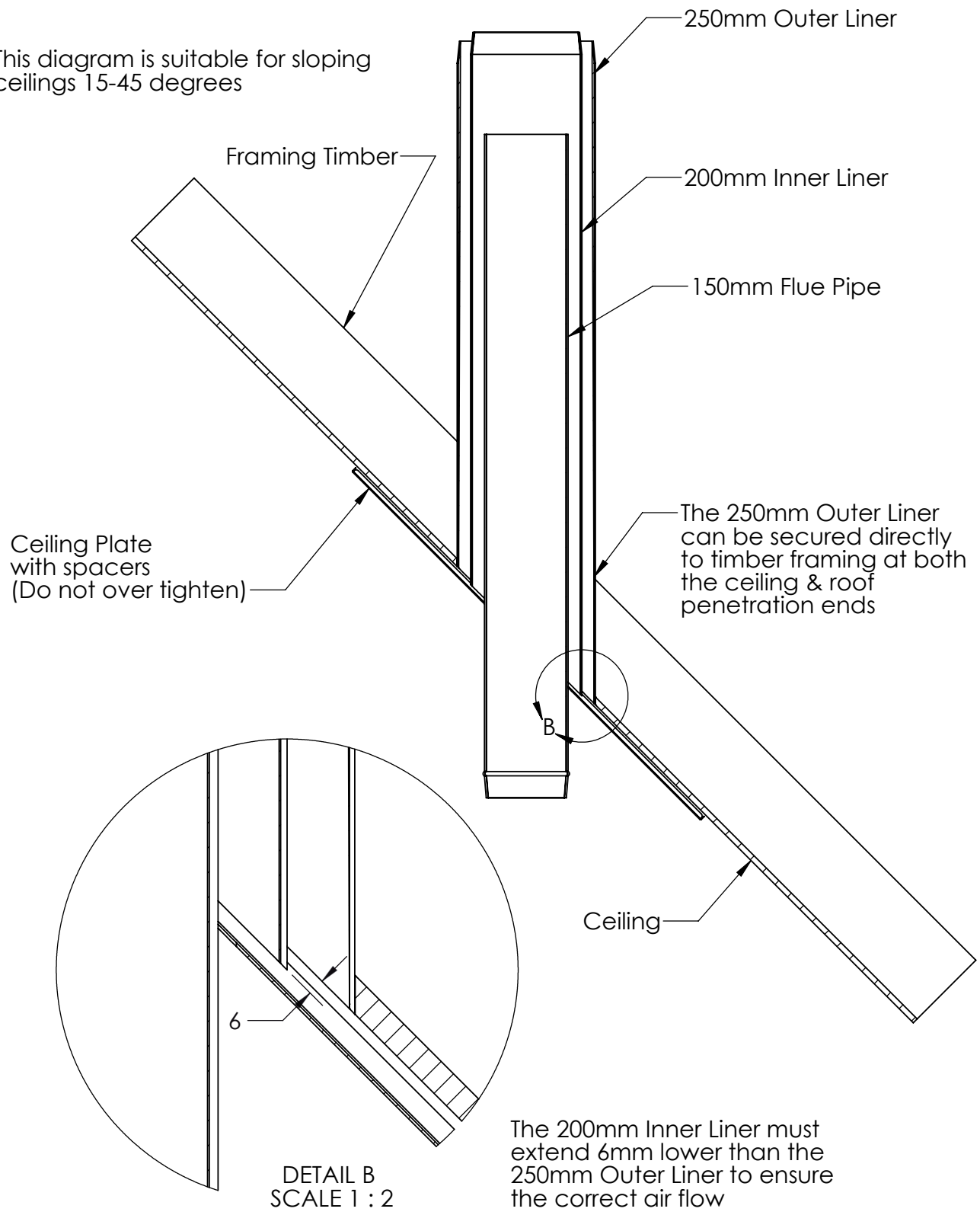


DIAGRAM D – AS/NZS 2918:2001

MINIMUM HEIGHTS FOR FLUE SYSTEM

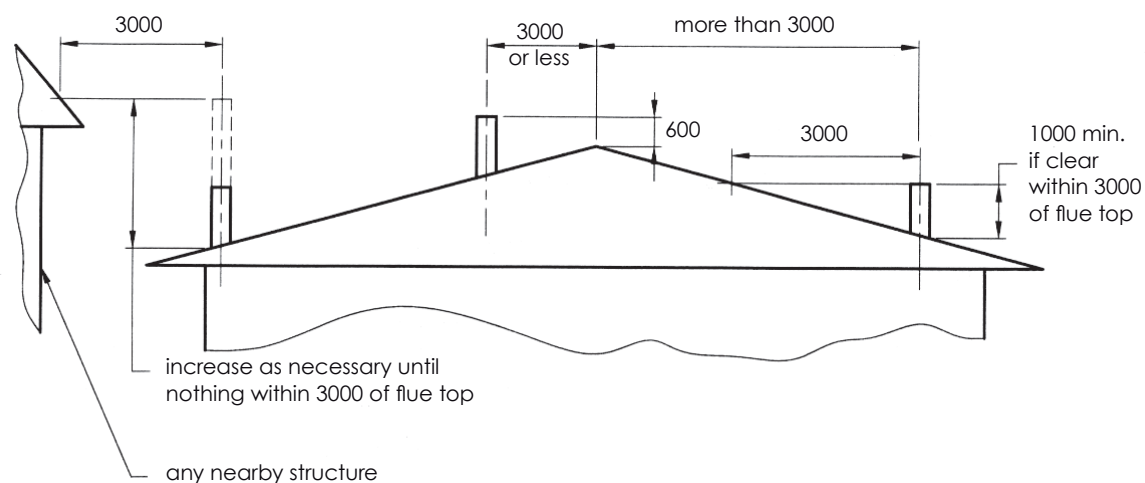
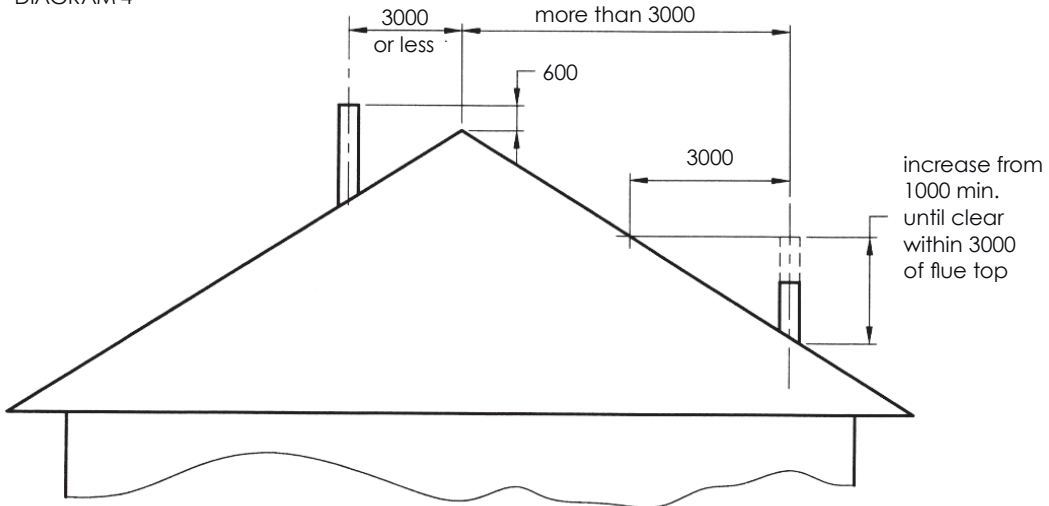


DIAGRAM 4



Notes:

Depending on local circumstances, taller chimneys may be required for satisfactory performance, check with your local retailer or installation technician.

Flue Shield Assembly Instructions

Components used are the flue shield, lower shield bracket (fig 1) and the top shield bracket (fig 2).

The lower shield bracket fits between the flue spigot of the fire and the flue pipe (fig 3).



Figure 1.



Figure 2.



Figure 3.

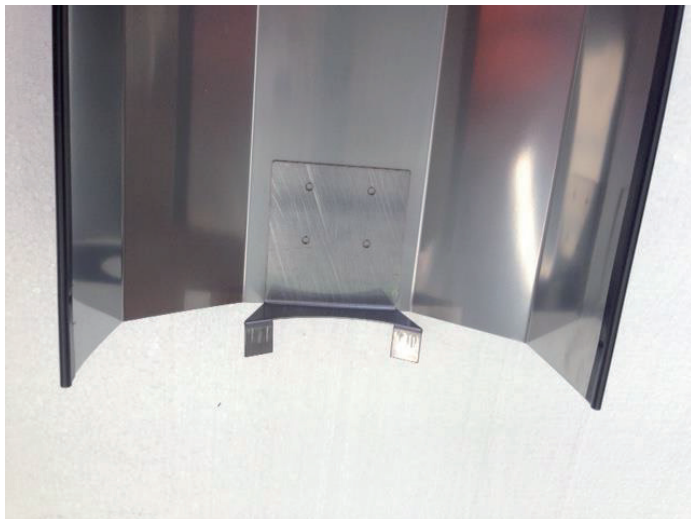


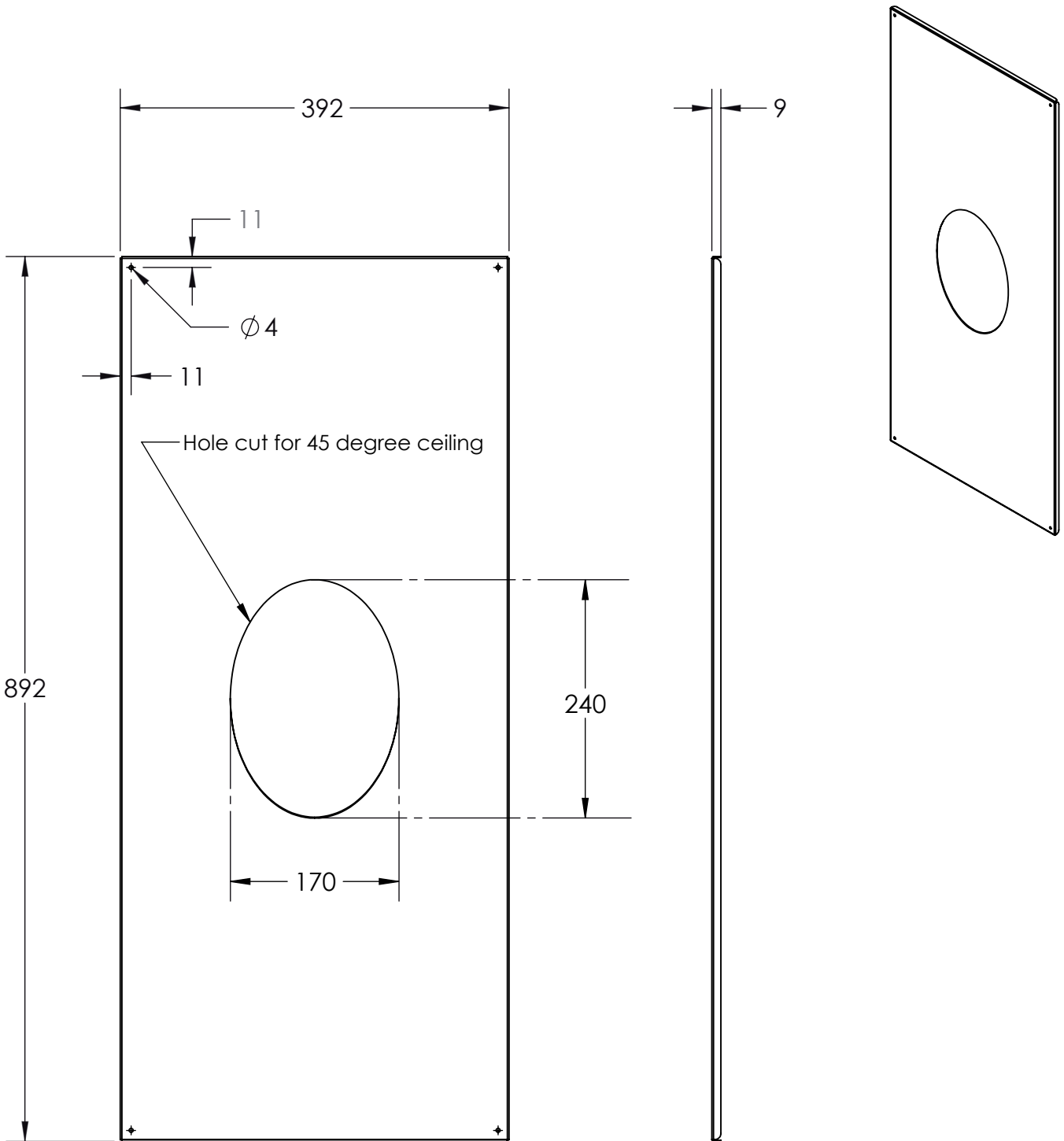
Figure 4.



Figure 5.

The height between the bottom of the flue shield & the top of the heater is referred to on page 2 of the specification sheet for each model. Please check carefully before riveting the lower bracket (fig 4) to the shield to ensure the correct height is reached. Once the lower bracket is fitted between the spigot and flue pipe, the top bracket (fig 5) can be riveted to the shield and flue pipe.

DIAGRAM OF 45° CEILING PLATE



Ceiling Plate required as tested



APPROVED DOCUMENTS
Date Approved: 08/02/2022
MARLBOROUGH DISTRICT COUNCIL



FLUE KIT BLACK 4.2M MKII

Contents Include:

- 2 x Flue Stainless Steel 150 x 1200mm (Black)
- 1 x Flue Stainless Steel 150 x 1200mm
- 1 x Flue Stainless Steel 150 x 600mm
- 1 x Flue Galvanised Liner Combination (Inner: 200 x 1200mm / Outer: 250 x 1200mm)
- 1 x Flue Outer Galvanised Liner Slip Extension 253 x 1200mm
- 1 x Anti Down-Draught Cowl 150mm
- 1 x Apron Cover 150-250mm
- 1 x Ceiling Plate 150mm (Black) 370mm Square
- 1 x Ceiling Plate Screw Pack (4)
- 1 x Top Spacing Bracket, Bolt and Nut
- 2 x 40 x 40 x 1200mm Galvanised Mounting Rails
- 1 x Double Flue Shield MKII
- 1 x Top Flue Shield Bracket (Part A & B)
- 1 x Bottom Flue Shield Bracket (Multi-fit)

OPTIONAL COMPONENTS FOR A SLOPING CEILING (NOT SUPPLIED IN KIT)

1X polished SS ceiling plate at 45°, 30°, or 15°

1X white ceiling plate at 45°, 30°, or 15°

1X black ceiling plate at 45°, 30°, or 15°

1X pack (4) ceramic ceiling plate spacers

1X 150mm - 200mm spider bracket

1X 200mm - 250mm spider bracket



P.O. BOX 687, NELSON,
NEW ZEALAND

PHONE (03) 547 7347
EMAIL: info@appliedresearch.co.nz
WEB: www.appliedresearch.co.nz

Report 16/2859

November 16th, 2016

Page 1/1

Customer: Retail Links
PO Box 9056
Annesbrook
NELSON

P1930/5



This laboratory is accredited by International Accreditation New Zealand (IANZ). The tests reported herein have been performed in accordance with the terms of our accreditation. This accreditation does not extend to any opinions or any interpretations of test results contained in this report. Laboratory Registration Number 395.

IANZ is recognised at international level by ILAC. This means that an IANZ endorsed test report or certificate is also recognised by other signatories to the ILAC MRA such as NATA.

Compliance Certificate

Appliance	Jayline/Fisher MK II 150 mm Freestanding Wood Fire Flue Kit
Test Standard	AS/NZS 2918:2001 Appendix F.
Full Report	16/2854. The full report contains information on the test methods, details of the appliance tested, the installation and the results of the test in flat ceiling configuration. 16/2855. The full report contains information on the test methods, details of the appliance tested, the installation and the results of the test in sloping ceiling configuration.
Minimum Clearances	The Jayline/Fisher Mk II Flue Kit meets the requirements of AS/NZS 2918:2001 when the Jayline/Fisher Mk II Flue Kit is installed as detailed in the manufacturer's instructions.

Full Report Ref.: 16/2854, 16/2855

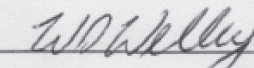
This Report:

Report: 16/2859

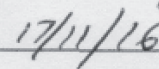
Prepared by: G. Looman



Approved by: W.S. Webley



Release Date:



This report relates only to the product sample tested. Any modifications to the product may invalidate the compliance results. This report must not be reproduced except in full. Results are based on materials and information supplied by the client. Applied Research Services Ltd shall not be liable in respect of any loss or damage (including consequential loss or damage) resulting from use of reports prepared by them.



www.fisherstoves.co.nz



150MM FREE STANDING WOOD FIRE FLUE KIT MKII INSTALLATION INSTRUCTIONS

WARNING: THIS FLUE KIT HAS BEEN MANUFACTURED IN ACCORDANCE WITH AS/NZS 2918:2001 AND TESTED TO APPENDIX F. TO ENSURE SAFETY THIS FLUE KIT MUST BE INSTALLED AS OUTLINED IN THESE INSTRUCTIONS AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES. WOOD FIRE AND FLUE CLEARANCES FROM THE COMBUSTIBLE WALLS MUST BE IN ACCORDANCE WITH WOOD FIRE MANUFACTURER'S SPECIFICATIONS AND AS/NZS 2918:2001. THESE INSTALLATION INSTRUCTIONS ARE FOR TESTED APPLIANCES ONLY.

CAUTION: MIXING FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.

CAUTION: IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE INSTALLATION OF THIS FLUE KIT COMPLIES WITH AS/NZS 2918:2001, THE APPLIANCE MANUFACTURERS SPECIFICATIONS FOR FLUE PIPE SHIELD AND CEILING PLATE AND THAT THE RELEVANT BUILDING CODES ARE ADHERED TO. BENDS AND EXTENSIONS TO THE LENGTH OF A FLUE SYSTEM ARE PERMITTED (AS/NZS 2918:2001 4.1).

FLAT CEILING INSTALLATION

- 1) Locate the wood fire in its proposed position and mark a point on the ceiling that is directly above the centre of the flue spigot. Check that the location of the wood fire allows the OUTER GALV LINER to clear all structural roof timbers.
- 2) Cut a 250mm square hole in the ceiling. Directly above cut a hole in roof to accommodate OUTER GALV LINER.
- 3) Fit a timber frame around the ceiling. i.e. frames form a 250mm square aperture that allows air to circulate freely over the OUTER GALV LINER surface.
- 4) Position the OUTER GALV LINER so that it is flush with the underneath of the ceiling and protrudes through the roof at the required height. Note that AS/NZS 2918:2001 4.9 1(a) states, "the FLUE PIPE shall extend no less than 4.6m above the top of the floor protector". **Refer to diagram A.**
 - a) If the FLUE PIPE is within 3 metres of the ridge, the FLUE PIPE must protrude at least 600mm above the ridge of the roof.
 - b) If the distance from the ridge is more than 3 metres, the FLUE PIPE must protrude at least 1000mm above roof penetration.
 - c) The FLUE PIPE must be more than 3 metres from any nearby structure. **Refer to diagram D.**

Additional FLUE PIPE, OUTER GALV LINER and/or INNER GALV LINER may have to be added to ensure the following:

- i) The correct minimum roof penetration height.
- ii) Sufficient overall height to encase the FLUE PIPE which must extend a minimum of 4.6m from the floor protector.

Refer diagram A.

Note that the INNER GALV LINER should extend 200mm above roof penetration.

NB: Do not secure the OUTER GALV LINER SLIP EXTENSION onto the OUTER GALV LINER, as final adjustment will be required when fitting COWL assembly. (See 11).

Marlborough District Council

Date Received: 1/02/2022



www.fisherstoves.co.nz



- 5) Fix an appropriate flashing around the OUTER GALV LINER to seal onto the roofing material. Refer to the manufacturer's recommendations for the correct fitting.

NB: On iron roofs, fixings such as metal angle brackets (40mm x 40mm) can be fitted under the flashing to securely fix the roof to OUTER GALV LINER (supplied).

- 6) Place CEILING PLATE over wood fire's flue spigot, ensuring the folded edges are facing the ceiling.

- 7) Position bottom length of FLUE PIPE (crimped end downwards) into wood fire flue spigot.

Refer to the supplier of the wood fire and use flue pipe sealant if recommended.

- 8) Assemble FLUE PIPES together ensuring seams are straight; offsetting the seams will ensure a neat fit. FLUE PIPES must be assembled with crimped ends down (towards wood fire). Secure each joint with a minimum of three Monel Steel rivets equally spaced around the joint. The protective wrapping should be left on the FLUE PIPE during installation.
- 9) From the roof lower FLUE PIPE through OUTER GALV LINER into the bottom FLUE PIPE securing with three Monel rivets.
- 10) Check the FLUE PIPE SPACING BRACKETS inside the INNER GALV LINER are correctly positioned and then from the roof slide the INNER GALV LINER into the OUTER GALV LINER until the brackets rest on to the internal swage ring of the OUTER GALV LINER, this will ensure the INNER GALV LINER is the correct 12mm above ceiling level. Check the INNER GALV LINER when correctly positioned extends a minimum of 200mm above the roof penetration.
- 11) Before securing the OUTER GALV LINER SLIP EXTENSION to the OUTER GALV LINER with 3 rivets, ensure the FLUE PIPE extends above the top of the OUTER GALV LINER SLIP EXTENSION 145mm. Adjust SLIP EXTENSION to obtain the measurement.
- 12) Fit TOP SPACER BRACKET to the FLUE PIPE making sure the lugs fit snugly inside OUTER GALV LINER SLIP EXTENSION. Make sure TOP SPACER BRACKET fits hard down onto OUTER GALV LINER SLIP EXTENSION.
- 13) Fit GALV LINER COVER over the FLUE PIPE and push down firmly onto TOP SPACER BRACKET.
- 14) Fit COWL but do not secure, as removal for the flue cleaning will be necessary. Deform the stub of the COWL to ensure it is a tight friction fit.
- 15) Fasten CEILING PLATE to ceiling using screws provided. Do not over-tighten, as a 12mm air gap must be maintained via the 4 external slots). Ensure an even air gap around FLUE PIPE when fixing. Remove protective plastic from CEILING PLATE.
- 16) Leave all installation and operating instructions with the owner.

The Satin Black painted flue pipe can be touched up using only STOVE BRIGHT aerosol paint.

The stainless steel pipe used in the Jayline/Fisher MKII Flue Kit is warranted for five years from date of purchase to the initial purchaser, provided these installation instructions and the manufacturer's instructions on how to operate the appliance are met.

BC220065



www.fisherstoves.co.nz

APPROVED DOCUMENTS

Date Approved: 08/02/2022

MARLBOROUGH DISTRICT COUNCIL

BOSCA[®]

SLOPING CEILING INSTALLATION

The instructions for a sloping ceiling and a flat ceiling are the same except for the following:

- A) The 200mm Inner Liner, and the 250mm Outer Liner will need to be trimmed to the angle required to suit the ceiling (between 15-45 degrees).
- B) Fitted to the non swaged end of the 200mm Inner Liner are 3 x locating brackets. These will need to be removed and not used.
- C) A 150mm-200mm, and a 200mm-250mm spider bracket will be needed at the ceiling end of the liners.
- D) Point 10) will differ from the flat ceiling installation, in that the 200mm Inner Liner will need to be 6mm lower than the 250mm Outer Liner as shown in Diagram C.
- E) Ensure the 150mm-200 spider is secured to the flue pipe, and is free floating inside the 200mm Inner Liner.
- F) The 200mm-250mm spider must be secured to both the 200mm Inner and 250mm Outer Liners once they have been aligned and the 6mm height difference has been achieved.
- G) Point 15) will also differ from the flat ceiling installation as the sloping ceiling plate will use ceramic spacers between the ceiling plate and ceiling. Please do not over tighten the screws.

DIAGRAM A

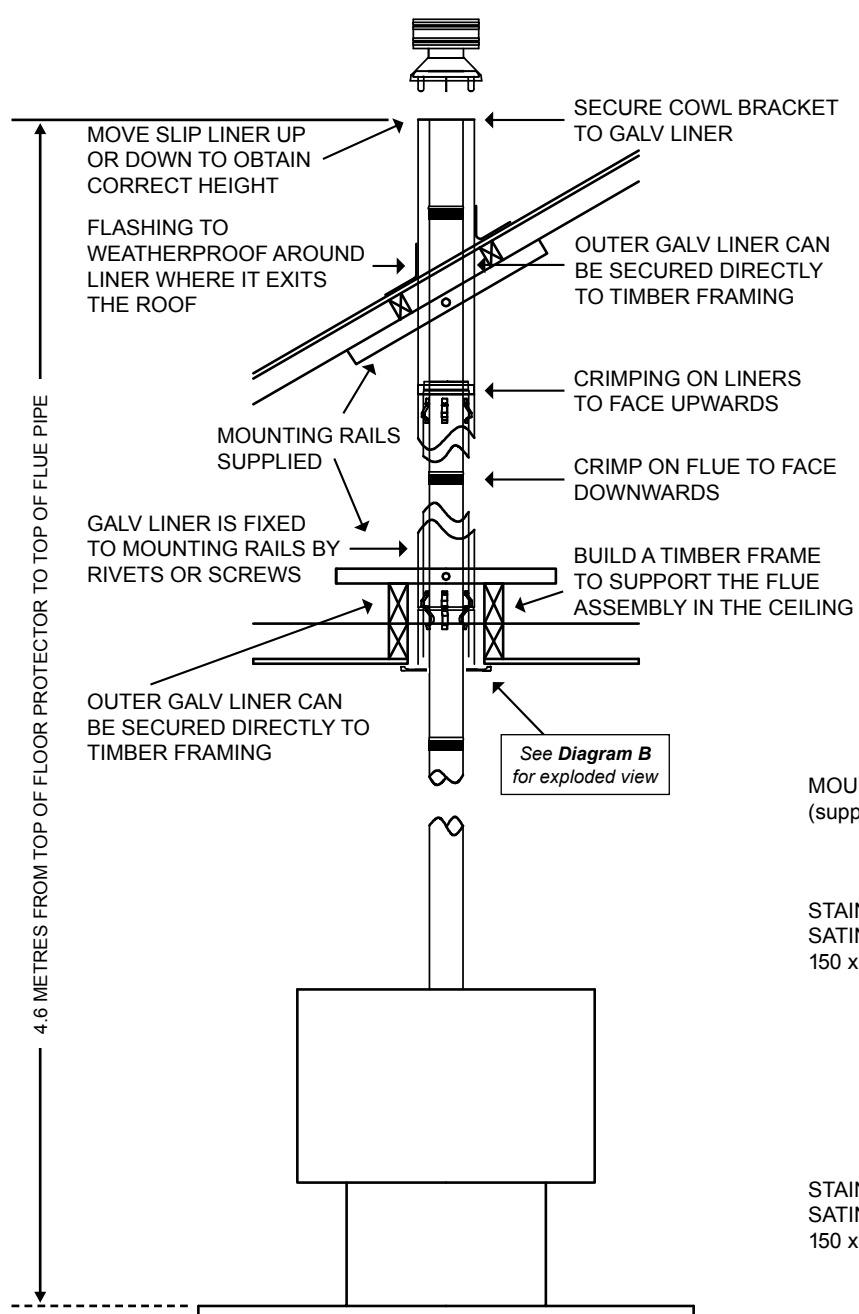
150mm Free Standing Flue Kit Satin Black, 4.2 Metres MKII

(Kit Code: 302551)

Manufactured by Retail Links Limited.

This flue kit must be installed by a suitably qualified tradesperson or solid fuel heater installer and complies with AS/NZS 2918:2001. This kit may require additional components to complete the installation

ROOF AND CEILING INSTALLATION



ASSEMBLY LIST

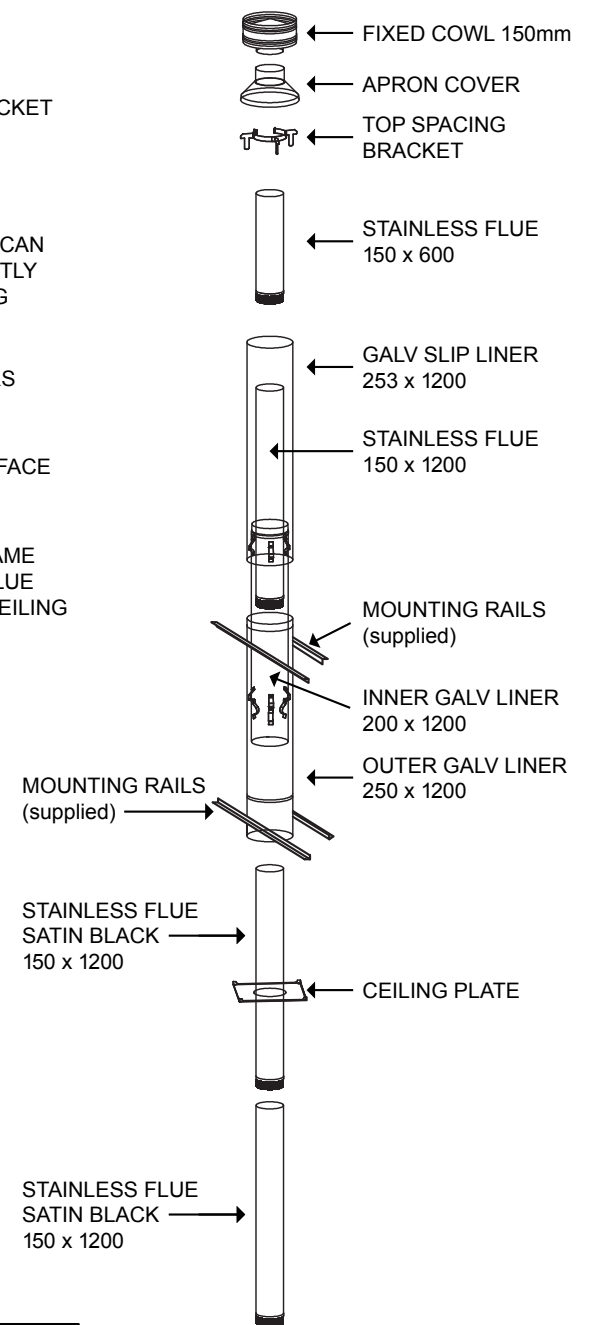
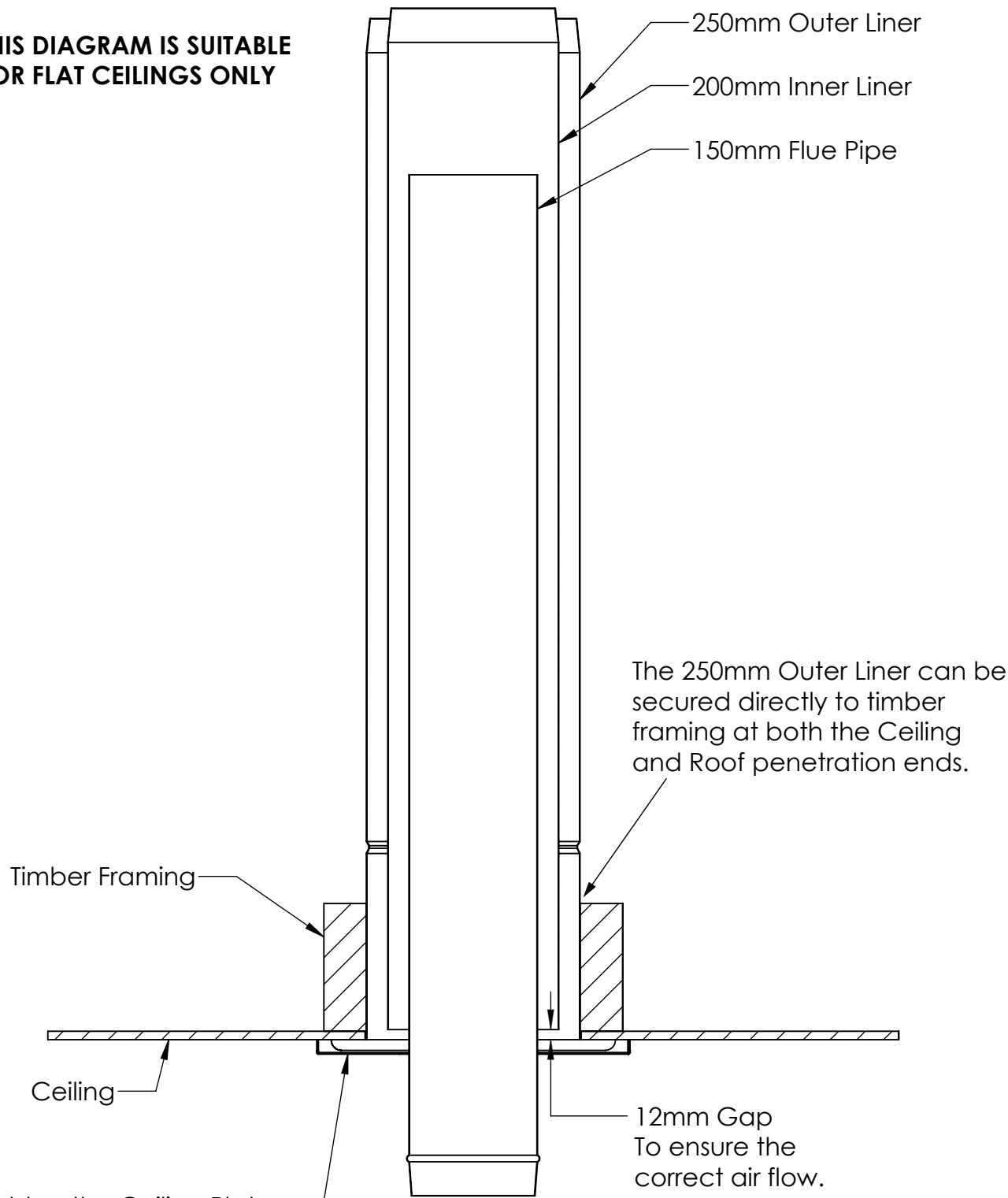


DIAGRAM B

POSITIONING LINERS AND CEILING PLATE

THIS DIAGRAM IS SUITABLE FOR FLAT CEILINGS ONLY



The 250mm Outer Liner can be secured directly to timber framing at both the Ceiling and Roof penetration ends.

Tighten the Ceiling Plate so it touches the ceiling (DO NOT OVERTIGHTEN)

Marborough District Council
Date Received: 1/02/2022

DIAGRAM C

POSITIONING LINERS AND CEILING PLATE

This diagram is suitable for sloping ceilings 15-45 degrees

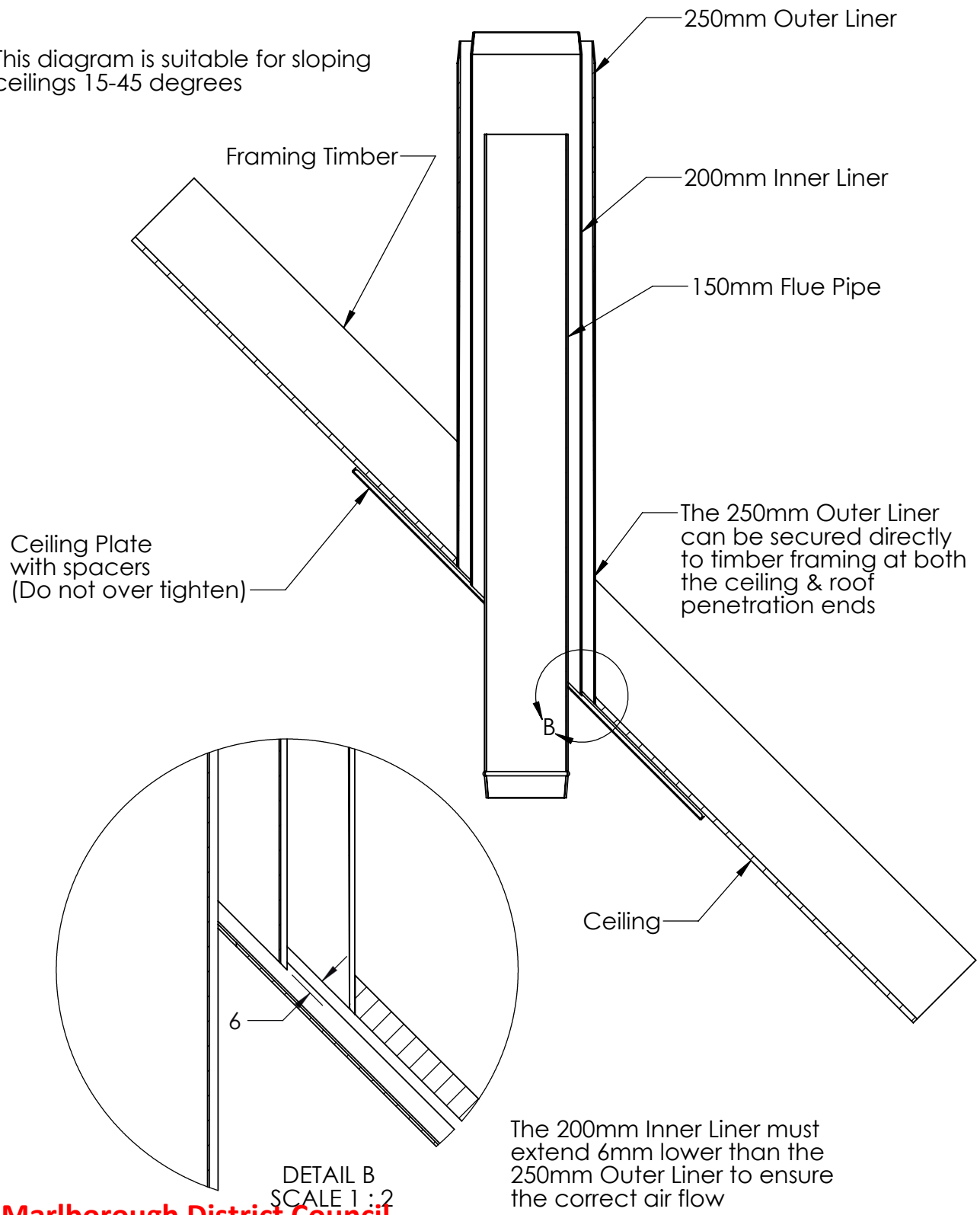


DIAGRAM D – AS/NZS 2918:2001

MINIMUM HEIGHTS FOR FLUE SYSTEM

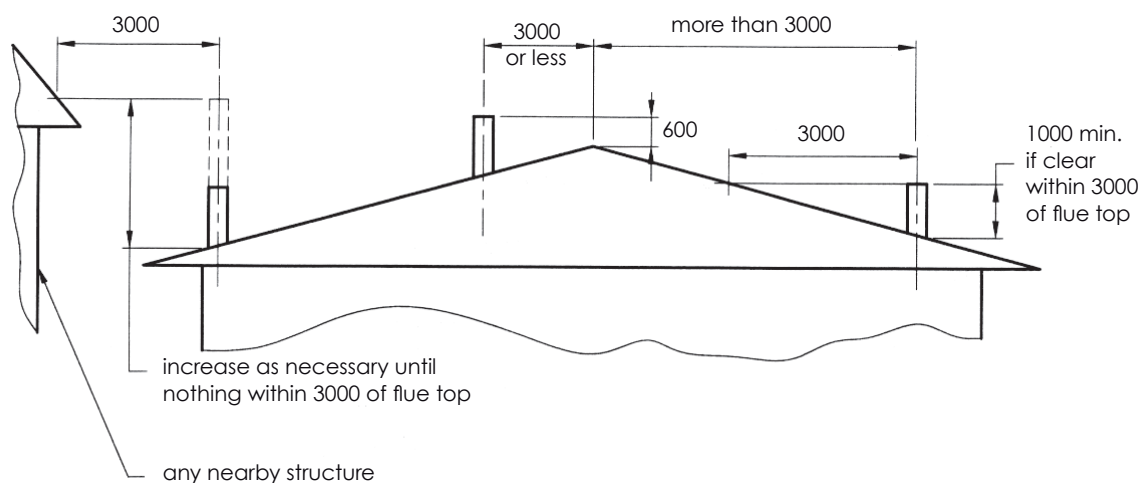
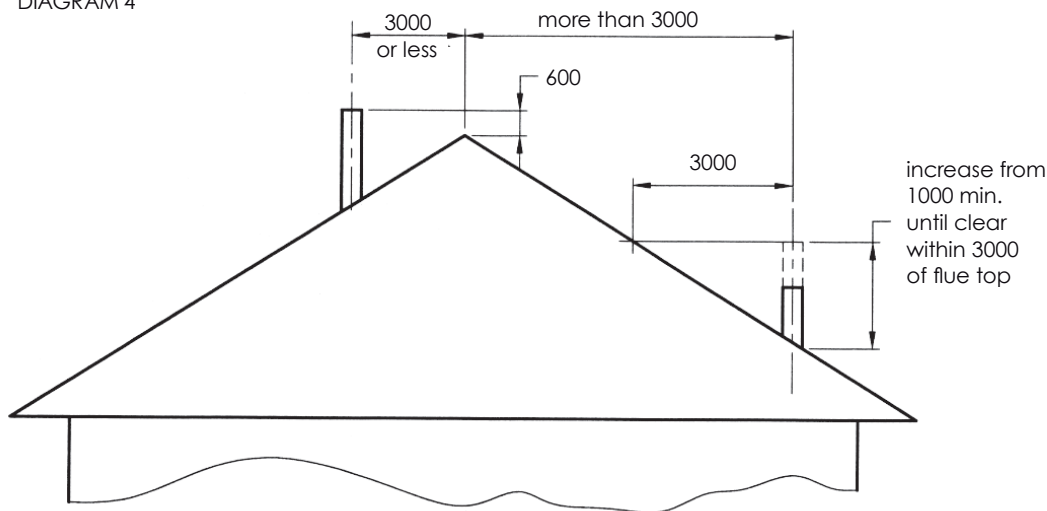


DIAGRAM 4



Notes:

Depending on local circumstances, taller chimneys may be required for satisfactory performance, check with your local retailer or installation technician.

Flue Shield Assembly Instructions

Components used are the flue shield, lower shield bracket (fig 1) and the top shield bracket (fig 2).

The lower shield bracket fits between the flue spigot of the fire and the flue pipe (fig 3).



Figure 1.



Figure 2.



Figure 3.

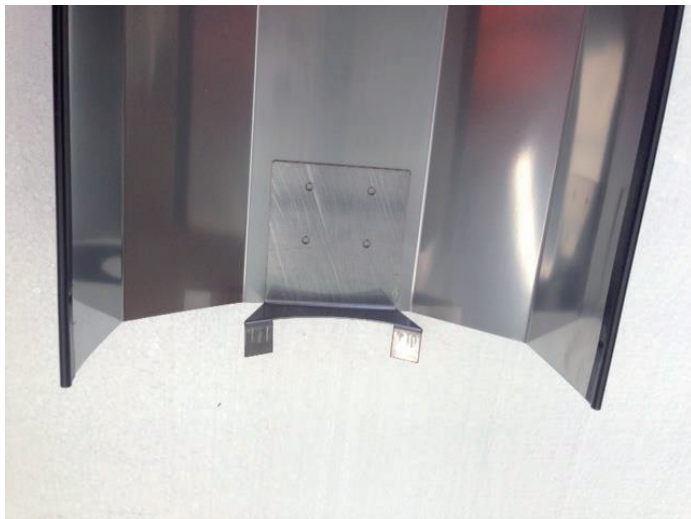


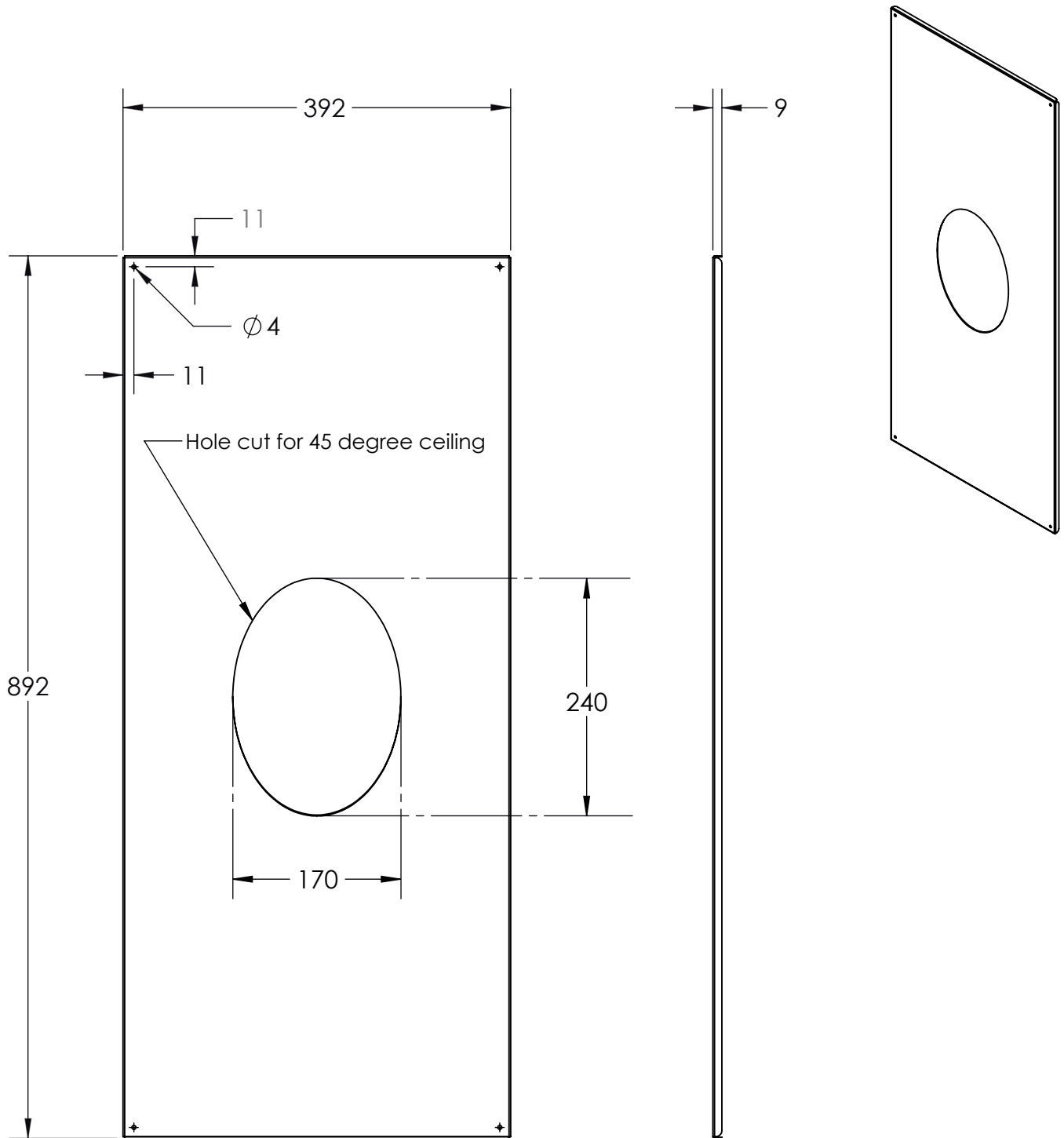
Figure 4.



Figure 5.

The height between the bottom of the flue shield & the top of the heater is referred to on page 2 of the specification sheet for each model. Please check carefully before riveting the lower bracket (fig 4) to the shield to ensure the correct height is reached. Once the lower bracket is fitted between the spigot and flue pipe, the top bracket (fig 5) can be riveted to the shield and flue pipe.

DIAGRAM OF 45° CEILING PLATE



Ceiling Plate required as tested

BC220065



www.fisherstoves.co.nz

APPROVED DOCUMENTS

Date Approved: 08/02/2022

MARLBOROUGH DISTRICT COUNCIL

BOSCA[®]

FLUE KIT BLACK 4.2M MKII

Contents Include:

- 2 x Flue Stainless Steel 150 x 1200mm (Black)
- 1 x Flue Stainless Steel 150 x 1200mm
- 1 x Flue Stainless Steel 150 x 600mm
- 1 x Flue Galvanised Liner Combination (Inner: 200 x 1200mm / Outer: 250 x 1200mm)
- 1 x Flue Outer Galvanised Liner Slip Extension 253 x 1200mm
- 1 x Anti Down-Draught Cowl 150mm
- 1 x Apron Cover 150-250mm
- 1 x Ceiling Plate 150mm (Black) 370mm Square
- 1 x Ceiling Plate Screw Pack (4)
- 1 x Top Spacing Bracket, Bolt and Nut
- 2 x 40 x 40 x 1200mm Galvanised Mounting Rails
- 1 x Double Flue Shield MKII
- 1 x Top Flue Shield Bracket (Part A & B)
- 1 x Bottom Flue Shield Bracket (Multi-fit)

OPTIONAL COMPONENTS FOR A SLOPING CEILING (NOT SUPPLIED IN KIT)

1X polished SS ceiling plate at 45°, 30°, or 15°

1X white ceiling plate at 45°, 30°, or 15°

1X black ceiling plate at 45°, 30°, or 15°

1X pack (4) ceramic ceiling plate spacers

1X 150mm - 200mm spider bracket

1X 200mm - 250mm spider bracket

Marlborough District Council

Date Received: 1/02/2022



P.O. BOX 687, NELSON,
NEW ZEALAND

PHONE (03) 547 7347
EMAIL: info@appliedresearch.co.nz
WEB: www.appliedresearch.co.nz

Report 16/2859

November 16th, 2016

Page 1/1

Customer: Retail Links
PO Box 9056
Annesbrook
NELSON

P1930/5



This laboratory is accredited by International Accreditation New Zealand (IANZ). The tests reported herein have been performed in accordance with the terms of our accreditation. This accreditation does not extend to any opinions or any interpretations of test results contained in this report. Laboratory Registration Number 395.

IANZ is recognised at international level by ILAC. This means that an IANZ endorsed test report or certificate is also recognised by other signatories to the ILAC MRA such as NATA.

Compliance Certificate

Appliance	Jayline/Fisher MK II 150 mm Freestanding Wood Fire Flue Kit
Test Standard	AS/NZS 2918:2001 Appendix F.
Full Report	16/2854. The full report contains information on the test methods, details of the appliance tested, the installation and the results of the test in flat ceiling configuration. 16/2855. The full report contains information on the test methods, details of the appliance tested, the installation and the results of the test in sloping ceiling configuration.
Minimum Clearances	The Jayline/Fisher Mk II Flue Kit meets the requirements of AS/NZS 2918:2001 when the Jayline/Fisher Mk II Flue Kit is installed as detailed in the manufacturer's instructions.

Full Report Ref.: 16/2854, 16/2855

This Report:

Report: 16/2859

Prepared by: G. Looman

Approved by: W.S. Webley

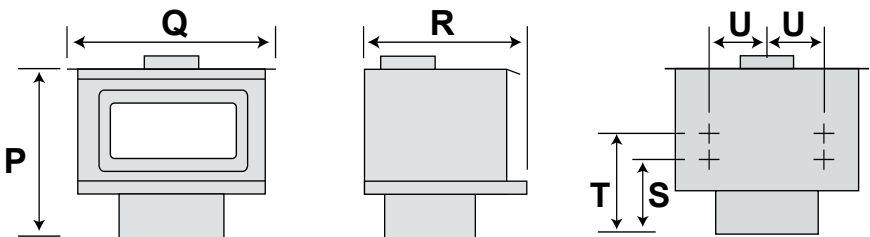
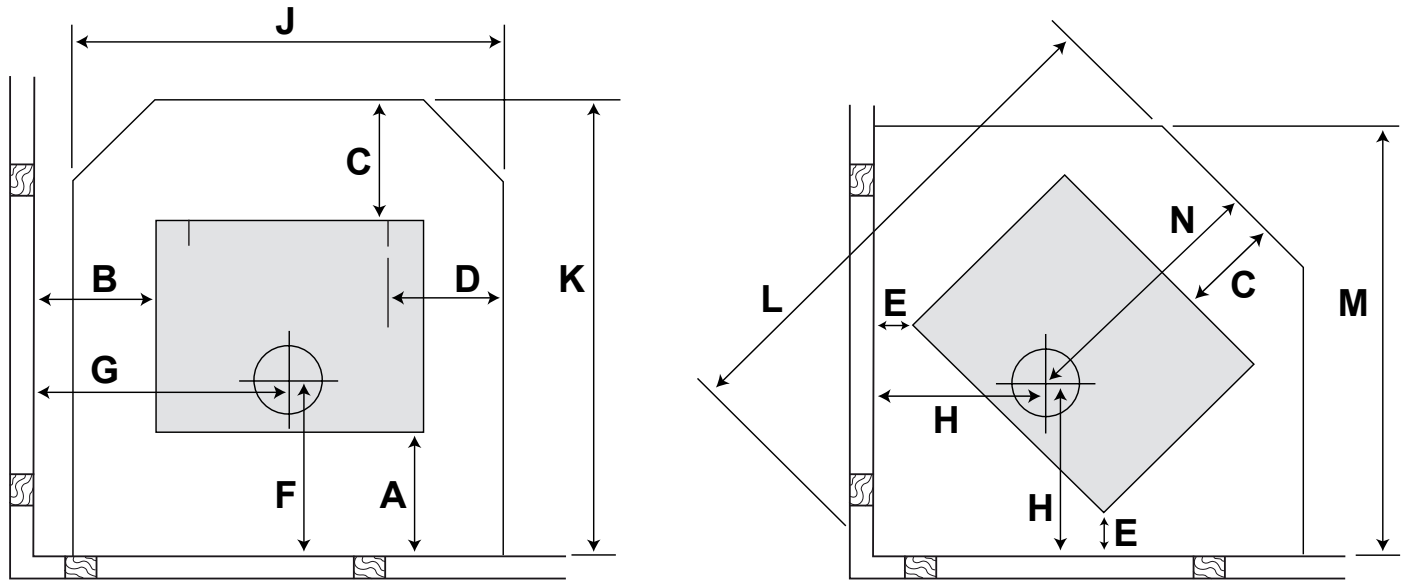
Release Date:

17/11/16

This report relates only to the product sample tested. Any modifications to the product may invalidate the compliance results. This report must not be reproduced except in full. Results are based on materials and information supplied by the client. Applied Research Services Ltd shall not be liable in respect of any loss or damage (including consequential loss or damage) resulting from use of reports prepared by them.

Marlborough District Council

Date Received: 1/02/2022



- A = Rear wall to rear heat shield
- B = Side wall to side edge of top plate
- C = Door seal lip (firebox) to the front of the floor protector
- D = Door seal lip (firebox) to the side of the floor protector
- E = Wall to rear corner of top plate

All dimensions are in millimetres.
All dimensions are set as a minimum guide only.

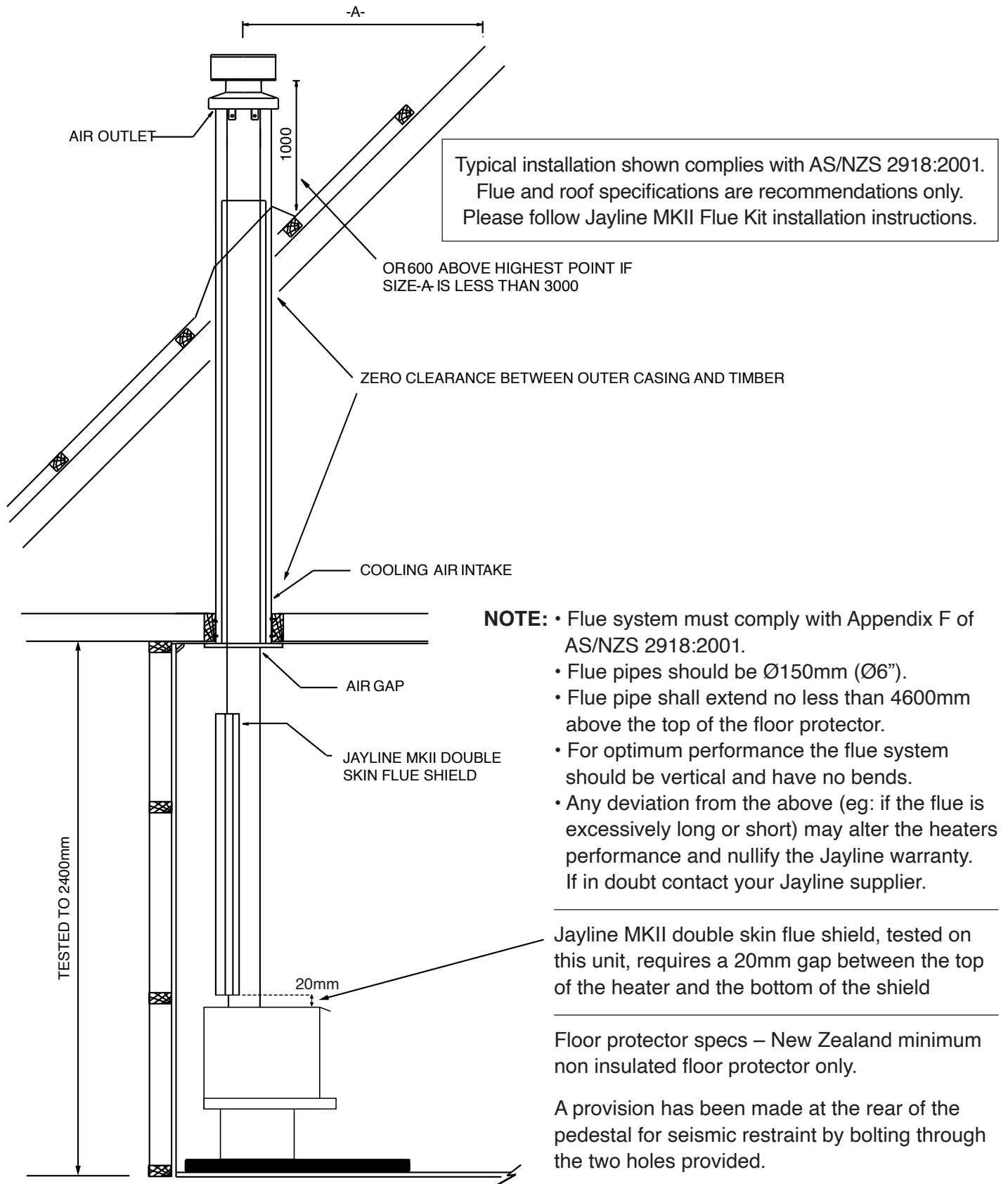
Minimum clearance requirements to combustibles with 1200mm Jayline MKII double skin flue shield

A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	T	U
100	290	300	200	100	254	598	406	827	898	1217	1007	642	650	615	562	320	420	107.5

Model	Water Heating Option	Floor Protector	Emissions	Efficiency
FR300	NO	Non insulated	0.7g/kg	65.4%
FR300W	3.1kW Jayline	Non insulated	0.66g/kg	65.1%

THIS MODEL HAS BEEN TESTED TO AS/NZS 2918:2001 AND IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 including Appendix F. The minimum clearance to combustibles may be reduced if the combustibles are shielded with an approved non-combustible material. Details of suitable shielding materials and appropriate clearance reduction factors are present in Section 3 of AS/NZS 2918:2001.

Clean Air Authorisation #173527 / 184795



- NOTE:**
- Flue system must comply with Appendix F of AS/NZS 2918:2001.
 - Flue pipes should be Ø150mm (Ø6”).
 - Flue pipe shall extend no less than 4600mm above the top of the floor protector.
 - For optimum performance the flue system should be vertical and have no bends.
 - Any deviation from the above (eg: if the flue is excessively long or short) may alter the heaters performance and nullify the Jayline warranty. If in doubt contact your Jayline supplier.

Jayline MKII double skin flue shield, tested on this unit, requires a 20mm gap between the top of the heater and the bottom of the shield

Floor protector specs – New Zealand minimum non insulated floor protector only.

A provision has been made at the rear of the pedestal for seismic restraint by bolting through the two holes provided.

IF INSTALLED IN ACCORDANCE WITH THESE SPECIFICATIONS THE HEATER COMPLIES WITH AS/NZS 2918:2001 including Appendix F.

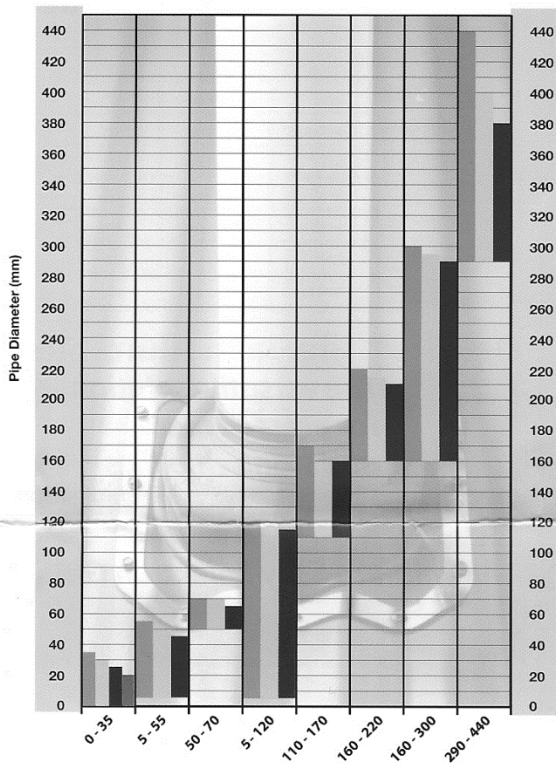
Marlborough District Council

RETAIL LINKS LTD RESERVE THE RIGHT TO CHANGE SPECIFICATIONS OR DESIGNS WITHOUT PRIOR NOTICE.

Date Received: 31/1/2022

Dektite®

Dektite® Selector Chart

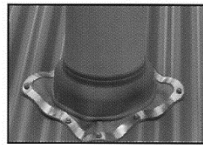


Deklite® Code DB - Black DG - Grey

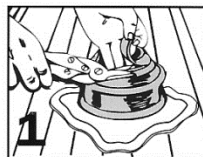
- From 0 to 30° pitch
- From 30 to 35° pitch
- From 35 to 45° pitch
- From 45 to 60° pitch (DFE 0-35 only)

- Step 1**
Select the pitch of your roof and choose your colour
- Step 2**
Select the pipe diameter
- Step 3**
Read across until you reach your colour

INSTALLATION INSTRUCTIONS



For more effective drainage always fit the Dektite on the Diamond as shown.



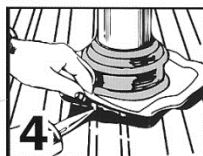
Cut a neat hole in roofing sheet with minimum clearance for pipe and insert pipe through hole. Trim the cone to suit pipe size using sharp tin snips. (Where necessary, support cut sections of sheet with additional timber framing).



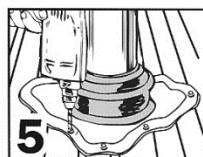
Slide Dektite® flashing down over pipe. Lubricating the pipe with water allows the pipe to slide snugly into position.



Press base to the roof profile by hand, smooth out any awkward creases. Don't fully extend to allow for vibration.



Apply a neutral cure silicone* sealant by turning back the flexible flange.



Fasten using class 4 coating washered screws. Fit fasteners progressively outward in opposing pairs to avoid gaps.

Silicone Sealants

Use only Neutral Cure, Alcohol free, Low Modulus Sealant (Silicone). Deks Industries have trialed the following silicone sealants and found them to provide a satisfactory seal between the EPDM and most commonly used roofing materials.

- OCI Roof and Gutter N-192, Silicone Sealant
- Selleys® Roof & Gutter Silicone Sealant
- Sikasil®-C Multipurpose Silicone Sealant
- Bostik Findley Roof & Gutter Silicone Sealant
- Dow Corning® 791 Silicone Weatherproofing Sealant



Dektite®

First and the Best!

HINT: When flashing a metal flue that has an exposed seam, using a neutral cure sealant, seal the seam from underside of cowl to the top of Dektite® cone.

Marlborough District Council
15 Seymour Street
Blenheim
PO Box 443
Marlborough 7240
New Zealand

Telephone 00 64 3 520 7400
Fax 00 64 3 520 7496
Email mdc@marlborough.govt.nz
Website www.marlborough.govt.nz



Building Consent - Vetting Form

REF220138889 - Solid Fuel Heaters and Log Fires (Residential Only)

Office Use Only

Vetting Form

Property No 150068
Title option selected I'm attaching a rates demand (log fires only)

Application Form (one copy required)

All applicable sections completed in full? Yes

Evidence of ownership has been supplied by one of the follow documents

- Certificate of Title (no older than 90 days)
- Rates demand (log fires only)
- Gazette Notice

Evidence of ownership supplied Yes

If the applicant is not the owner of the property one of the following documents has been supplied

- Current Lease Agreement
- Agreement for Sale and Purchase

Other evidence of ownership supplied N/A

Name, address and legal description on application form match those on Title and CI Yes

Floor Plan

- Location of this solid fuel appliance
- If wetback system included provide HWC location, piping valving and venting
- Location of smoke alarms

Floor plan accepted Yes

Comments

Specifications

- Manufactures specifications
- In towns and on small lots (less than 2 hectares) the appliance must comply with the air quality regulations
- Flue details
- Flashing details

- Second hand appliance must have a safety report from a Council approved person
- Complying smoke alarms

Specifications accepted

Yes

Comments

Typical Building Types

Residential 1 - Restrictions: Retaining walls Max Ht 1.8m and Jetties have producer statements for B1 design. Risk Score: Less than 7

Res1Options

- Solid Fuel Heaters and Log Fires

Accept Application

This application is accepted as the documentation provided is sufficient for processing

Yes

Consent Assessed Level

Processing

Res 1

Inspection

Res 1

Building Consent Category

Solid Fuel

Easting and Northing correct on application?

Yes

Easting

1648844.48

Northing

5435948.82

Notes

Admin: The mailing address for Trent differs from that on the rates demand - please follow up if required - thanks
Please see PN for Flue Specifications to be added to application - Thanks

Application Vetted By:

Janeen Wiffen

Date

01/02/2022

Fire Information

Type of Fire

- Solid Fuel Heater

Number of fires

1

Relates to

Existing Building

Is this replacing an existing fire

Unsure

7/01/1045

Image Quality
Due to
Quality of Original

RAI VALLEY CO-OP DAIRY FACTORY CO. LTD
RAI VALLEY

P.O. Box:—

[L.&D.—52

Telephone No:— 86079



DEPARTMENT OF JUSTICE

LAND REGISTRY OFFICE,

Blenheim

3 February 1982

DEAR SIR,—

PLAN No. 5816 being a ~~SIXTH PART~~ plan of Lots 1 and 2 being

subdivision of Lot 1 DP 1740

signed by Marlborough Cheese Co-operative Ltd as the owner

was deposited on 15.12.1981

Marlborough County Council

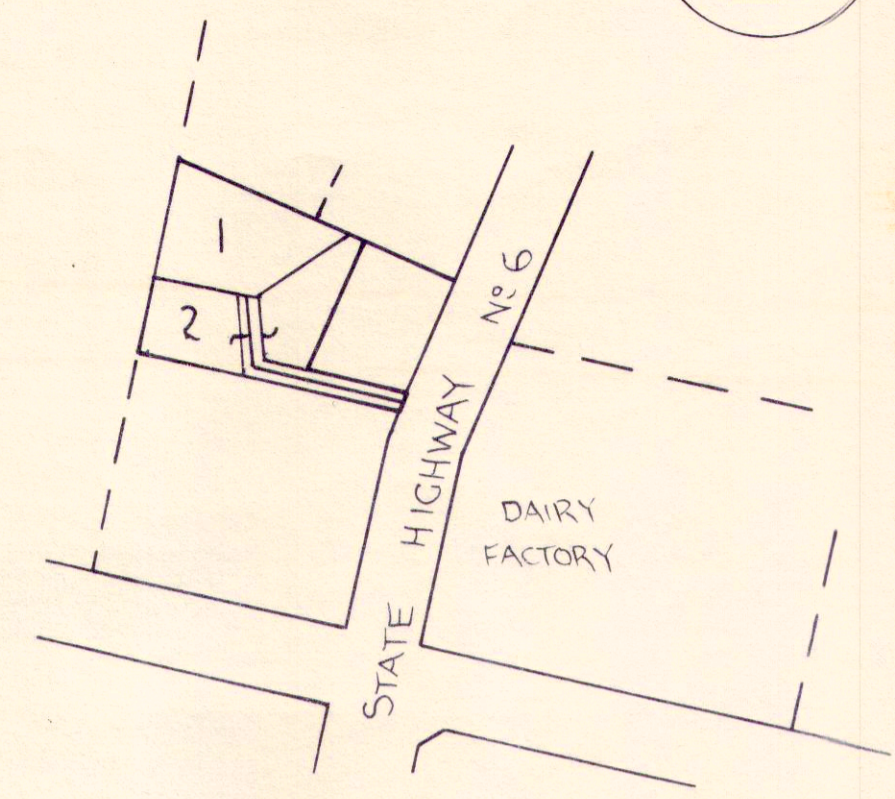
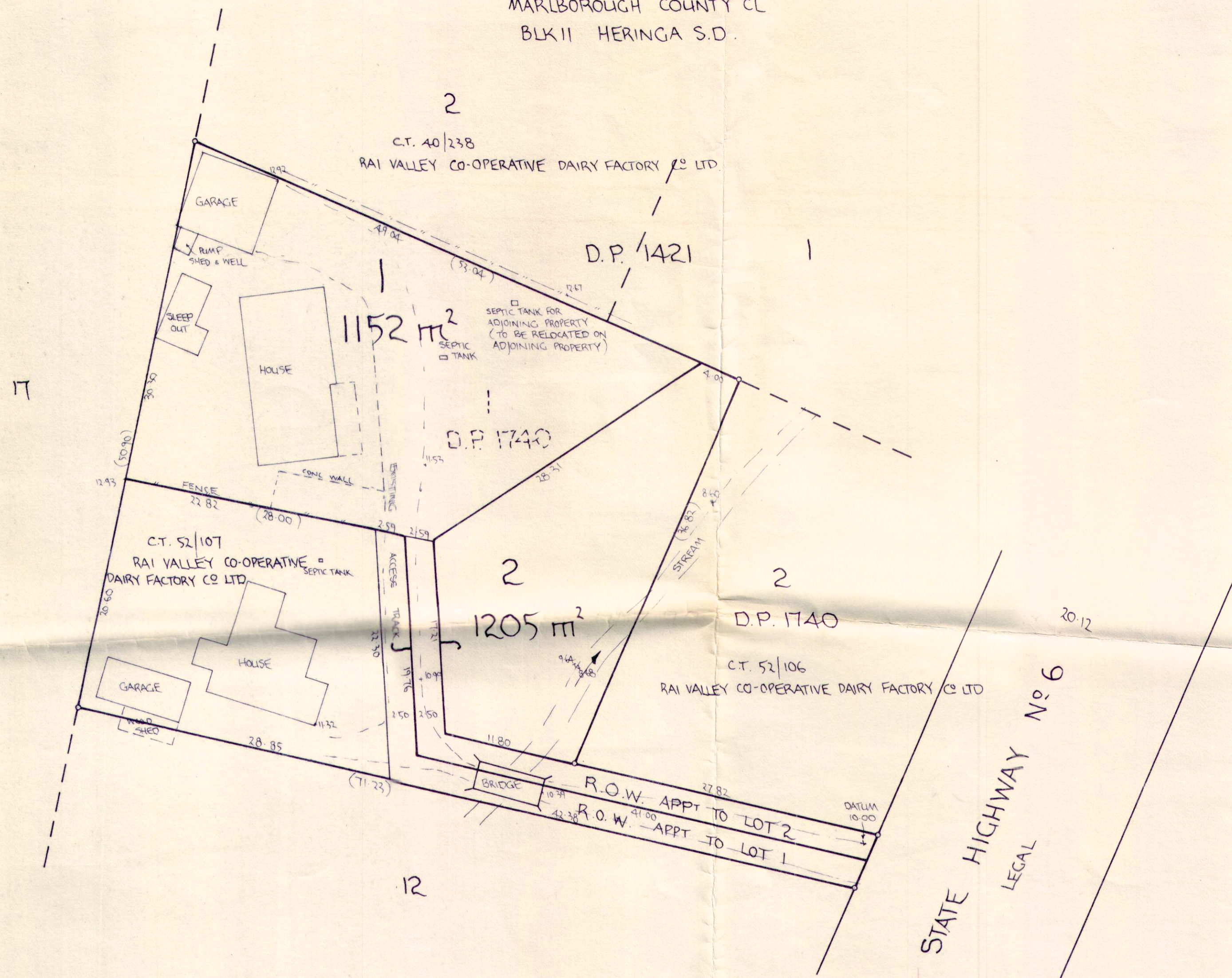
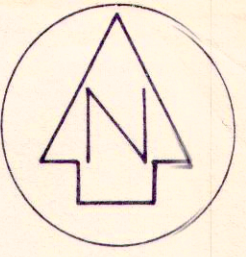
PO Box 19

BLenheim

Yours faithfully,

Asst. ~~DEPT~~ Land Registrar

MARLBOROUGH LAND DISTRICT
 MARLBOROUGH COUNTY CL
 BLK II HERINGA S.D.



LOCATION DIAGRAM
 SCALE 1:2000.

HEIGHTS SHOWN ARE IN TERMS OF AN ASSUMED DATUM AS SHOWN ON THE PLAN.

PROPOSED SUBDN OF LOT 1 D.P. 1740

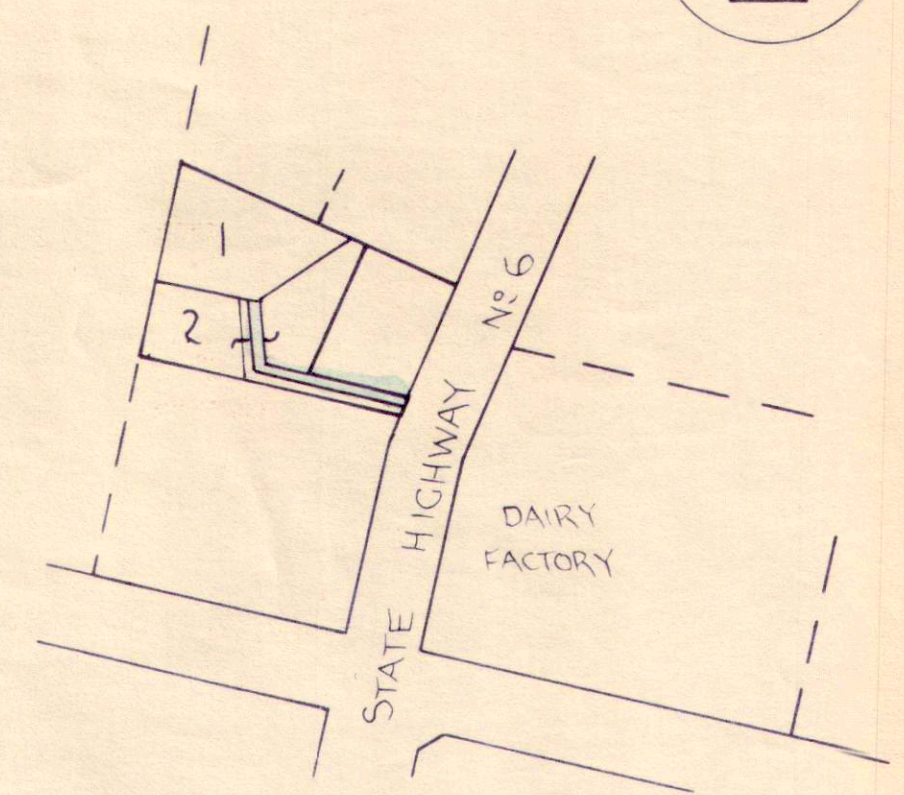
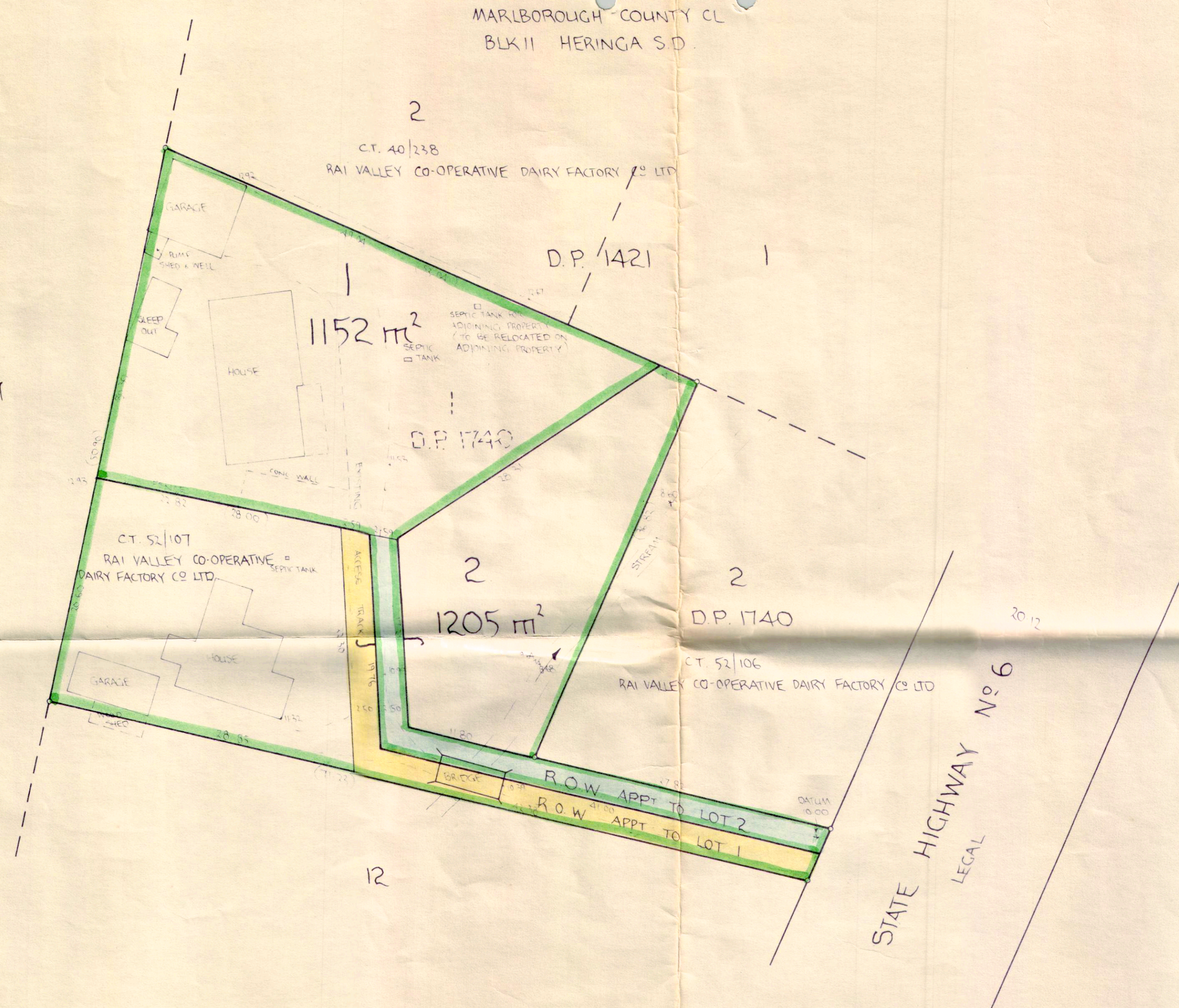
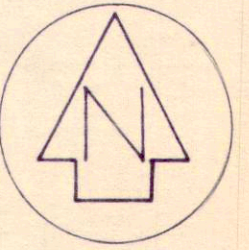
SCALE - 1:300

JUNE 1981

PREPARED BY GILBERT, MOORE & HAYMES, REG'D SURVEYORS, BLENHEIM

G.M. HAYMES
 REGISTERED SURVEYORS

MARLBOROUGH LAND DISTRICT
MARLBOROUGH COUNTY CL
BLK II HERINGA S.D.



LOCATION DIAGRAM
SCALE 1:2000

HEIGHTS SHOWN ARE IN TERMS OF AN ASSUMED DATUM AS SHOWN ON THE PLAN.

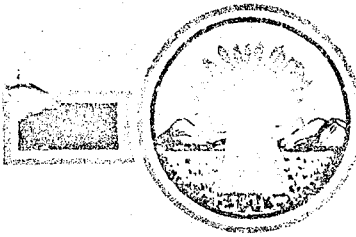
PROPOSED SUBDN OF LOT 1 D.P. 1740

SCALE - 1:300

JUNE 1981

PREPARED BY GILBERT, MOORE & HAYMES, REG'D SURVEYORS, BLENHEIM

G. M. HAYMES
REGISTERED SURVEYORS



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLLENHEIM, N.Z.

TELEPHONE 83-249

APQ:MAB
IN REPLY QUOTE REFERENCE 7/19/1045

FOR ENQUIRIES ASK FOR Mr Quirk

Copy sent to - Mr A. Tester,
Lands & Survey Department 20th November, 1981

Messrs Gascoigne, Wicks & Co,
Solicitors,
P.O. Box 2,
BLLENHEIM.

ATTENTION: Mr Hill

Dear Sirs,

Re: Marlborough Cheese Co-operative Limited
Blenheim

... I return the survey plan together with search copy of C.T. 52/107. The Lands and Survey Office (Allan Tester) indicated that the building line restriction had to be either re-imposed or cancelled.

Since this can only be done at the time of scheme plan approval, Council at its meeting held on 20th November (at great expense I might add), re-approved the scheme plan dealing with the building line restriction and then immediately re-approved the survey plan.

We must indicate that this is about the fifth occasion when Council has had to take this action and we have sent a letter to Surveyors reminding them of their obligation to note on the scheme plan any building line restriction since unless there is such note on the scheme plan Council has no way of knowing if such restriction exists.

In any event the reason for sending the plan back to you rather than direct to the Lands & Survey Department is that Council can only vary the conditions imposed by consent. We assume that such consent is forthcoming and if so no doubt you will immediately make the plan available to Mr Tester.

Should you have any query please contact this office.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

Encl.

MARLBOROUGH COUNTY COUNCIL

NOTICE OF RE-IMPOSITION OF BUILDING LINE RESTRICTION

NOTICE IS HEREBY GIVEN that Council at its meeting held on the 20th November 1981 resolved as follows :-

1. That Council pursuant to the provisions of Section 327(8) Local Government Act 1977 re-impose the building line restriction contained in document K4014 insofar as it affects the land in Lot 1, D.P. 1740 and contained in C.T. 52/107.
2. That notice of such re-imposition be sent to the District Land Registrar for amendment of his records.

R.C. Penington,
COUNTY MANAGER.



BLENHEIM BOROUGH COUNCIL

P.O. BOX 19

BLENHEIM, N.Z.

TELEPHONE 93-249

~~7/19/1046~~

IN REPLY QUOTE REFERENCE APQ:CAM 7/19/1045

FOR ENQUIRIES ASK FOR Mr Quirk

4th November, 1981.

Messrs Gascoigne, Wicks & Co.,
Barristers and Solicitors,
P.O. Box 2,
BLENHEIM.

Attn: Mr Hill

Dear Sir,

Re: Rai Valley Dairy - Subdivision

I refer to your letter of the 3rd November and on the basis of the undertakings given, enclose the two survey plans with Council's consent endorsed thereon.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

Encls.



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLENHEIM, N.Z.

TELEPHONE 83-249

APQ:MAB
IN REPLY QUOTE REFERENCE 7/19/1045

FOR ENQUIRIES ASK FOR Mr. Quirk

29th October, 1981

Messrs Gascoigne, Wicks & Co,
Solicitors,
P.O. Box 2,
BLENHEIM.

ATTENTION: Mr Hill

Dear Sirs,

Re: Marlborough Cheese Co-op - Rai Valley
Subdivision of C.T. 52/107

I refer to my letter of even date concerning scheme plan 7/19/1046 and await your undertaking concerning the reserve fund contribution assessed on this particular plan - the formal consents have been signed and the plan is ready for release once that undertaking is received.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

GASCOIGNE, WICKS & CO.

BRANCH OFFICES, PICTON AND KAIKOURA VISITED WEEKLY

BARRISTERS & SOLICITORS

TELEPHONE (057) 84-229
(5 lines)

P.O. BOX 2

PARTNERS

RICHARD DOUGLAS ROUT, LL.B.
DONALD CHARLES HOLDEN, LL.B.
RICHARD NORMAN WILKES, LL.B.
RONALD DAVID CROSBY, LL.B. (Hons)
ANTHONY JOHN HILL, LL.B.

PC

Refer to — Mr <u>HILL</u>

**77 HIGH STREET
BLLENHEIM, N.Z.**

3 November 1981

ASSOCIATE

JOHN GEOFFREY MALTHUS, LL.B.

The County Secretary
Marlborough County Council
P.O. Box 19
BLLENHEIM

Attention: Mr Quirk

Dear Sir,

re: RAI VALLEY DAIRY CO SUBDIVISIONS

Thank you for your letter of 29th October. We unconditionally undertake to pay the reserve fund contribution assessed on both subdivisions within one month of the consent plan being released to us. We should be pleased if you would forward to us both consents as soon as possible.

Yours faithfully
GASCOIGNE, WICKS & CO

7/19/1045
7/19/1046



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLLENHEIM, N.Z.

TELEPHONE 83-249

APQ:MAB

7/19/1045

IN REPLY QUOTE REFERENCE

~~7/19/1046~~

FOR ENQUIRIES ASK FOR

Mr Quirk

15th October, 1981

Messrs Gascoigne, Wicks & Co,
Barristers & Solicitors,
P.O. Box 2,
BLLENHEIM.

ATTENTION: Mr Hill

Dear Sirs,

Re: Rai Valley - Marlborough
Cheese Co-operative Limited

I refer to your letter of the 6th October relating to the above plan and advise that the same problem outlined on another scheme plan about the form of undertaking would apply in these particular cases. You will recall that the writer was reluctant to accept the form of undertaking as suggested because control of timing was taken out of the hands of Council and it did leave payment somewhat open ended.

For this reason a fixed term for payment of the contribution would be needed and I should be pleased to have your comments as to whether Council in the event of a fixed term payment should accept an undertaking or require a bond in terms of Section 288(1) Local Government Act 1974. Might I indicate that Council Officers are flexible as between an undertaking/bond.

I also refer to earlier queries concerning the terms of approval to be endorsed on the plan - is the bond completed by you to be a bond for which a completion certificate will be registered?

I look forward to hearing from you.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

*See earlier
correspondence
from Gascoigne
Wicks
re: 7/17/1046*



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLENHEIM, N.Z.

TELEPHONE 83-249

IN REPLY QUOTE REFERENCE APQ:CAM 7/19/1045

FOR ENQUIRIES ASK FOR Mr Quirk

8th October, 1981.

Messrs Gascoigne, Wicks & Co.,
Barristers and Solicitors,
P.O. Box 2,
BLENHEIM.

Attn: Mr Hill

Dear Sir,

Re: Rai Valley Dairy Co. Ltd - Lot 1,
D.P. 1740

... I enclose a copy of a letter sent to Messrs Gilbert,
Moore & Haymes advising of the reserve fund contribution for
this subdivision.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

Encl.



P.O. BOX 19

BLLENHEIM, N.Z.

TELEPHONE 83-249

MARLBOROUGH COUNTY COUNCIL

IN REPLY QUOTE REFERENCE APQ:CAM 7/19/1045

FOR ENQUIRIES ASK FOR Mr Quirk

19th August, 1981.

Messrs Gilbert, Moore & Haymes,
Registered Surveyors,
P.O. Box 380
BLLENHEIM.

Attn: Mr Haymes

Dear Sir,

Re: Scheme Plan of Subdivision - Rai Valley
Dairy Co. Limited (Lot 1
D.P. 1740)

Further to our letter of 4th August I advise that a value of \$3,500 has been put on lot 2 and the reserve contribution is therefore assessed at \$262.50.

I look forward to receipt of the survey plan together with payment of the contribution assessed, plus \$5.00 being the sealing fee payable.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.



VALUATION DEPARTMENT

OUR REF.: Valn. No. 20280/181,
YOUR REF.: APQ:MAB 7/19/1045

INQUIRIES TO:

POST OFFICE BUILDING,
MAIN STREET,
BLENHEIM.

P.O. Box 292 Ph. 6079 STD. 57.

Address all correspondence
to District Valuer.

14th August 1981.

The County Clerk,
Marlborough County Council,
P.O. Box 19,
BLENHEIM.

RECEIVED
17 AUG 1981
M. S. RAUGH
COUNTY COUNCIL

Dear Sir,

re: Subdivision - Rai Valley Dairy
Company Limited.

Thank you for your letter of 4.8.81 which was referred to Senior Valuer A. Dodd.

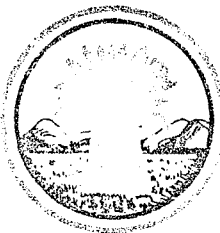
Mr. Dodd did not make a physical inspection of the property for this special, using his office records which were updated when the revaluation inspection was made in 1979.

Lot 1 - \$4000
Lot 2 - \$3500
\$7500

* ⁷²
\$262.50

An account will be forwarded in due course.

Yours faithfully,
G.F. Heald.
Dist. Valuer (Snr).
J.A. Vance.
Per: J.A. Vance.



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLenheim, N.Z.

TELEPHONE 83-249

APQ:MAB
IN REPLY QUOTE REFERENCE 7/19/1045

FOR ENQUIRIES ASK FOR Mr Quirk

4th August, 1981

The District Valuer,
Valuation Department,
P.O. Box 292,
BLenheim.

Dear Sir,

Re: Subdivision - Rai Valley Dairy Company Limited

... I attach a scheme plan of subdivision of lot 1 D.P. 1740 and should be pleased if you would let us have a valuation of both lots for the purpose of assessing reserve fund contribution.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

Encl.



MARLBOROUGH COUNTY COUNCIL

P.O. BOX 19

BLenheim, N.Z.

TELEPHONE 83-249

APQ:MAB

IN REPLY QUOTE REFERENCE 7/19/1045 Min A2489

FOR ENQUIRIES ASK FOR Mr Quirk

4th August, 1981

Messrs Gilbert, Moore & Haymes,
Registered Surveyors,
P.O. Box 380,
BLenheim.

ATTENTION: Mr Haymes

Dear Sirs,

Re: Scheme Plan of Subdivision
Rai Valley Dairy Co Limited

Council at its meeting held on the 31st July 1981 considered a scheme plan of subdivision of lot 1 D.P. 1740 and resolved that such plan be approved pursuant to Section 279 of the Local Government Act 1974 subject to payment of a reserve fund contribution.

A copy of the plan has been made available to the Valuation Department for a valuation for the purpose of assessing such contribution.

Yours faithfully,

A.P. Quirk,
COUNTY SECRETARY.

MARLBOROUGH COUNTY COUNCIL

- 1.0 Applicant
Rai Valley Dairy Company Limited
- 2.0 Location
Rai Valley township being presently lot 1, D.P. 1740.
- 3.0 District Scheme
The property is located in a Residential A zone. The proposed lot sizes exclusive of R.O.W. meets the minimum requirement of 1000 square metres. Being presently occupied by two dwellings there will be no increase in traffic or other nuisance either to adjoining neighbours or in access onto Highway 63. It is an existing use subdivision and will not change the character of the area.
- 4.0 Site Inspection
The property was inspected on the 7th July 1981 by Ctrs Dick and Hammond and Messrs Penington, Olliver and Morris.
- 5.0 Description of Site
The site is a developed residential property with two houses presently owned by the Dairy Company. The topography is modest slope and should pose no stability problems, the stream bisecting the property does not appear to pose any threat of flooding to the houses.
- 6.0 Proposal
The proposal is that in subdividing the property the individual houses can be offered for sale.
- 7.0 Engineering Aspects
The properties are presently served by a private lane discharging onto State Highway 63 and will involve no consequent streetworks.
- 8.0 Objections
No comments were made by the Ministry of Works and Development or Catchment Board.
- 9.0 Health Aspects
The dwellings are presently served by septic tanks and soakage fields, however, the service to lot 2 is not detailed.
- 10.0 Evaluation
The arrangement at present is a functioning residential development without the legal benefit of individual titles and apart from that differs in no respect from other residential properties.
- 11.0 Recommendation
That the subdivision be approved subject to payment of a reserve fund contribution.

W.J.D. Olliver,
EXECUTIVE OFFICER.



**Ministry of Works
and Development**

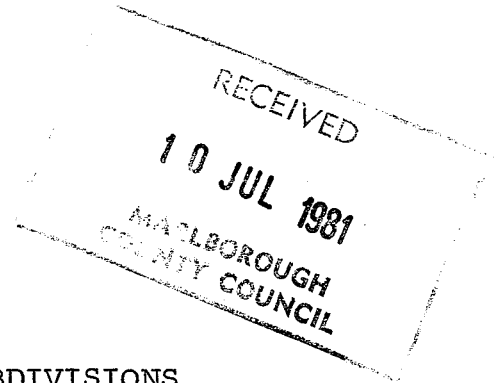
District Office Sydney St. West
Private Bag, Wellington
Telephone 723 070 Telex NZ 30089

Inquiries to

Date 8 July 1981

Ref TP 16

The County Clerk
Marlborough County Council
PO Box 19
BLENHEIM



Dear Sir

LOCAL GOVERNMENT AMENDMENT ACT 1978
COMMENTS ON SCHEME PLANS OF PROPOSED SUBDIVISIONS

I refer to your letter of 10 June, 1981 and 17 June, 1981 enclosing scheme plans Nos 7/19/1041 and 7/19/1045 of proposed subdivisions by Mr P C Murray and Rai Valley Dairy Factory Co Limited respectively.

This department has no comment to make regarding either of these proposals.

Yours faithfully

A McG Peart
District Commissioner of Works

per

(V R Russell)

File:
Acknowledged No.
For Action by WJDO
For Report by
For information of
.....
.....
Refer to Committee

MARLBOROUGH

CATCHMENT BOARD & REGIONAL WATER BOARD

31 Parker Street,
Blenheim.
Telephone 89-099.

P.O. Box 204,
Blenheim,
New Zealand.

26th June, 1981.

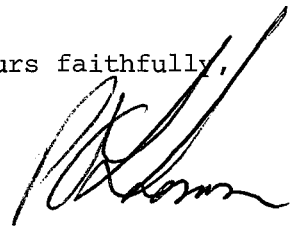
The Land Planning Officer,
Marlborough County Council,
P.O. Box 19,
BLenheim.

Dear Sir,

RE : SCHEME PLAN 7/19/1045 - RAI VALLEY DAIRY FACTORY CO. LTD

I wish to advise that I have no comment regarding the above situation.

Yours faithfully,



P.A. THOMSON,
CHIEF EXECUTIVE OFFICER,
~~CHIEF ENGINEER.~~

RMF:DKW

RECEIVED
26 JUN 1981
MARLBOROUGH
COUNTY COUNCIL

File:
Acknowledged Ho.
For Action by <u>WJD</u>
For Report by
For information of
.....
.....
Refer to Committee

MARLBOROUGH COUNTY COUNCIL

P.O. Box 19,
Blenheim.
Telephone 33248 Ext. 79.

17 June, 1981

The Works Engineer,

M. C. C.

Dear Sir,

Re: SCHEME PLAN No. 7/19/1045.

Attached hereto for your comments please find a copy of the above scheme plan which provides for a subdivision at Rai Valley.

Your comments are requested by 15/07/81.

Yours faithfully,


LAND PLANNING OFFICER.

GILBERT, MOORE & HAYMES
REGISTERED SURVEYORS, TOWN PLANNING CONSULTANTS

J. M. GILBERT, M.N.Z.I.S.
R. W. MOORE, M.N.Z.I.S.
G. M. HAYMES, DIP. SURV., M.N.Z.I.S.

Telephone 87-984
P.O. Box 380
2 Kinross Street
Blenheim

12th June, 1981.

The County Clerk,
Marlborough County Council,
P.O. Box 19,
BLenheim.

Appl 10/81

Dear Sir,

RE: PROPOSED SUBDIVISION OF LOT 1 D.P. 1740
C.T. 52/107 - THE RAI VALLEY DAIRY FACTORY CO. LIMITED

Enclosed are three copies of the Scheme Plan of subdivision of the above property for your consideration and approval.

The purpose of the subdivision is to enable the Rai Valley Dairy Factory Co. Limited to dispose of their residential properties now that the factory has closed down.

The Rights of Way follow the existing access track to the properties.

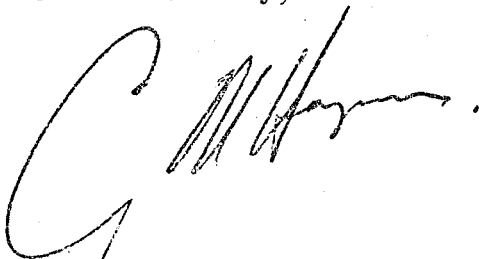
At present the water supply to Lots 1 and 2 and also Lot 2 D.P. 1421 come from the pump and well located on Lot 1. Lot 2 D.P. 1421 and Lot 2 are to be discontinued from this supply and individual wells located on each lot.

Lots 1 and 2 have septic tanks located on each lot. The septic tank for Lot 2 D.P. 1421 located on Lot 1 is to be relocated on lot 2 D.P. 1421.

The land is zoned Residential on the proposed district scheme.

The perusal fee account is to be forwarded to us for payment.

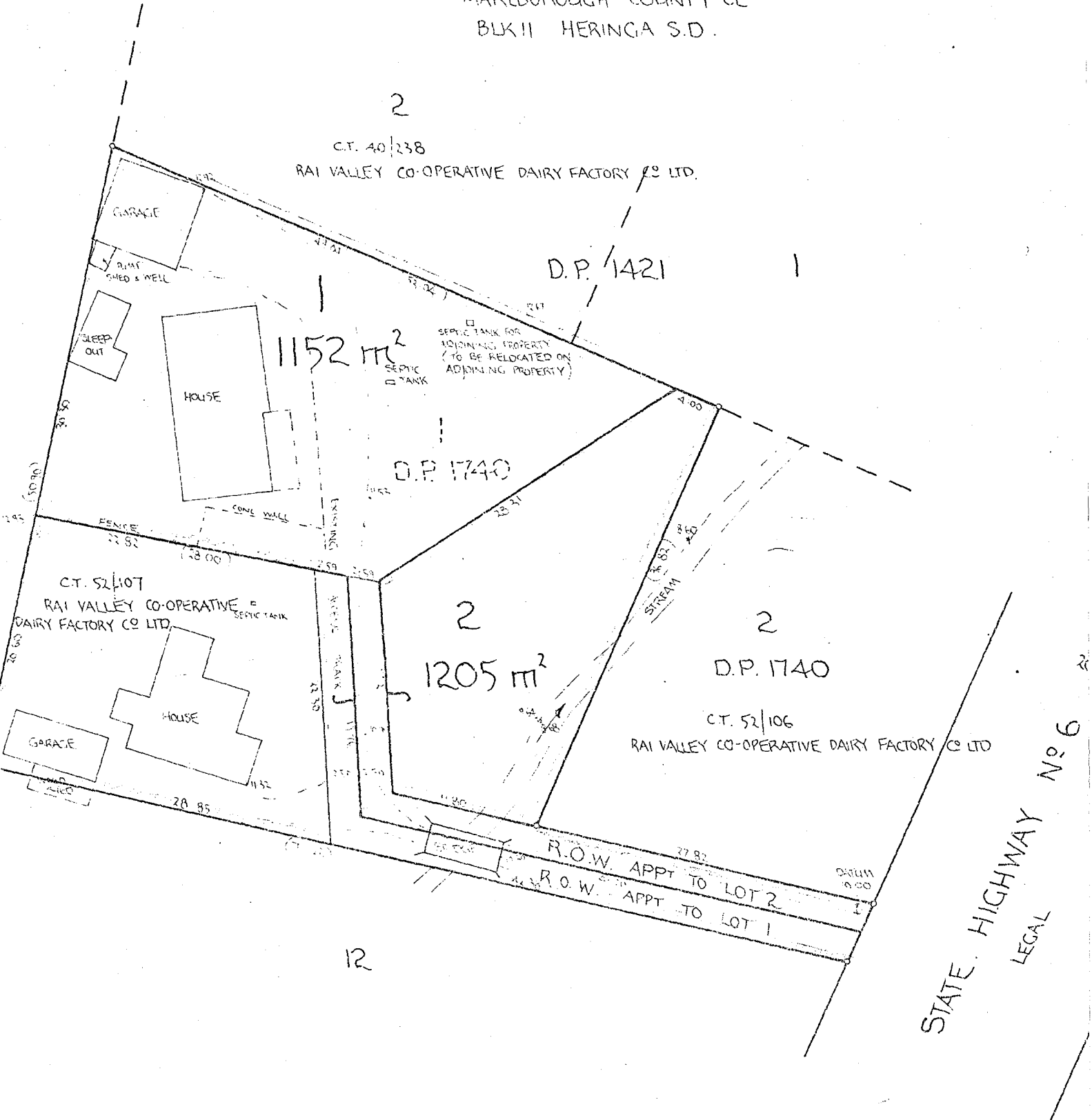
Yours faithfully,



G.M. HAYMES

GILBERT MOORE & HAYMES

MARLBOROUGH LAND DISTRICT
 MARLBOROUGH COUNTY CL
 BLK II HERINGA S.D.



PROPOSED SUBDN OF LOT 1 D.P. 1740

SCALE - 1:300

JUNE 1981

PREPARED BY GILBERT, MOORE & HAYMES, REG'D SURVEYORS, BLENHEIM

GILBERT, MOORE & HAYMES
REGISTERED SURVEYORS, TOWN PLANNING CONSULTANTS

J. M. GILBERT, M.N.Z.I.S.
R. W. MOORE, M.N.Z.I.S.
G. M. HAYMES, DIP. SURV., M.N.Z.I.S.

Telephone 87-984
P.O. Box 380
2 Kinross Street
Blenheim

12th June, 1981.

The County Clerk,
Marlborough County Council,
P.O. Box 19,
BLenheim.

Appn 1045

Dear Sir,

RE: PROPOSED SUBDIVISION OF LOT 1 D.P. 1740
C.T. 52/107 - THE RAI VALLEY DAIRY FACTORY CO. LIMITED

Enclosed are three copies of the Scheme Plan of subdivision of the above property for your consideration and approval.

The purpose of the subdivision is to enable the Rai Valley Dairy Factory Co. Limited to dispose of their residential properties now that the factory has closed down.

The Rights of Way follow the existing access track to the properties.

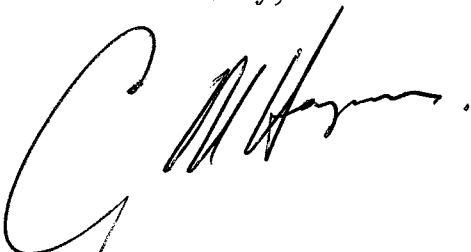
At present the water supply to Lots 1 and 2 and also Lot 2 D.P. 1421 come from the pump and well located on Lot 1. Lot 2 D.P. 1421 and Lot 2 are to be discontinued from this supply and individual wells located on each lot.

Lots 1 and 2 have septic tanks located on each lot. The septic tank for Lot 2 D.P. 1421 located on Lot 1 is to be relocated on lot 2 D.P. 1421.

The land is zoned Residential on the proposed district scheme.

The perusal fee account is to be forwarded to us for payment.

Yours faithfully,



G.M. HAYMES

GILBERT MOORE & HAYMES

MARLBOROUGH COUNTY COUNCIL

P.O. Box 19,
Blenheim.
Telephone 33248 Ext. 79.

17 June, 1981

The District Commissioner of Works,
Ministry of Works + Development,
Private Bag Wellington.

Dear Sir,

Re: SCHEME PLAN No. 7/19/1045.

Attached hereto for your comments please find a copy of the above scheme
plan which provides for a subdivision at Rai Valley

Your comments are requested.

Yours faithfully,

Spurlett

LAND PLANNING OFFICER.

MARLBOROUGH COUNTY COUNCIL

P.O. Box 19,
Blenheim.
Telephone 33248 Ext. 79.

17 June, 1981.

The District Officer,
Ministry of Works + Development,
P.O. Box 132, Blenheim.

Dear Sir,

Re: SCHEME PLAN No. 7/19/1045.

Attached hereto for your comments please find a copy of the above scheme
plan which provides for a subdivision at Rai Valley

Your comments are requested.

Yours faithfully,

Spurlett

LAND PLANNING OFFICER.

MARLBOROUGH COUNTY COUNCIL

P.O. Box 19,
Blenheim.
Telephone 33248 Ext. 79.

17 June, 1981.

The Chief Executive Officer,
Local Catchment Board,
P.O. Box 204, Blenheim.

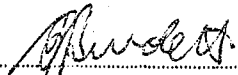
Dear Sir,

Re: SCHEME PLAN No. 7/19/1045

Attached hereto for your comments please find a copy of the above scheme
plan which provides for a subdivision at Rai Valley

Your comments are requested by 15/07/81.

Yours faithfully,



LAND PLANNING OFFICER.

MARLBOROUGH COUNTY COUNCIL

P.O. Box 19,
Blenheim.
Telephone 33248 Ext. 79.

17 June, 1981

The Works Engineer,
M.C.C.

Dear Sir,

Re: SCHEME PLAN No. 7/19/1045.

Attached hereto for your comments please find a copy of the above scheme
plan which provides for a subdivision at Rai Valley

Your comments are requested by 15/07/81.

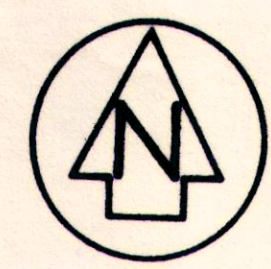
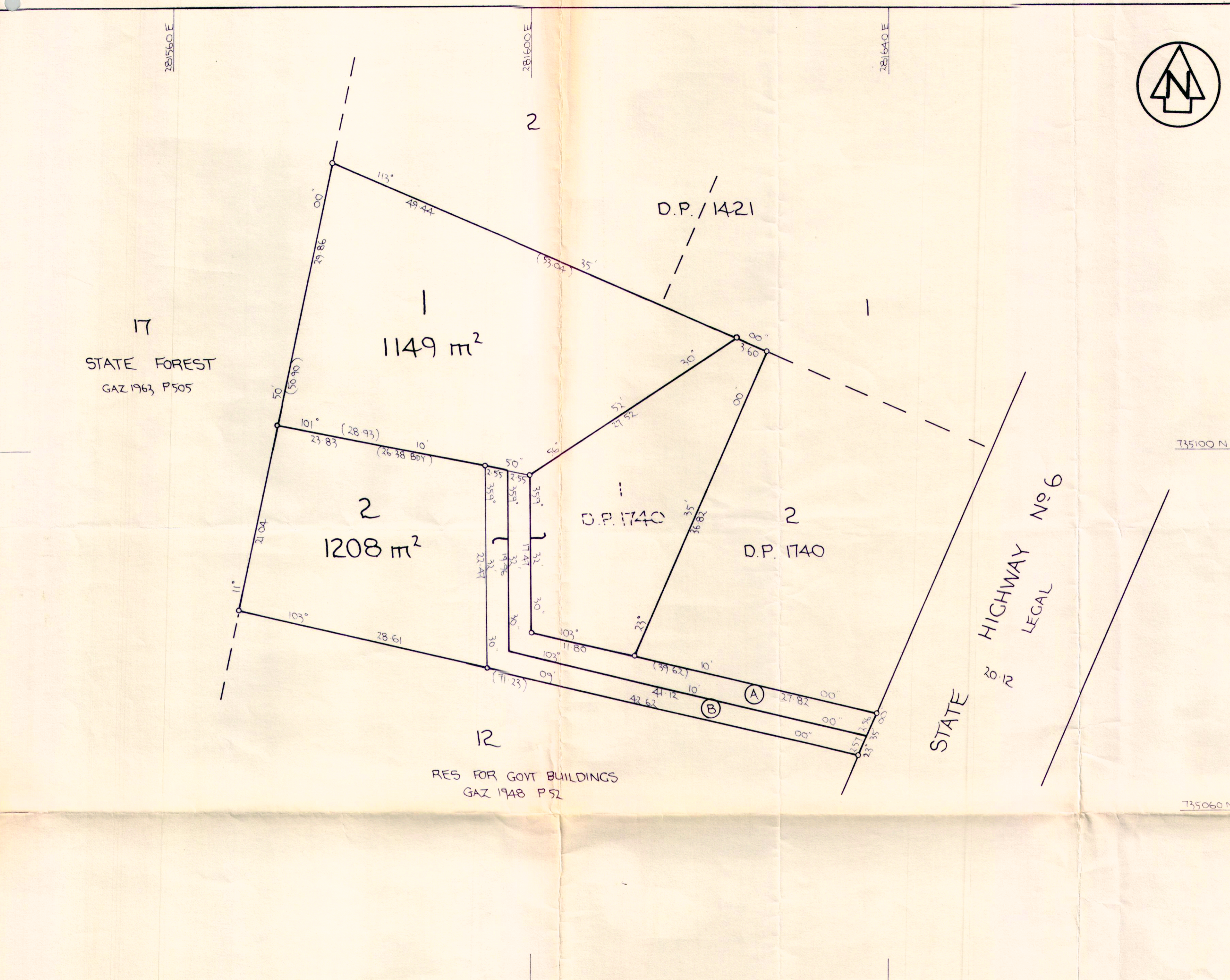
Yours faithfully,



LAND PLANNING OFFICER.

7/19/1045

County



Approvals
APPROVED

THE COMMON SEAL OF MARLBOROUGH
CHEESE CO-OPERATIVE LTD.
REGISTERED OWNER

MEMORANDUM OF EASEMENTS

SHOWN	PURPOSE	SERV TEN	DOM TEN
A	R.O.W.	LOT 1	LOT 2
B	R.O.W.	LOT 2	LOT 1

FOR MARLBOROUGH COUNTY CL CONSENT
SEE DOC

Total Area 2357 m²

Comprised in CT 52/107 MARLBOROUGH
CHEESE CO-OPERATIVE LTD

GRAEME McNICOL HAYMES of BLENHEIM
Registered Surveyor and holder of an annual practising certificate
hereby certify that this plan has been made from Surveys executed
by me or under my direction; that both plan and Survey are correct
and have been made in accordance with the regulations under the
Surveyors Act 1966

Dated at BLENHEIM this 2ND day
of OCTOBER 1981 Signature *G. Moore*

Field Book p. Traverse Book p.

Reference Plans

Examined Correct

Approved as to Survey

Chief Surveyor

Deposited this day of 19

District Land Registrar

File Received Instructions

LAND DISTRICT MARLBOROUGH
SURVEY BLK. & DIST. 11 HERINGA
NZMS 261 SHEET NO. 027

PLAN OF LOTS 1 & 2 BEING SUBDN OF
LOT 1 D.P. 1740

LOCAL AUTHORITY MARLBOROUGH COUNTY CL
Surveyed by GILBERT, MOORE & HAYMES
Scale 1:300 Date SEPT 1981

File Note



File Reference 150068

Date 28-7-99

From Ken Curtin

Subject ... Septic Tank

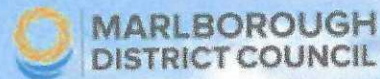
I was informed by phone in April of this year by a prospective purchaser that the septic tank for property 150025, being Lot 2, DP 1421, Rai Valley may be installed on this property, being Lot 1, DP 5816. This matter has not been investigated any further

KA Curt

BC220065

Tax Invoice / Credit Note / Debit Note

GST Number 50-430-960



Paula Maree Jones &
Trent Lennard McCormick
PO Box 7
Rai Valley 7145



Rating Period:
1 July 2021 to
30 June 2022

Instalment 1.
\$189.50
Due: 08 Sep 2021

Instalment 2.
\$189.50
Due: 08 Dec 2021

Instalment 3.
\$189.50
Due : 08 Mar 2022

Instalment 4.
\$189.40
Due: 08 Jun 2022

Total rates
assessed
2021/2022
(including GST)
\$757.90

Your Details

Property number: 150068	Date: 1-Nov-2021	Valuation number: 20280 18100
Land value (LV): 79,000	Capital value (CV): 285,000	
Legal description: LOT 1 DP 5816 BLK II HERINGA SD		
Property location: 6799 SH 6 Rai .		

Your Summary

Balance at last instalment:	\$189.50
Penalties:	\$0.00
Payments made by 18/10/2021 (includes rebates):	\$-185.88
Total instalment 2 of 4 (GST inclusive):	\$189.50
Total Owing:	\$193.12
This invoice includes GST of:	\$24.72

To receive all your MDC rates invoices by email

Type the following address into your browser www.bit.ly/MDCRateEmail Alternatively go to "Rates Email" Link on the rates pages of the council's website www.marlborough.govt.nz
Your unique identifier is: **CVWQ-CTPS**

Penalty of 0.00 will be added if rates are not paid on or before 8/12/2021

Payment required to clear all your rates: \$572.02

As you pay by direct debit, this invoice is for your records only.

COPY ONLY

Property number:150068

As you pay by direct debit, this invoice is for your records only.

Marlborough District Council: 15 Seymour Street, PO Box 443, Blenheim 7240, New Zealand

Marlborough District Council

Date Received: 31/1/2022



Building Consent Number

BC220065

Description of work

Solid Fuel Heater

Solid Fuel Heater Prompt Sheet

Solid Fuel Heater Prompt Sheet

Is the solid fuel heater prompt sheet required? Yes

Is the fire part of other work, or only for a fire application? Solid Fuel Heater application only

F1. Application

F1.1 Application checklist Completed

Means of Compliance

- Application Checklist checked and complete

Further information required?

- No

Notes

Checked at Vetting. Completed in full. Applicant is using the Acceptable solutions as a means of compliance.

F2. Property

F2.1 Two + allotments: S75 or amalgamation

Means of compliance

- Building work does not cross boundaries

Further information required?

- No

Notes

Work within existing Dwelling. Checked Local Maps. Does not cross the boundary.

2.2 Building on land subject to Hazards on site/S71

Means of compliance

- Building work not subject to Hazards as per Section 71 of the Building Act

Further information required?

- No

Notes

Work within existing Building. Proposed works are not affected by a hazard. Checked against "Local Maps".

2.3 Check property and resource consent files for relevant matters

Means of compliance

- Checked property packet. No matters cited in property packet that will affect this application

Further information required?

- No

Notes

Property file checked in CM. No issues found that will affect this consent. There is no information on file about the existing dwelling.

F3. Building Act

F3.1 Section 112 - Alteration to existing building

Means of compliance

- Section 112 (1)
 - (a) the building will comply, as nearly as is reasonably practicable, with the provisions of the building code that relate to-
 - (i) Means of escape from fire; and
 - (ii) Access and facilities for persons with disabilities (if this is requirement of section 118; and
 - (b) the building will
 - (i) if it complied with the other provisions of the building code immediately before the building work began, continue to comply with those provisions; or
 - (ii) if it did not comply with the other provisions of the building code immediately before the building work began, continue to comply at least to the same extent as it did then comply

Further information required?

Notes

- No
- Sec 112 - Means of escape addressed by showing smoke alarms in position on escape route.

F3.2 Section 115 Change of Use

Means of compliance

Further information required?

Notes

- No Change of use
 - No
- The building remains SH.

F4. Warning System (F7)

F4.1 Type 1 Smoke alarms locations complying with 3.2

Means of Compliance

Further information required?

Notes

- Complies with 3.0 of F7/AS1
 - No
- Smoke alarms identified on floor plan. Compliance with Type 1 alarm, NZ standards checked at final inspection.

Completion Notes

F5. Solid Fuel Heaters

F5.1 Make, Model and specifications provided?

Solid Fuel Heater Details - to identify solid fuel heater being assessed (for multiple solid fuel heaters)

Means of Compliance

Further information required?

Notes

New Log fire to Lounge

- Complies with AS/NZS2918:2001
 - No
- Jayline FR300 - The appliances manufacturer's specifications provided with application. Specifications confirm compliance with AS/NZS2918.

F5.2 Meets Clean Air Requirements and district plan rules

Means of Compliance

Further information required?

Notes

- Complies with MFE authorised wood burners list
 - No
- Appliance checked against ECAN's list of authorised wood burners. Authorisation number is: 173527

F5.3 Location in building

Means of Compliance

Further information required?

Notes

- Floor plan provided
- No

Floor plan Provide with application. Fire to be installed in the lounge.

F5.4 Flue type and details

Means of Compliance

Further information required?

Notes

- Complies with AS/NZS2918:2001
- No

Free standing MKII Flue kit -
Flue specifications provided – Specifications confirm compliance with AS/NZS2918.

F5.5 Number, height and length of escape routes

Means of Compliance

Further information required?

Notes

- Complies with 3.2, 3.3 and 3.4 C/AS1
- No

All smoke alarms identified on the floor plan provided.
Escape routes shown. Compliance shown.

F5.6 Smoke alarm and location

F46Smoke Alarm And Location Compliance

RFIF46Smoke Alarm And Location

Notes F46Smoke Alarm And Location

Wetback (G12)

Does the project include a wetback?

No

Secondhand Fire (B2)

Is the project for a secondhand fire?

No

Value of work from application form \$

5000.00

Value of work Check

Complies

Decision of Fire Prompt Sheet

Council is satisfied on reasonable grounds that the provisions of the building code will be met if the building work is properly completed in accordance with the plans and specifications mark as approved for this building consent application

Processing completed By:

Bill East

Date

03/02/2022

BC220065

Marlborough District Council
15 Seymour Street
Blenheim 7201
PO Box 443
New Zealand

Telephone 00 64 3 520 7400
Fascimile 00 64 3 520 7496
Email mdc@marlborough.govt.nz
Website www.marlborough.govt.nz
GST No. 50-430-960



**MARLBOROUGH
DISTRICT COUNCIL**

Solid Fuel Heaters and Log Fires (Residential Only) Form 2

Reference Number:	REF220138889
Submitted On:	31/01/2022 16:26
Applicant:	Heating Marlborough 2018 Limited
Applicant email:	office@heatingmarlborough.co.nz

Property Selection

Property ID	150068
Address	6799 SH 6 Rai .
Legal Description	LOT 1 DP 5816 BLK II HERINGA SD
Location	Map
Assessment Number	Not answered

Application

Application Info	Building Consent
National Multi-Use Approval	No
Accept TandC	Yes

[See Marlborough District Council's terms and conditions of use](#)

[See fees for Building Consents and related matters](#)

Building Details

Current, lawfully established use:	Detached Dwellings
Year first constructed	Mixed/Remod
Please indicate the Easting and Northing coordinates. To find the coordinates for this application go to map	
Easting coordinate (X)	1648844.48
Northing coordinate (Y)	5435948.82

Owner/Agent

Marlborough District Council
Date Received: 31/1/2022

BC220065

Please note that as the person logged into Council's online application system completing this form, you will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all related email correspondence.

Privacy Statement

The owner is	an individual
Full First name	Paula Maree
Last name	Jones
Mailing address	PO Box 7, Rai Valley 7145
Street address/registered office	Not answered
Contact Phone number	Mobile
Phone number	0224977065
Email address	trentpaulanz@gmail.com
Confirm email address	trentpaulanz@gmail.com
The owner is	an individual
Full First name	Trent Lennard
Last name	McCormick
Mailing address	PO Box 7, Rai Valley 7145
Street address/registered office	Not answered
Contact Phone number	N/A
Email address	info@heatingmarlborough.co.nz
Confirm email address	info@heatingmarlborough.co.nz
Does the proof of ownership documentation show the owner above as the current owner?	Yes
Choose Record of Title option	I'm attaching a rates demand (log fires only)
Is there an agent working on behalf of the applicant?	Yes
The agent is:	a company
Name of Company	Heating Marlborough
Contact person	Brad Miller
Mailing Address	55 Grove Road, Mayfield, Blenheim 7201
Street address/registered office	
Contact Phone Number	Work
Phone number	035785950
Email address	office@heatingmarlborough.co.nz
Confirm email address	office@heatingmarlborough.co.nz
I confirm that I am authorised to submit this application on behalf of the owner	Yes
The person specified below will be responsible for all fees associated with this application.	
In ticking this box I agree that I will pay, or arrange payment, of all fees and associated charges payable in respect of this application. I acknowledge that a cancellation fee may be payable if this application is withdrawn before it is issued	Yes
Note: Additional administration charges may be incurred for any changes to the fee payer once the building consent is issued.	
Please specify the billing details (fee payer) for this application	Agent
Billing Email Address	office@heatingmarlborough.co.nz
Purchase Order number (if applicable)	Not answered

Marlborough District Council
Date Received: 31/1/2022

Project Details

Description of work	Solid Fuel Heater
Further details of the project	Log Fire Installation
The value of work is the estimated value, in relation to building work - this means the estimated aggregate of the consideration, determined in accordance with section 10 of the Goods and Services Tax Act 1985, of all good and services to be supplied for the building work. The value may not equal the contract price for the building work.	
Estimated value (\$) of the building work which the building levy will be calculated (including GST)	5000.00
Type	•Freestanding
Make of appliance	Jayline
Model of appliance	FR300
New or secondhand?	New appliance

Other Contacts

Will the building work include any restricted work?	No
Is there a design company or designer involved in this project?	No
Please specify the details of the building practitioners if known at the time of application.	
Are there any other Practitioners for this application	No

Building Code

You are required to indicate what code clause(s) applies to the project. Unless otherwise noted below, your application will be assessed under Acceptable Solutions. If you are using other means of compliance, please provide the details of the standard(s) that your building work complies with and the means of compliance in the space provided.

For further information on the below Building code clauses please visit the following website address: <http://www.building.govt.nz/>

If you do not provide all the necessary information to support your application, it may be returned unprocessed.

I understand that this application will be assessed against Acceptable Solutions unless I state otherwise below Yes

Where any project includes an alternative solution, waiver or modification request to the NZ Building Code then full details will be required.

B1 Structure	N/A
B2 Durability	Yes
C1-C6 Fire Safety Classes	Yes
E2 External Moisture	Yes
F7 Warning Systems	Yes
G11 Gas as an Energy Source	N/A
G12 Water Supplies	N/A
Are any Verification Methods being used?	
Are any Alternative Solutions being used	
Are any Waivers or Modifications being used	

Application Checklist

Marlborough District Council

Date Received: 31/1/2022

Project Details

Information Requirements.

Good plans are required. Plans and specifications must be to scale and accurately show to the proposed building work. They must show sufficient information so that the Building Consent Authority can determine exactly how the building is to be constructed and what materials are to be used.

Plans should clearly show how compliance with the NZ Building Code is achieved and how compliance with the Council's Resource Management Plans is met. All components of the building should be covered. The preparation of plans is a skilled job and unless you know the NZ Building Code and how to design and draw plans then we recommend that you seek the services of a trained professional.

The checklists are a guide to the minimum information requirements for plans. Plans should clearly show all of the items listed unless they are not applicable.

Information To Be Provided

Ensure that all applicable items shown in the following checklist is provided.

Applications may not be accepted and may be returned unprocessed if the application does not include the following information where applicable.

Solid fuel Heater Checklist

Floor Plan

The floor plan will need to identify proposed fire position, interior walls, interior doors and exitways and position of complying smoke alarms. Note: A copy of your floor plan can be obtained from your property records held on the [Marlborough District Council Website - Property Files Online](#)

Location of the solid fuel appliance in the dwelling. Show any window or door that may affect the installation of the fire. If the flue extends through or past a second storey, plans of the upper storeys are also required

Location and type of smoke detectors (required where none are currently installed or where the existing detectors need to be replaced or moved).

If wetback system included provide details for piping, cyclinder, valving and venting.

Manufacturer's Specifications

Please provide a document that shows:-

The correct installation and use of the solid fuel appliance (make and model) being installed.

The document must state the NZ Standard being applied.

In towns and on small lots (less than 2 hectares) the appliance must comply with the Air Quality Regulations.

Flue Details

Where these are not included in the manufacturer's specifications. Complete the minimum height table. Include all venting requirements

Weather Proofing Details

Flashing details for the flue penetrations

Second Hand Appliances

Must have a safety report from a council approved person

Show the age of the appliance

Smoke Alarms

BC220065

Only alarms complying with the following standards are acceptable: UL217, ULC-S531, AS3786, BS5446 Part 1. Look on the alarm or packet for an indication that the alarm complies

One alarm is required on the escape routes with at least one on every level (passageways, halls, lobbies, stair wells).

One alarm is required for every sleeping space or within 3.0 metres of every sleeping space. If the alarm is outside of the bedroom door then it needs to be loud enough to wake a sleeping person in the bedroom with the doors closed. We recommend one in every bedroom

Alarms must have a hush facility (able to be silenced for a period of at least 1 minute).

All alarms must have a test facility

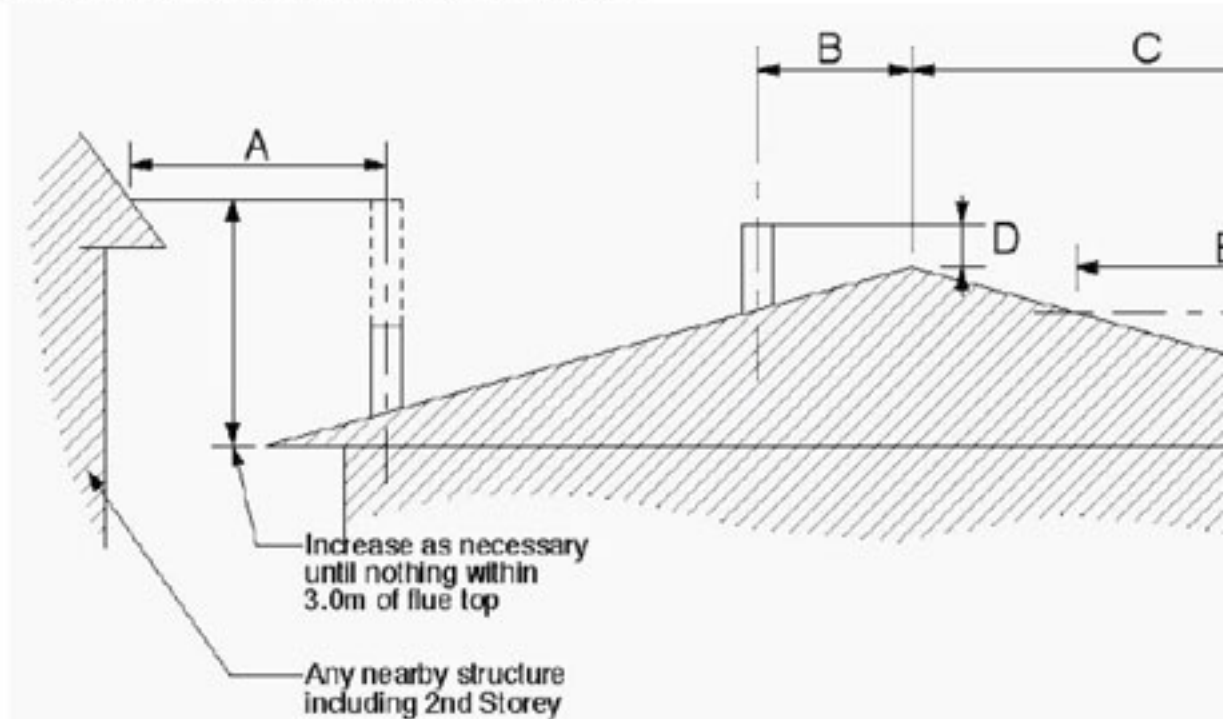
Existing alarms will not be accepted as complying unless they meet one of the standards listed above. You can keep them in the house but complying ones meeting all new requirements will also be needed.

Alarms do not need to be interconnected

Battery powered alarms are acceptable if they meet all of the other requirements

Minimum Heights Dimensions (refer to manufacturer's installation instructions)

MINIMUM HEIGHTS FOR FLUE SYSTEMS



Note: Where B is less than 3 metres, measurement D is required. Where C is greater than 3 metres measurement F is required

Please note N/A for fields that are not applicable

Dimension: A (minimum) 3000mm

Proposed Dimension A n/a

Dimension: B (maximum) 3000mm

Proposed Dimension B 1000

Dimension: C (minimum) 3000mm

Proposed Dimension C n/a

Dimension: D (minimum) 600mm

Proposed Dimension D 600

Dimension: E (greater than) 3000mm

BC220065

Proposed Dimension E n/a

Dimension: F (minimum) 1000mm

Proposed Dimension F n/a

Minimum Flue Length

Minimum length from top of floor protector: 4600mm

Proposed length from top of floor protector 4600

Insert Fires Only (refer to manufacturer's installation instruction)

Is this an insert fire? No

Not answered

Roof Flashing Detail

Type Boot Flashing

Attachments

Please ensure all documents are PDFs, and that these are correctly named to match the headings below prior to uploading.

We do not accept locked files

Please upload your Record of title option • [6799 SH6 - Rates.pdf](#)(333103 bytes)

Please combine and upload the plans for the proposed works into one PDF file (not as individual sheets) • [6799 SH6 - Floor Plan.pdf](#)(304464 bytes)

Please combine and upload the specifications for the proposed works into one PDF file (not as individual sheets) • [Jayline FR300 Fire+Flue+Flashing 2021.pdf](#)(1164628 bytes)

Please combine upload any other relevant documents into one PDF file, (do not upload as individual sheets) **No files uploaded**

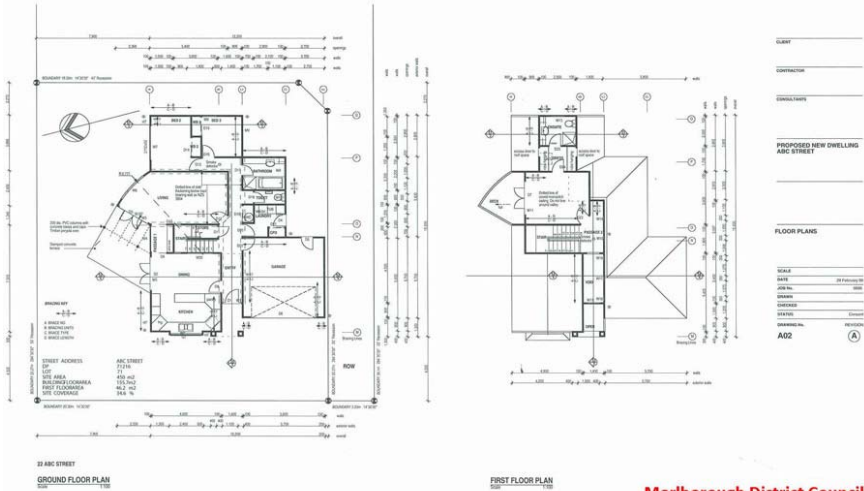
As the person applying for a building consent, I understand that I will receive notifications regarding this application, and that it is my responsibility to pass this information on to relevant parties, i.e. owner, agent etc if applicable Yes

I certify that the information provided in this application is true and correct Yes

BCXXXXXX

APPROVED DOCUMENTS
Date Approved: 29/07/2013
MARLBOROUGH DISTRICT COUNCIL

Sample only



Marlborough District Council
Date Received: XXXXXX

Now You Have Your Building Consent

Blenheim
15 Seymour Street
PO Box 443
Blenheim 7240
Phone 03 520 7400
Fax 03 520 7496
Email: mdc@marlborough.govt.nz

Picton
67 High Street
Picton 7220
Phone 03 520 7493
Fax 03 520 3203



ISO 9001
Form BIB0006-CI2172

Please Read This Brochure Carefully It Contains Important Information

Introduction

Now that you have your building consent you will be keen to get the work underway. There are some very important things you need to know and this brochure is intended to help you with the building process. There are things in this brochure that can affect your project and you should read it right through. Please take particular note of items that may have an impact on your project.

Conditions

If your consent contains conditions then those conditions must be followed. The conditions are a legal requirement for the project.

Technical Advice

If you need technical advice during the course of the project we recommend that you refer to the designer who undertook the original design. The Marlborough District Council (Council) does not give technical advice but remember that if the project changes from that approved then an amendment is required.

Can the Work Start

Although you have a building consent you may not be able to commence work immediately. If a Section 37 certificate has been issued then that will set out if any work can commence. In many cases, where there is a Section 37 certificate, no work can start until an outstanding resource consent or similar authorisation is obtained, otherwise the work can commence immediately.



Important Information

The following items will apply to your consent and you need to be aware of the following matters.

1. **Licensed Building Practitioner (LBP):** In your application you were asked to provide the names and registration numbers for the LBP involved in the project. Building Control can not undertake inspections if they do not have this information. Ensure that Building Control has all names prior to commencing work to avoid hold ups while Building Control awaits the required information. It is also very important to advise Building Control if the name of the LBP changes during the course of the project.

Note: You can undertake work on your project without being a LBP, but this work must be supervised by the applicable LBP.

2. All work is to be built as shown on the approved plans and documents issued with the building consent. Do not make changes from the drawings or specifications as what has been approved is what must be built. Amendments can be made but must receive prior approval before the work is undertaken. If the changes are substantial or affect critical elements then a new consent may be needed for the amendment.
3. All building work is to comply with the New Zealand Building Code. Nothing in the consent gives approval for work that fails to meet the minimum New Zealand Building Code standards.
4. The provisions of the Council's Resource Management plans and any applicable resource consent conditions must be complied with.
5. Building work must commence within 12 months of the consent issue date. It is important that the owner contact the Council Building Control Group if the work cannot commence within 12 months to avoid having the building consent lapse.
6. Reasonable progress should be maintained on the project until all work is completed. Council must decide whether to grant the Code Compliance Certificate within two years of the date of the consent being issued. If work cannot be completed by this time then you will need to apply for an extension in writing setting out the reasons for delay.

7. The owner must identify property boundaries and the position of any easements or other encumbrances which may affect the building or its position. The issue of the building consent does not give people the right to build outside their own property. It is the owner's obligation to ensure that the building work does not intrude into any area for which it is excluded by virtue of any easement or other restriction to which the property may be subject. The Council does not check such matters at the time of issue of building consents as they generally relate to private rights enforceable between landowners. Care must be taken to identify all boundaries correctly. Property owners may be asked to prove the boundary locations and this may mean that a registered surveyor will have to be employed by the owner. The Council will not accept any liability arising from incorrect siting of buildings irrespective of any inspections it does on the site, or for its approval to issue the building consent.
8. The approved site copy of the plans and specifications must be on site during construction. Inspections may be refused if the site copy is not on site at the time of inspection.
9. The consent fees (Flat Fee) include all of the inspections that the Council expects to do on the project. If excessive extra inspections are made, for any reason, then additional fees will be invoiced and must be paid before the Code Compliance Certificate will be issued.
10. A list of the inspections required is included with the building consent. The applicant or applicant's agent is responsible for advising the Council when work is ready for inspection. Make sure that no work or drains are closed in until inspected, and that substrate is inspected before application of plaster or texture finish. Please give the Council as much notice as possible but a bare minimum of 48 hours notice for all inspections. To book inspections telephone the Building Administration Officer on 03 520 7405. The right of entry to the building project for the purpose of inspections by Council staff and its consultants is empowered by the Building Act 2004.
11. On some consents a producer statement has been issued which requires inspections by the person or company that issued the statement. It is the applicant's responsibility to make sure these inspections take place and that the record of the inspection is forwarded to the Council. In the case of inspections by structural engineers a completed producer statement will be required to cover all inspections made by the engineer. All inspections undertaken by people from outside of Council must have the prior approval of the Council.
12. In some cases the building consent is issued on the basis that the building is not for human habitation. If the building is to be later used for habitation then a new building consent will be required for the change of use and the building will have to be upgraded. Habitable buildings are constructed to different standards than non-habitable buildings.

13. If the project contains an on site wastewater treatment system then the effluent dispersal system must be a minimum of 30 metres away from any waterway and a minimum of 30 metres away from any water supply or bore.

If an existing wastewater treatment and disposal system is later shown to be unable to cope with additional loading then the existing system will need to be upgraded. A new building consent will be required for the upgrade work and the new system will need to comply with AS/NZS 1547 or be specifically engineer designed. The site will have to be evaluated by a Council approved accredited soil assessor and Council Resource Management Plans must be complied with.
14. All plumbing and drainage work is to be carried out by licensed or craftsman trades people who shall be on site at the time of any drainage or plumbing inspection.
15. Building owners have responsibility to ensure that domestic water supplies are potable. This means the water should be free of contamination and healthy to use and drink. Owners of buildings not on a Council water supply are advised to have their water supply tested. Tests should take place before the water is used and at regular intervals afterwards to ensure that a safe supply is maintained. It would be helpful if test results, or copies of them, were forwarded to the Council for lodgment on the property file.
16. Some buildings have a limited life on the consent. At the end of this time a new building consent will be required to show how the building is to be altered, removed or demolished.
17. All fire warning systems of Type 2 or higher must be signed off and certified by an independent certification authority such as Fire Protection & Inspection Services (FPIS). The Code Compliance Certificate cannot be issued nor the building occupied until this is provided.
18. **Changes to Design on Site:** A Code Compliance Certificate can only be issued when all work on site meets the New Zealand Building Code and has been completed as per the consented documents. This means that any changes undertaken on site must be approved by the Building Consent Authority (Council's Building Control Group). There are two options available depending on what changes have been made. Where only very minor changes have occurred, the Building Control Officer can agree to issue a "Minor Variation". Any other change from the consented documents will require a "Full Amendment".

Minor Amendment: Document confirming what minor changes have occurred may be required. The Building Control Officer will complete a minor amendment form and attach to the existing consent.

Full Amendment: Where any other changes (other than minor) have taken place, a new building consent will be required. This consent will be linked to the original consent as a full amendment. These amendments need to be applied for as soon as the changes are proposed. In some cases the work on site will have to cease until the amendment is issued. You should contact Building Control to avoid time delays.

Building Inspections

When you have obtained a building consent and have started building work, inspections will be carried out during various stages. The Building Control Officer carrying out the inspection will assess the work carried for that stage of construction against the New Zealand Building Code and the consented (stamped) documents. These documents must be on site for all inspections. The Building Control Officer will assess the work against a standard inspection check sheet and will record the results on his inspection device. Notes and photos from the inspection will be able to be viewed online within 24 hours of the inspection. Most inspections will be carried out by a Building Control Officer from the Council.

New Building Work

You will need to arrange for an inspection of the work at some or all of the following stages. The inspection requirements are listed with the building consent.

Multi Unit Developments

If you are constructing a multi unit or multi apartment development Council will require to undertake inspections on each unit. The inspections required are set out in the building consent documents.

Foundations

All foundations will require an inspection prior to the pouring of any concrete. At this stage we will check for low ground bearing and check the reinforcing and foundation dimensions. For pile inspections we will view the holes prior to them being filled with concrete.

Concrete Slabs

All concrete slabs will require an inspection prior to the pouring of any concrete. Any drainage work laid under the slab will need to be tested. Some of the other items we check are the damp proofing, slab reinforcing, shrinkage control and sealing of service pipes.

Concrete Block Work

If the construction of your building involves concrete block work, an inspection will be required prior to the pouring of the concrete to enable a check of the steel placement, control joints and washouts.

Cladding

This inspection deals with the claddings systems proposed for the project. These type of inspections can include pre-plaster, plaster, veneer half height, flashing systems, cavity systems and texture substrate inspection. The inspector will be expecting to see the specific cladding details identified on the consent plans. Refer to "Inspection Schedule" set attached to the building consent.

Drainage

An inspection is required when the foul water and stormwater systems have been installed. This inspection is carried out when the drainage work is under test and prior to backfilling. Note: Where drainage systems are connected to a designed effluent systems (septic tank) a further effluent system inspection may be required. This inspection looks at the installation of the tank/s and effluent field. Refer to "Inspection Schedule" set attached to the building consent.

Pre-wrap

At this stage the framing will have been erected and the building is fully framed. This is prior to any cladding (including the roof cladding) and wrap being installed. The inspector will be checking for bracing, framing, point loading, mechanical fixings and many other items. For a dwelling this is an important inspection.

Post-wrap

At this stage the framing will have been erected and the building is wrapped with the building wrap. Usually the building paper is on the walls and roof, and the roof is on. The inspector will be checking for correct wrap type and fixing including hold back tape and the correct flexible window tape. This inspection is carried out prior to any of the internal linings going on.

Pre-line

At this stage the framing will have been erected and the building is weathertight, i.e. roof is complete, window and door joinery (including all flashing and air seal systems) insulation and cladding have been installed. The inspector will be checking for bracing, framing, point loading, mechanical fixing, etc (if this work was completed at the “pre Wrap”). Moisture of frame work will also be checked. This inspection is carried out prior to any of the internal linings going on.

Important Note: If the external system is not fully weathertight, the insulation and internal linings must not be installed.

Pre-line Plumbing

All plumbing work must be under test when this inspection is undertaken. It can be carried out at the same time as the pre-line building inspection. Plumbers pressure test needs to be on and to be sighted for the water pipework. It is also preferable that the plumber is on site for the inspection.

Shower Base and Wall Sealing

This is a critical inspection if the project is using a tanking system to provide a water proof base for a wet floor area, typically a shower or bathroom floor. The inspection should be timed to allow the inspector to confirm that the water proofing system has been carried out as per the installation instruction. The applicator of the system will be expected to provide a signed certificate once the work is completed. This should be supplied to the Council as supporting documentation at the completion of the project.

Post-line

This is a check on the type of lining and the nailing patterns used. Any fire rating lining requirements are also checked at this stage.

Pool Fence

This inspection looks at the specific requirements of F9, the Building Code and any requirements set out where a modification/waiver from F9 applies. It is preferable that the pool remains empty until this inspection has been completed and full compliance is shown, however it is understood with some type of pool structures this is not practical. If leaving the pool empty is not practical you should erect a temporary barrier until all fencing has been completed.

Other Inspections

There are other inspections which may be needed for your project. They will be listed in the consent. The Building Control Officer will provide information about what is checked at these inspections if requested to do so during any inspection. Please make sure that all inspections listed are called for.

Final Inspection

When your building project has been completed you need to book a final inspection. You will be advised in advance of what is required to be supplied on site on the day of the inspection, for example:

- Application for a Code Compliance Certificate (Form 6) supplied with building consent documents.
- Producer Statements - as required on this project.
- Copies of the memorandum from Licensed Building Practitioner's "Record of Building Work".
- Energy works certificates for electrical and gas installations.

You will need to apply for a Code Compliance Certificate using Form 6. Council is required to issue the Code Compliance Certificate within 20 working days of receiving this application provided all work is complete, all work complies with the consented documents, all work complies with the New Zealand Building Code and all outstanding fees are paid.

If you need additional or replacement application forms please contact the Building Administration Officer on 03 520 7405.

Engineer's Inspections

Building consent documentation often includes designs for work that is outside the normal scope of construction. In these cases design and calculations are provided by a Chartered Professional Engineer (CPEng) at the time of application. These designs will often require particular inspections to be undertaken by the engineer or his/her agent. These inspections are by agreement with the Council. Any additional inspections not previously agreed to by Council must be agreed to prior to taking place. This can be done by contacting the Duty Building Control Officer prior to the proposed inspection.

The engineer's inspections are identified on the right hand side of the building consent document. These are clearly listed and described. If you do not understand the type of inspection required please contact the Duty Building Control Officer at Council.

At the time that the building consent is issued a letter will be sent (by the Building Administration Team) to the engineer confirming the engineer's inspections.

At the completion of the project the engineer must provide a PS4 (construction review certificate) along with copies of his/her site notes and, if applicable, photos. These will be required prior to the issuing of the Code Compliance Certificate.

Issue of Code Compliance Certificate

The Code Compliance Certificate (CCC) is released at the end of the building consent process, once the final inspection of the consented work has been passed and any other requirements have been satisfied.

You must apply for the CCC for these consented works. An application form (Form 6) is included in the original building consent.

Please Note: Delays in receiving information, or money owed, or the failing of the final inspection, will delay the issuing of the CCC.

The CCC will be issued within 20 working days from date of receiving the application for a CCC provided:

- The application for a CCC is received (Form 6).
- The final inspection passed.
- All outstanding fees paid and paperwork are received.

IMPORTANT NOTE:

Inspection Failed

If at any stage an inspection has failed the building inspector will advise the builder why it has failed. It is your responsibility to arrange for a re-inspection once the problem has been rectified. There will only be an additional cost for re-checks if the failures reoccur. The flat fee system allows for some rechecks, however any continuous non compliance will be charged out at our advertised rate plus travel time and mileage.

Fees

When your building consent is issued the Council will determine the number of inspections required based on the planned work. The inspections and the Code Compliance Certificate fee will be included in the cost of the building consent.

Other Land and Legal Road information

This building consent does not imply approval to use any public land, legal road, esplanade strip, marginal land, or such like. Any works within such land will require separate approval. With respect to legal road, Council through its arrangement with Marlborough Roads will consider Corridor Access Request (CAR) applications to undertake works in legal road.

In some instances Council will consider applications for the issue of a licence to occupy legal road.

Inspection Bookings

Final Inspection

You will need to book a final inspection in advance of the date you wish the inspection to occur. This is to allow Marlborough District Council to ensure that the time requested for the inspection can be met.

All Other Inspections

An inspection needs to be booked well in advance and it is preferable to give as much notice as possible. An early request will help us ensure you get the time and date of inspection you wish.

Bookings

To book an inspection contact the Building Administration Officer on 03 520 7405.



Lapsing of Building Consent

If for any reason prior to starting work you decide not to go ahead with the consented project please notify Building Control immediately.

Note: Building Control can not cancel the consent however if work does not commence work within 12 months of the anniversary of issuing, the consent automatically lapses as per the Building Act 2004.

On lapsing a credit can be raised. This credit will only include that portion of the consent fee that covers inspections, inspection travel and the issuing of the Code Compliance Certificate. The cost of administrating, processing and issuing of the consent will not be credited.

Note: A lapsing fee will apply. Refer fees and charges booklet or the Council website (fees).

PRIVACY OF INFORMATION

Building consent application information is public information and is released by Council to any party who requests it. This is a legal obligation that Council has. The Building Act 2004 and Sections 44A and 217 of the Local Government Official Information and Meetings Act 1987 are the legal references. We have no option but to release this information.



Application Forms

Building consent application forms are available online at www.marlborough.govt.nz and from Council's Customer Service staff. There are several different application forms for different projects. A Customer Services Officer will help you determine which is the correct form for your project.

Please lodge your application with ALL supporting documents

**For further information on any building consent matter, please call the Council's Customer Service Centre (03 520 7400)
Remember to quote your Building Consent Number**



ISO9001
Document Number
BCF0049-CI2402

Record No:
Consent No: BC220065
Ask For: Building Control

P M Jones, T L McCormick
PO Box 7
Rai Valley 7145

Dear Applicant

Building Consent - BC220065

We are pleased to forward your Building Consent. Provided there are no outstanding resource management issues, then work can commence at any time.

Please ensure that you read all of the attachments carefully because they contain important information.

This consent is issued under the Building Act 2004. You need to be aware of the following:

1. No changes to the consent can be made without prior approval. What has been approved must be built. Should you wish to change something talk to a Building Control Officer first. A new consent or an amendment may be needed.
2. Council is required at the two year anniversary of the date from when the Building Consent was granted to make the decision whether to issue the Code Compliance Certificate. You should discuss with a Building Control Officer if you are unable to meet this requirement.
3. The site copy of the approved documents must be on site at all times. Inspections may be refused if they are not on site when the inspector arrives.
4. When the project is complete, fill out the form "Application for Code Compliance Certificate" and return to Council. No certificate will be issued until this form is received. Note application forms can be obtained from the Council Office or from the Council website.
5. Ensure that all inspections listed in the consent are called for.
6. The invoice for this consent will be forwarded to the nominated fee payer for the project. Payment should be made as soon as possible. Inspections may not take place unless the fees are paid. The Code Compliance Certificate will not be issued unless the fees are paid in full.

We wish you well with your building project.

Yours faithfully

**BRENDON ROBERTSON
BUILDING CONTROL GROUP MANAGER**



**MARLBOROUGH
DISTRICT COUNCIL**

PO Box 443, Blenheim 7240

Phone: (03) 520 7400

Fax: (03) 520 7496

ISO9001

Document Number

BCF0049-CI2402

BUILDING CONSENT

SECTION 51, BUILDING ACT 2004

Form 5

THE BUILDING		Property Reference Number
Street address of building:	6799 SH 6 Rai	150068
Legal description of land where building is located	LOT 1 DP 5816	Building Consent Number
Building name:		BC220065
Location of building within site/block number:		
Level/unit number:		Estimated Value:
		\$5,000.00

THE OWNER				
Full name of Owner(s):	Paula Maree Jones, Trent Lennard McCormick			
Mailing Address:	PO Box 7 Rai Valley 7145			
Phone Numbers	022 497 7065			
	Mobile	Daytime	After Hours	Fax
Email Address:	trentpaulanz@gmail.comoffice@heatingmarlborough.co.nz			

First Point of Contact				
Full name:	Heating Marlborough 2018 Limited			
Mailing Address:	55 Grove Road Mayfield Blenheim 7201			
Phone Numbers	021 654 481 03 578 5950			
	Mobile	Daytime	After Hours	Fax
Email Address:				

BUILDING WORK

(1) The following building work is authorised by this building consent:

Free-Standing Jayline FR300 Solid Fuel Heater

- (2) This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building)
- (3) This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.
- (4) This building consent is subject to the conditions below and listed on the attached sheet
[✓ tick applicable option(s)]

- (a) the building must be altered, removed, or demolished on or before the end of years from the date of issue of this consent (being the specified intended life of the building); and

- (b) Inspections required and Conditions of building consent

INSPECTIONS REQUIRED

Final Fire Place

1

ENGINEERS INSPECTION REQUIRED

No Engineers Inspections Required

PRODUCER STATEMENTS/CERTIFICATES REQUIRED

CONDITIONS OF BUILDING CONSENT -

Important Note

Attached to this consent is a brochure and it includes very important information regarding your project. Please make sure that you take time to read the brochure right through and understand that the issue of the consent has placed obligations on the owner.

Conditions

This consent may contain conditions and if so they are listed below. All conditions must be complied with.

Section 90

This building consent is subject to the condition that agents authorised by the building consent authority for the purposes of this section are entitled, at all times during normal working hours or while building work is being done, to inspect-

- (a) land on which building work is being or is proposed to be carried out; and
- (b) building work that has been or is being carried out on or off the building site; and
- (c) any building.

"Inspection" means the taking of all reasonable steps to ensure that building work is being carried out in accordance with a building consent.

COMPLIANCE SCHEDULE

(1) A compliance schedule

is required for the building –

is not required for the building

(2) The compliance schedule must contain the following specified systems and comply with the performance standards for those systems required by the building code. The specified systems for the building are as follows:

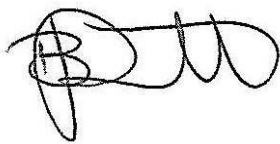
ATTACHMENTS

Copies of the following document are attached to this building consent [*tick applicable option(s)*]

- Development contribution notice (s36 notice)
- Certificate attached to project information memorandum (s37 certificate)

The following documents are attached to this application [*tick applicable option(s)*]

- Plans
- Specifications
- Fee assessments (Assets and Services)
- Section 37
- Application for the Code Compliance Certificate
- Inspection Schedule
- Applicant/Owner Letter
- Brochure - Now You Have Your Building Consent
- Brochure - Septic Tanks
- Brochure - Dam Brochure
- Engineers Letter
- Other



Signature

Position **BUILDING CONTROL GROUP MANAGER**

On behalf of **Marlborough District Council**

Date: 08 February 2022

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

**Section 92, BUILDING ACT 2004
FORM 6**



**MARLBOROUGH
DISTRICT COUNCIL**

ISO9001
Document Number:
BAF0002.13-CI2389

The Building Consent

Building Consent Number: _____
Property Reference Number: _____

Issued by: **Marlborough District Council**
PO Box 443, Blenheim 7240
Phone: (03) 520 7400
Fax: (03) 520 7496
Email: mdc@marlborough.govt.nz

The Owner

Must be completed to be accepted

Full Name of Owner(s):

Mailing Address:

Street Address/Registered Office:

Contact Details:

Telephone Number: _____ Mobile _____
Facsimile Number _____ After Hours _____
Email Address: _____
Contact Person: _____

The Agent (only required if application is being made on behalf of the owner)

Full Name of Agent(s)

Mailing Address

Street Address/Registered Office:

Contact Details:
Telephone Number: _____ Mobile _____
Facsimile Number _____ After Hours _____
Email Address: _____

Application **Must be completed to be accepted, if applicable**

(1) The licensed building practitioner(s) who carried out or supervised the restricted building work is/are as follows:

Name	Licensed Class	Licensed Building Practitioner Number <small>(or registration number if treated as being licensed under Section 291 of the Building Act 2004)</small>	Particular Work Carried Out or Supervised

The personnel who carried out building work other than restricted building work are as follows:
[List names, addresses, telephone numbers and licence or registration numbers (where relevant and if not provided above) of all licensed building practitioners and plumbers, gasfitters and drainlayers]

Note: continue on another page if necessary

Must be completed to be accepted

(2) All building work to be carried out under the above consent was completed on: _____

(3) I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to: *[tick applicable option]* Owner Agent

I certify that the information provided in this application is correct

Name of person certifying correctness: _____ Date: _____

[tick one]

Owner

Agent acting on behalf of the owner and with the authority of the owner

Attachments

The following documents are attached to this application *[tick applicable option(s)]*

- Memoranda (records of building work) from licensed building practitioners stating what restricted building work they carried out or supervised
- Certificates or other documents from the personnel who carried out the work
- Certificates that relate to the energy work
- Evidence that specified systems are capable of performing to the performance standards set out in the building consent

Must be completed to be accepted, if applicable

- (4) The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standard set in the building consent:

SS01	Automatic Systems for Fire Suppression	
SS02	Automatic or Manual Emergency Warning Systems for Fire or other Dangers	
SS03	Electromagnetic or Automatic Doors or Windows	
SS04	Emergency Lighting Systems	
SS05	Escape Route Pressurisation	
SS06	Riser Mains for use by Fire Services	
SS07	Automatic Backflow Preventers Connected to Potable Supply	
SS08	Lifts, Escalators, or Other Systems for Moving People or Goods Within Buildings	
SS09	Mechanical Ventilation and Air Conditioning Systems	
SS10	Building maintenance units providing access to exterior and interior walls of buildings	
SS11	Laboratory Fume Cupboards	
SS12	Audio Loops or other Assistive Listening Systems	
SS13	Smoke Control Systems	
SS14	Emergency Power Systems for, or signs relating to a system or feature specified in any of clauses 1-13	
SS16	All buildings with cable car including single residential buildings	
Systems below included only if compliance schedule contains one or more of the specified systems 1-6, 9 and 13		
SS15/a	Systems for Communicating Spoken Information Intended to Facilitate Evacuation	
SS15/b	Final Exits (as defined by clause A2 of the building code)	
SS15/c	Fire Separations (as so defined)	
SS15/d	Signs for Communicating Information Intended to Facilitate Evacuation	
SS15/e	Smoke Separation that forms part of the means of escape from fire	

Please note that all information provided in this application is public information and will be made available on Council's website in accordance with s216 and 217 Building Act 2004.

If you are the person who submitted the plans or specifications, the owner or any subsequent owner of that building, you can mark the plans or specifications confidential for building security reasons. However, the disclosure requirements of the Local Government Official Information and Meetings Act 1987 will still apply to those plans and specifications.

Declaration

I am

- the owner of the building
- the representative of the owner of the building and have their written approval to act on their behalf
- _____ [other – please specify]

and confirm that all information in this application is true and correct and that I have read, understood and agree to the above terms and conditions.

Signature

Name

Date

**If you have any queries regarding completion of this form please contact us on
phone (03) 520 7400 or fax (03) 520 7496**

Field Sheet - BC220065

ISO9001
Document Number
BCF0040.1-CI2194

Property No:	150068	Valuation No:	20280 18100	Issued:	08/02/2022
Legal Description:	LOT 1 DP 5816				

OWNER:	P M Jones, T L McCormick				
Home Phone:		Work Phone:			
BUILDER:					
Builders Phone:		Builders Mobile:			
DRAINLAYER:		Drainlayers Phone:			
PLUMBER:		Plumbers Phone:			

Project:	Free-Standing Jayline FR300 Solid Fuel Heater				
Location:	6799 SH 6 Rai	Asbestos Clearance Required:			
Maximum Occupant Number:		Services Requirement:	No		
s36 Payment Req'd:	N/A	Producer Statement:			
s37 Notice Applies:	No	Supporting Information:	N/A	Application for Code Compliance Certificate	
Compliance Schedule:	N/A				
LBP Certificates Required:	No				
Processing Category:	Residential 1				
Inspections Category:	Residential 1				
Processing Officer:	Bill East				

Receipt : RecBank02 21/3/2022

COUNCIL INSPECTIONS:

Final Fire Place 1

ENGINEER:

ENGINEERS INSPECTION REQUIRED:

No Engineers Inspections Required

	Yes	NA	See Notes
Are all inspections accounted for?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the durability need to be modified?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Application for CCC signed and dated?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PS4 and associated field notes provided?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Supporting documentation (tanking, cladding systems, etc)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Services as Laid Plan provided?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Gas Certificate provided?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Electrical Certificate provided?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Warning Test Certificates?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Accredited Inspection Body sign off?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pool database completed? (contact pool officer for clarification)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wastewater database completed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Section 36 paid? Check with A&SServices@marlborough.govt.nz	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Services comment in RI been addressed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Primary/Secondary Use completed in CI?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Additional charges/refunds?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

NOTES:**DECISION** (delete one) **1 Issue Code Compliance Certificate**

Reason

Council is satisfied, on reasonable grounds, that the building work complies with the building consent”

2 ~~Refuse to Issue Code Compliance Certificate~~Reason: ~~See notes~~

Authorising Officer Name: Phil Eves

Date: 28/3/2022

Marlborough District Council
15 Seymour Street
PO Box 443
Blenheim 7240
New Zealand

Telephone 00 64 3 520 7400
Facsimile 00 64 3 520 7496
Email mdc@marlborough.govt.nz
Website www.marlborough.govt.nz
GST No. 50-430-960



Inspection - Final Fireplace

Reference Number:	REF220347730
Inspection Date Time:	25/03/2022 01:37
Submitted On:	25/03/2022 08:29
Completed By:	Philip Eves
Inspection Result:	Pass

Building Consent No.:	BC220065
Address:	6799 SH 6 Rai
Name of person on site:	Brad Millar / Heating Marlborough
Phone Number:	021 654 481
Email Address:	
Job Description:	Free-Standing Jayline FR300 Solid Fuel Heater
Other Information:	Probably installers still & definitely owners (022 497 7065) on site
Date and time of inspection	2022-03-25T13:37
Is your competency level suitable for undertaking this inspection?	Yes
Previous field notes and instructions read?	Yes
Consented Documents on Site?	Yes
Pre-installation chimney inspection passed?	Yes
Special PPE required for this site?	Yes
Specify	<ul style="list-style-type: none">•Safety footwear•High vis jacket
On entry to site - hazards observed and appropriate action taken	Yes

Free Standing Fire

Is the Fireplace Free Standing	Yes
Hearth type	Ash
Flue installed to manufacturers specifications?	Pass
Flue shield installed to manufacturers specifications?	Pass
Flue clearance	Pass
Flue liner	Pass
Clearance - Rear of unit to wall	Pass
Clearance - Side of unit to wall	Pass
Clearance - Corner of unit to wall	N/A
Roof structure unaffected	Pass
Clearance to front of hearth	Pass

Clearance to sides of hearth	Pass
Clearance from window drapes/combustibles	Pass
Fire place restraints fitted	Pass
Insulation clear of flue	Pass
Notes	The appliance is confirmed as the FR300 Jayline , on a steel hearth. Clearance to combustible are compliant &the fire box is well fixed to the timber floor.

Inbuilt Fire

Is the Fireplace Inbuilt?	No
Hearth type	N/A
Clearance to front of hearth	N/A
Mantle deflector installed	N/A
Clearance to mantle	N/A
Fire box restraints	N/A
Notes	

Wet Back installation

Does the Fireplace have Wetback?	No
Restraints fitted to new HWC	N/A
Height of HWC above Wetback	N/A
Tempering valve fitted to HWC	N/A
Hot water temperature	N/A
Notes	

Smoke Alarms

Are there any Smoke Alarms to Inspect?	Yes
Located on the escape routes on all levels	Pass
Within 3.0m of every sleeping space	Pass
If ceiling mounted, located more than 300mm off wall	Pass
If wall mounted, located more than 100mm from ceiling	N/A
Battery powered with 'Hush Facility'	Pass
Hard Wired to security system	N/A
Notes	

External

Do the External components require Inspection?	Yes
Flue flashed to roof cladding	Pass
Height &location of flue	Pass
Minimum flues length 4.2m	Pass
Flue within 3m horizontally from ridge, flue to be a minimum of 600mm	Pass
Flue more than 3m horizontally from ridge, flue heigth to be a minimum of 1000mm above surrounding roof line	N/A
Notes	
Notes	Notes

Hazards on Site

State of Site:	Yes
Open trenches:	N/A
Pointed or sharp object:	N/A
Scaffolding:	N/A
Uncontrolled animal:	N/A
Ground conditions:	N/A
Access to site:	N/A
Weather conditions:	N/A
Other:	Yes
Specify:	Covid 19
Amended plans required?	No
Site instruction issued?	No
Is this the final inspection for this building consent?	Yes
Application for CCC received?	Yes

Final fire inspection passed?

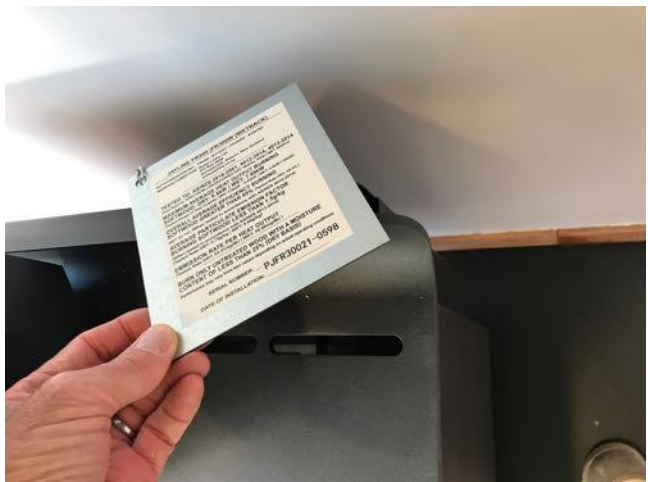
Can the Code Compliance Certificate be issued? **Yes**

Pass

Device Camera Image (19894 bytes)
Camera Image Desc: (Photos)



Device Camera Image (20360 bytes)
Camera Image Desc: (Photos)



Notes

CCC sent by email.

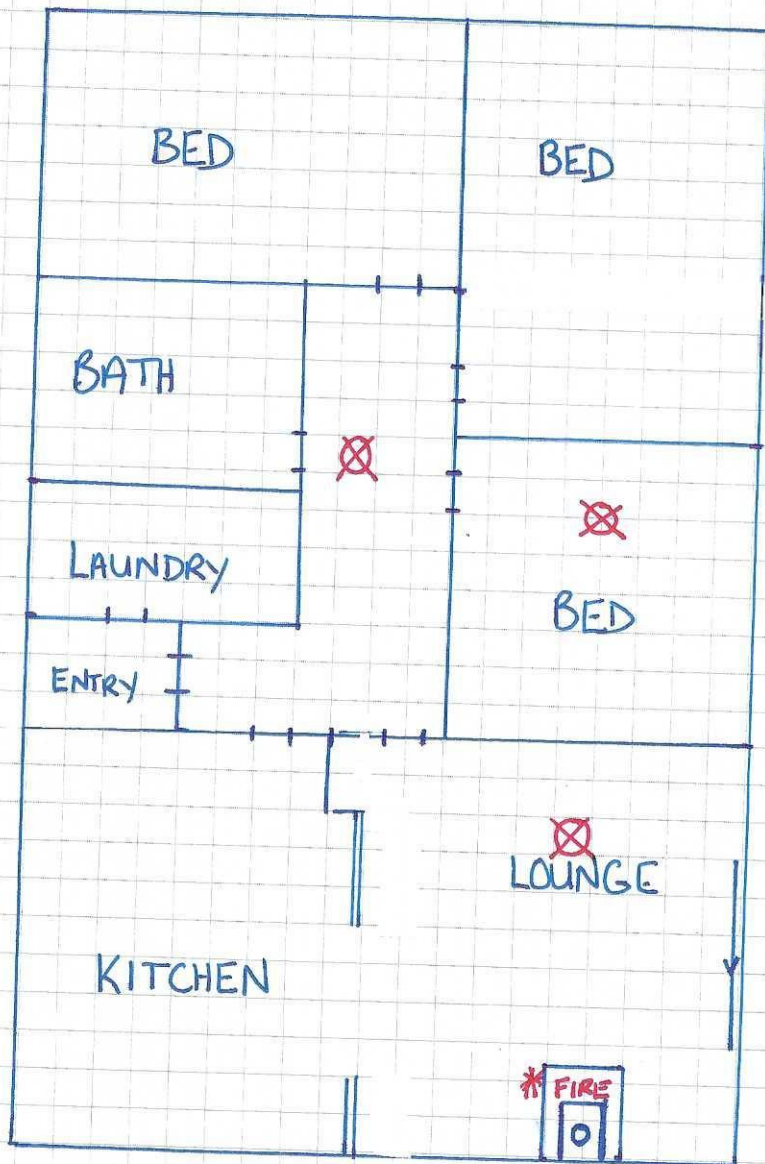
BC220065

Ravelli®
il fuoco intelligente

T. + 39 030 7402939
F. + 39 030 7301758

info@ravelligroup.it
www.ravelligroup.it

6799 STATE HIGHWAY 6
RAI VALLEY



From: Jenny Eising-5062
Sent: 1 Apr 2022 12:29:07 +1300
To: 'trentpaulanz@gmail.com'
Cc: office@heatingmarlborough.co.nz
Subject: CODE COMPLIANCE CERTIFICATE - BC 220065, 6799 SH 6 RAI
Attachments: Code Compliance Certificate - BC 220065, 6799 SH 6 Rai.pdf

Good afternoon

Please find attached the Code Compliance Certificate for the above Building Consent.

If you would like a paper copy of the certificate, please let me know and I will put a copy in the post.

Regards

Jenny Eising
Building Control Administration Officer



DDI: 03 520 7405
Phone: 03 520 7400

15 Seymour Street, PO Box 443
Blenheim 7240, New Zealand
Jenny.Eising@marlborough.govt.nz
www.marlborough.govt.nz

CODE COMPLIANCE CERTIFICATE



**MARLBOROUGH
DISTRICT COUNCIL**

PO Box 443, Blenheim 7240

Phone: (03) 520 7400

Fax: (03) 520 7496

ISO9001

Document Number

BCF0041-CI2303

SECTION 95, BUILDING ACT 2004

Form 7

THE BUILDING		Property Reference Number	
Street address of building:	6799 SH 6 Rai	150068	
Legal description of land where building is located	LOT 1 DP 5816	Building Consent Number	
Building name:		BC220065	
Location of building with site/block number:			
Level/Unit number:		Year First Constructed	Mixed/Remod
Current, lawfully established, use:	Detached Dwellings	Maximum occupant number:	N/A

NAME OF OWNER AND MAILING ADDRESS	
<p>P M Jones, T L McCormick PO Box 7 Rai Valley 7145</p>	
<p>Contact person <i>First point of contact for communications with the building consent authority:</i></p>	
<p>Street address/registered office:</p>	
<p>Phone number:</p>	

BUILDING WORK

Building Consent No:

BC220065

for

Free-Standing Jayline FR300 Solid Fuel Heater

Issued by:



Marlborough District Council - Building Consent Authority

Contact Person:

Postal Address: PO Box 443
Blenheim 7240

Phone: 520 7400

Fax: 520 7496

CODE COMPLIANCE

(1) The Marlborough District Council is satisfied, on reasonable grounds, that
[✓ tick applicable option(s)]



(a) the building work complies with the building consent; and



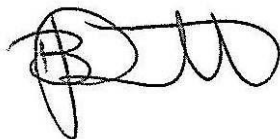
(b) the specified systems in the building are capable of performing to the performance standards set out in the building consent.

ATTACHMENT

A copy of the following document is attached to this Code Compliance Certificate
[✓ tick if applicable]



Compliance Schedule



Signature

Position

BUILDING CONTROL GROUP MANAGER

On behalf of **Marlborough District Council**

Date: 01 April 2022

From: DCC@marlborough.govt.nz
Sent: 2 Feb 2022 14:23:11 +1300
To: Building Admin
Subject: Building Application: BC220065 -REF220138889 - building consent application accepted for processing

This email is to advise that the consent for the proposed works has been accepted for BC220065 for processing for the address of 6799 SH 6 Rai ..

Your building consent number is BC220065. Please use this number for any enquiries.

The consent application documents can be accessed via our property files online service using the link below.

[Link to your building consent BC220065](#)

Kind regards,

Marlborough District Council Building Control Team



PO Box 443, Blenheim 7240
Tel 03 520 7400 / Fax 03 520 7496
Email mdc@marlborough.govt.nz / www.marlborough.govt.nz
GST No. 50-430-960

This e-mail message has been scanned by **SEG Cloud**
