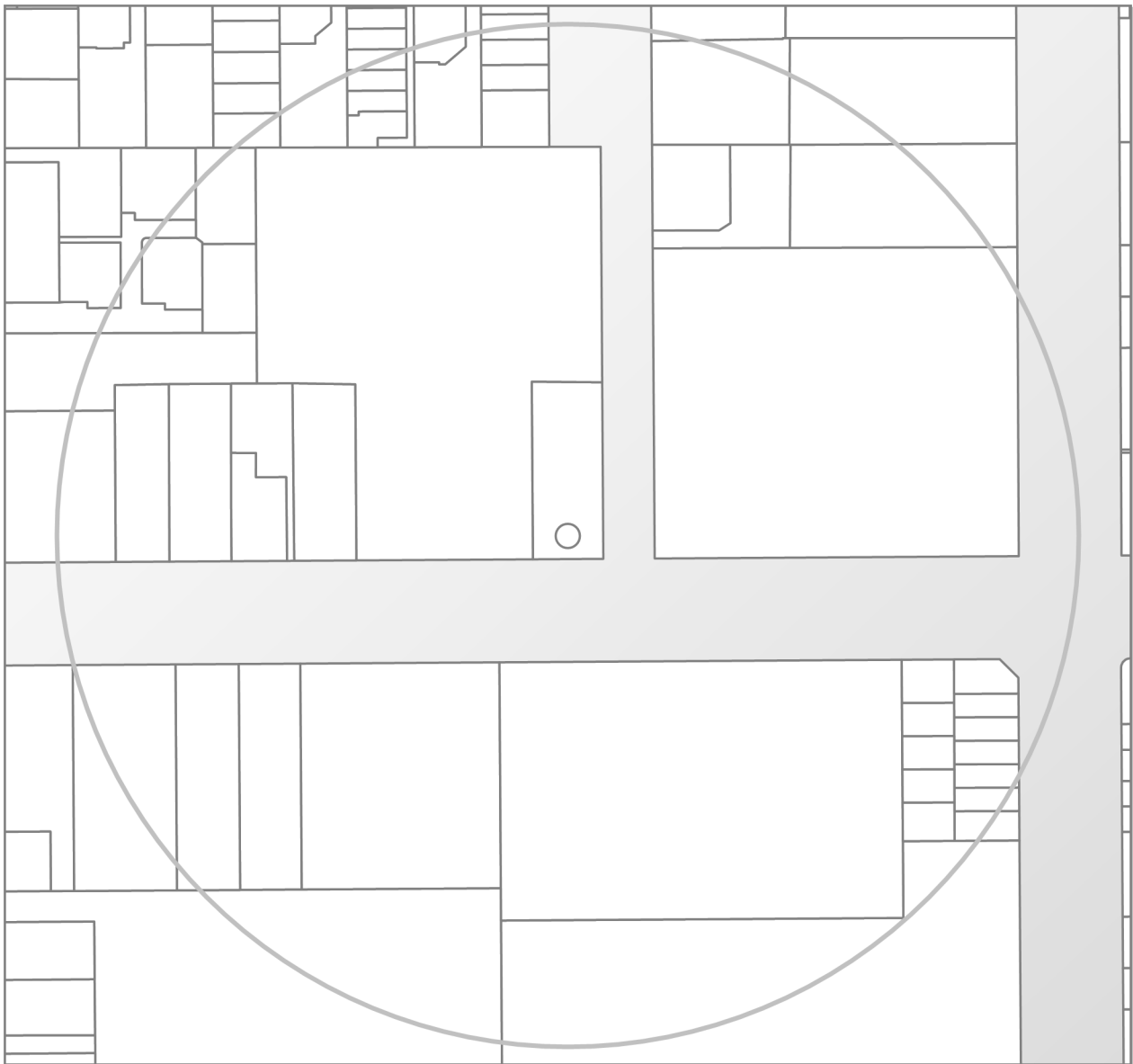


# Land Information Memorandum



Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 1

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## Application details

**Date issued** 21 February 2024  
**Date received** 9 February 2024

## Property details

**Property address** 3 Gracefield Avenue, Central City, Christchurch  
**Valuation roll number** 22680 29600 A  
**Valuation information** Capital Value: \$520,000  
Land Value: \$390,000  
Improvements Value: \$130,000  
*Please note: these values are intended for Rating purposes*  
**Legal description** FLAT 1 DP 65761 ON LOT 1 DP 64406 HAVING 1/4 INT IN 534 SQ M  
**Existing owner** John Francis Beker  
Marianne Hope Davidson-Beker  
4 Wickens Place  
Warkworth 0910

## Council references

**Rate account ID** 73049702  
**LIM number** H03140145  
**Property ID** 1058476

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 2

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made.

## Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

**To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.**

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 3

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

A search of records held by the Council has revealed the following information:

## 1. Special features and characteristics of the land

*Section 44A(2)(a) LGOIMA. This is information known to the Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants.*

☎ For enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

- **Borelog/Engineer Report Image Available**

Borelog/Engineer Report Image Available

- **Liquefaction Assessment**

Christchurch City Council holds indicative information on liquefaction hazard for Christchurch. Information on liquefaction, including an interactive web tool, can be found on the Council website at [ccc.govt.nz/liquefaction](http://ccc.govt.nz/liquefaction). Depending on the liquefaction potential of the area that the property is in, the Council may require site-specific investigations before granting future subdivision or building consent for the property.

- **Consultant Report Available**

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 4


**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### Related Information

- The property is shown to be served by sewer and stormwater drains which are shared.

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 5

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 3. Drinking Water Supply

*Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.*

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

☎ For water supply queries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### Water supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply and Wastewater Bylaw (2022), refer to [www.ccc.govt.nz](http://www.ccc.govt.nz).

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 6

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Annual rates

Annual rates to 30/06/2024: \$2,818.45

	Instalment Amount	Date Due
Instalment 1	\$704.56	15/08/2023
Instalment 2	\$704.56	15/11/2023
Instalment 3	\$704.56	15/02/2024
Instalment 4	\$704.77	15/05/2024

Rates owing as at 21/02/2024: -\$277.26

### (b) Excess water charges

On 1 October 2022 the Council introduced a new targeted rate for residential households using excess water. As a result, residential property settlements must now ensure all water usage and outstanding debts are accurately accounted for.

For excess water charge enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz/contact-us](http://www.ccc.govt.nz/contact-us)

### (c) Final water meter reading required at settlement?

When a residential property is sold, an estimate read is used. We expect to make further changes to this process later in 2023. 4 business days are required to process a settlement request. To advise of a residential property settlement, please complete the request for settlement information form at [www.ccc.govt.nz/services/rates-and-valuations/solicitors-request](http://www.ccc.govt.nz/services/rates-and-valuations/solicitors-request)

For more information about settlements, please phone (03) 941 8999 or visit [www.ccc.govt.nz/contact-us](http://www.ccc.govt.nz/contact-us)

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 7

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

*Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.*

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

*Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.*

☎ For building enquiries, please phone (03) 941 8999, email [EPADutyBCO@ccc.govt.nz](mailto:EPADutyBCO@ccc.govt.nz) or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Consents

- BCN/1961/1203 Applied: 06/03/1961 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 15/03/1961  
Permit issued 15/03/1961  
GARAGE- Historical Reference PER60010014 - No information/plans held on property file
- BCN/1964/5610 Applied: 30/10/1964 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 31/08/1965  
Permit issued 31/08/1965  
PORCH- Historical Reference PER65010806 - No information/plans held on property file
- BCN/1968/4732 Applied: 27/09/1968 Status: Completed  
3 Gracefield Avenue Central City  
  
ALTER DWELLING INTO OFFICES(APPLIED)- Historical Reference PER68001295 - No information/plans held on property file
- BCN/1968/4735 Applied: 30/09/1968 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 04/12/1968  
Permit issued 04/12/1968  
STUCCO- Historical Reference PER68010745 - No information/plans held on property file
- BCN/1977/5374 Applied: 20/10/1977 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 13/07/1978  
Permit issued 13/07/1978  
CARPORT- Historical Reference PER78010358 - No information/plans held on property file
- BCN/1979/1212 Applied: 14/03/1979 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 06/04/1979  
Permit issued 06/04/1979  
REPLACE ENTRANCE CANOPY- Historical Reference PER79010166 - No information/plans held on property file
- BCN/1982/8128 Applied: 26/11/1982 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 20/12/1982

Property address:

3 Gracefield Avenue

LIM number: H03140145

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984



Permit issued 20/12/1982

WALL- Historical Reference PER82010742 - No information/plans held on property file

- BCN/1992/13367 Applied: 23/12/1992 Status: Completed  
3 Gracefield Avenue Central City  
Permit granted 21/04/1993  
Permit issued 21/04/1993  
4 FLATS- Historical Reference PER92010856
- BCN/1993/5815 Applied: 17/06/1993 Status: Completed  
3 Gracefield Avenue Central City  
Accepted for processing 17/06/1993  
Building consent granted 21/07/1993  
Building consent issued 26/07/1993  
Code Compliance Certificate Granted 26/07/1994  
Code Compliance Certificate Issued 26/07/1994  
HOUSING AND OUTBUILDING DEMOLITION- Historical Reference CON93007715
- BCN/2007/9232 Applied: 07/12/2007 Status: Cancelled  
3 Gracefield Avenue Central City  
Accepted for processing 07/12/2007  
PIM Granted 28/01/2008  
PIM Issued 01/02/2008  
Application cancelled 24/11/2008  
CONVERT ATTIC SPACE INTO STORAGE/BEDROOM- Historical Reference ABA10082220

## (b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

## (c) Notices

- Placards issued under the Civil Defence Emergency Management Act 2002 as a result of the 4 September 2010 and 22 February 2011 earthquakes have now expired (by 12 July 2011 if not before). Some civil defence placards were replaced with dangerous building notices issued under section 124 Building Act 2004, and where this has happened the section 124 notice is separately recorded. Many other buildings, although not issued with a section 124 notice, may require structural work or other repairs before they can be occupied again. It is the building owners responsibility to make sure the building is safe for any occupier or visitor. Detailed structural engineering assessments may still be required to be carried out.
- CDB75014840 26/02/2011 3 Gracefield Avenue  
Building Evaluation : Building Inspected Under Civil Defence Emergency , Green Placard Issued (a deemed Building Act notice)

## (d) Orders

## (e) Requisitions

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 9


**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 6. Certificates issued by a building certifier

*Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.*

 For building enquiries, please phone (03) 941 8999, email [EPADutyBCO@ccc.govt.nz](mailto:EPADutyBCO@ccc.govt.nz) or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 10


**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 7. Weathertightness

*Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.*

 For weathertight homes enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

*If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.*

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 11

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There may be some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

☎ For planning queries, please phone (03) 941 8999, email [DutyPlanner@ccc.govt.nz](mailto:DutyPlanner@ccc.govt.nz) or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

- **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

### (a)(i) Christchurch City Plan & Banks Peninsula District Plan

- **Noise Regulations**

The property is within the Central City, which includes District Plan zones that generally permit and support residential and commercial activities including nightclubs and music venues. The Central City amenity will be different to that expected in a suburban residential environment. The District Plan permits a Central City night-time economy with higher levels of noise, traffic and gatherings of people during night-time hours. These permitted effects are a normal and anticipated aspect of living in, or close to, Central City zones.

### (ii) Christchurch District Plan

- **Central City Building Height Restriction Overlay**

Property or part of property within the Central City Building Height 14m Overlay, which is operative.

- **Central City Building Height Restriction Overlay**

Property or part of property within the Central City Building Height 32m Overlay, which has been publicly notified.

- **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay, which is operative.

- **Central City Noise Restriction**

Property or part of property within the Category 3: Lower Noise Level Area Overlay, which is operative.

- **Central City Inner and Outer Zones**

Property or part of property within the Central City Outer Zone Overlay, which is operative.

- **District Plan Zone**

Property or part of property within the Residential Central City Zone, which is operative.

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 12

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## (b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

- RMA/1993/2531 - Subdivision Consent  
Comp. Title SUBDIVISION - Historical Reference RMA7445  
Status: Processing complete  
Applied 24/11/1993
- RMA/1968/4 - Resource consents  
3 Gracefield Avenue Central City  
Consent to alteration part of dwelling house into professional offices and to make provision for parking - Historical Reference RES9201536  
Status: Processing complete  
Applied 27/09/1968  
Granted 11/12/1968  
Decision issued 11/12/1968
- RMA/1979/33 - Resource consents  
3 Gracefield Avenue Central City  
Consent to erect a canopy and eaves in front yard - Historical Reference RES9201534  
Status: Processing complete  
Applied 27/03/1979  
Granted 30/03/1979  
Decision issued 30/03/1979
- RMA/1981/60 - Resource consents  
3 Gracefield Avenue Central City  
To erect 4 apartment units, 2 of which will be used as professional offices on land zoned Res 4/5 - Historical Reference RES9201533  
Status: Processing complete  
Applied 09/11/1981  
Declined 08/03/1982  
Decision issued 08/03/1982
- RMA/1981/871 - Resource consents  
3 Gracefield Avenue Central City  
Professional offices in R/5 zone - Historical Reference RES954415  
Status: Processing complete  
Applied 10/11/1981  
Declined 04/03/1982  
Decision issued 04/03/1982
- RMA/1991/115 - Resource consents  
3 Gracefield Avenue Central City  
To erect 4 apartments where - northern recession plane intruded - outdoor living space for one unit is deficient - garage doors less than 6m from - Historical Reference RES9201532  
Status: Processing complete  
Applied 06/03/1991  
Granted 11/04/1991  
Decision issued 11/04/1991

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 13

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 14

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 9. Other land and building classifications

*Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.*

 For land and building enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

Please refer to Section 1 for details

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 15


**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

## 10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

 For network enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

- **None recorded for this property**

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 16

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)



## 11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Kerbside waste collection

- Your organics are collected Weekly on Tuesday. Please leave your organics at the Kerbside by 6:00 a.m.
- Your recycling is collected Fortnightly on the Week 2 collection cycle on a Tuesday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Metro Place EcoDrop.
- Your refuse is collected Fortnightly on the Week 2 collection cycle on a Tuesday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Metro Place EcoDrop.

### (b) Other

#### • Floor Levels Information

Christchurch City Council holds a variety of information relevant to building/property development across the city. This includes minimum finished floor levels that need to be set to meet the surface water requirements in clause E1.3.2 of the building code (where this applies), and the requirements of the Christchurch District Plan (where a property is in the Flood Management Area). Where this information has been processed for your site, it can be viewed at <https://ccc.govt.nz/floorlevelmap/>, otherwise site specific advice can be obtained by emailing [floorlevels@ccc.govt.nz](mailto:floorlevels@ccc.govt.nz)

#### • Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. For more information, please refer to: <https://ccc.govt.nz/providing-guest-accommodation/>.

#### • Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. This can depend on the size of the unit, its specific location in the zone and how the activity is carried out. For more information, please contact the Duty Planner at [DutyPlanner@ccc.govt.nz](mailto:DutyPlanner@ccc.govt.nz) or refer to the rules for guest accommodation activities in the Residential Central City zone in the Christchurch District Plan (Rule 14.6.1 P9 and P10).

#### • Community Board

Property located in Papanui-Innes-Central Community Board.

#### • Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

#### • Electoral Ward

Property located in Central Electoral Ward

#### • Listed Land Use Register

Property address:

3 Gracefield Avenue

LIM number: H03140145

Page 17

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz)

- **Spatial Query Report**

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

## Related Information

- Please see attached a copy of the Detailed Engineering Evaluation (DEE) assessment report.

Property address:

3 Gracefield Avenue

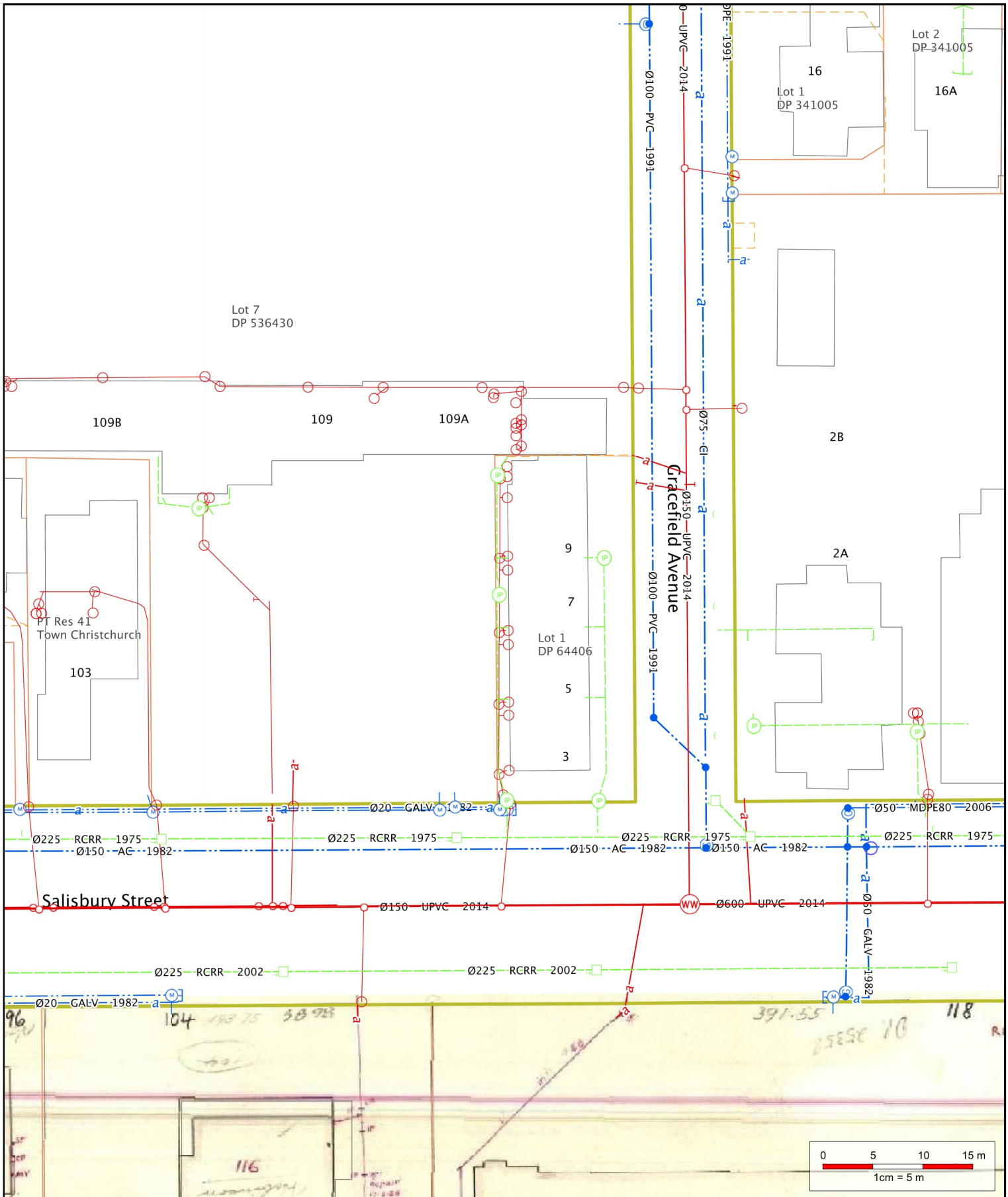
LIM number: H03140145

Page 18

**Christchurch City Council**

53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984

[www.ccc.govt.nz](http://www.ccc.govt.nz)




**1 : 500 on A4**  
 21/02/2024 11:14:20 AM  
  
 ph: 941-8300 fax: 941-8385

**Private Drainage**

- Standard Infrastructure**
- Bio Gas
  - Condensate Trap
  - End Cap
  - Inlet
  - Outlet
  - Valve
  - Main
  - Cable
- Water Intake/Supply**
- Connector
  - Bellows
  - Connector
  - Hydrant

- Water Intake/Supply**
- Inlet
  - Meter
  - Outlet
  - Pump
  - Restrictor
  - Valve
  - Air Release
  - Butterfly
  - Flow restriction
  - Gate
  - Pressure Activated
  - Sluice
  - Vaive
  - Reservoir
  - Structure
  - Lateral
  - Main
  - Sub Main

- Wastewater**
- End Cap
  - Valve
  - Air Gap Separator
  - Vent
  - Eye
  - Eye (Vertical)
  - Outlet
  - Pump
  - Junction
  - Access
  - Flush Manhole
  - Inspection Point
  - Standard Manhole
  - Trap
  - Vented Manhole
  - Lateral
  - Pressure Main

- Wastewater**
- Lateral Fitting
  - Local Pressure**
  - Control Panel
  - Boundary Kit
  - Tank System
  - Site
  - Vacuum Chamber
  - Vacuum Breaker
- Stormwater**
- Bend
  - Change
  - Eye
  - Flow Restriction
  - Inlet
  - Dome Sump
  - Double Sump
  - Gross Debris Trap

- Stormwater**
- Inlet
  - Inlet Headwall
  - Pipe End
  - Silt Trap
  - Single Sump
  - Soak Pit
  - Triple Sump
  - Junction
  - Standard Manhole
  - Outlet
  - Pump
  - Structure
  - Basin
  - Lateral
  - Main
  - Lateral Fitting
  - Double Sump
- Stormwater**
- Lateral Fitting
  - Single Sump
  - Soak Pit
  - Inspection point
  - Manhole
- All services**
- Pipe Protection
  - Abandoned
  - Proposed
  - Out of service
- Landbase**
- Easement

Accuracy not guaranteed. Onsite verification required. Display of data scale dependent, full detail available at 1:500.  
 Copyright © 2013 Reproduction prohibited

**John Beker**  
3,5,7,9 Gracefield Avenue

Detailed Engineering Evaluation  
Qualitative Assessment

May 2012

C P G

**John Beker**  
**3,5,7,9 Gracefield Avenue, Detailed Engineering Evaluation**

This report has been prepared for John Beker by CPG New Zealand Ltd. No liability is accepted by this company or any employee or sub-consultant of this company with respect to its use by any other parties.

This disclaimer shall apply notwithstanding that the report may be made available to other persons for an application for permission or approval to fulfil a legal requirement.

Quality Assurance Statement		
Task	Responsibility	Signature
Project Manager:	Zavien Teh	
Prepared by:	Zavien Teh	
Reviewed by:	Sean Gardiner	
Approved for Issue by:	Sean Gardiner	

Revision Schedule					
Rev. No	Date	Description	Prepared by	Reviewed by	Approved by

**Prepared by:**

CPG New Zealand  
 55 Shands Road  
 Hornby  
 PO Box 13-875  
 Christchurch, 8141

File No.:  
 Job No.: 705565  
 Date: May 2012  
 Ref: 705565-rpt120511 John Beker  
 Gracefield Ave DEE zxt-ca.doc

New Zealand  
 Telephone: +64 3 3746515  
 Fax: +64 3 374 6516  
 E-mail: your\_city@nz.cpg-global.com

**John Beker**  
**3,5,7,9 Gracefield Avenue, Detailed Engineering Evaluation**

**TABLE OF CONTENTS**

---

---

**EXECUTIVE SUMMARY**

**1.0 INTRODUCTION**

**2.0 ASSESSMENT**

2.1	Building Description	1
2.2	Structural System	1
2.3	Observation	2
2.3.1	No 3 Gracefield Avenue	2
2.3.2	No 5 Gracefield Avenue	2
2.3.3	No 7 Gracefield Avenue	3
2.3.4	No 9 Gracefield Avenue	3
2.4	Structural Performance	4
2.5	Geotechnical Considerations	4
2.6	Building Safety Evaluation	4

**3.0 RECOMMENDATIONS**

3.1	Repairs to the Damages	4
3.2	Quantitative Assessment and Strengthening	5
3.3	Assessment to the adjacent Garage Wall	5

**4.0 REFERENCES**

**5**

**IMPORTANT DISCLAIMER**

**APPENDIX A**

**QUALITATIVE ASSESSMENT**

**APPENDIX B**

**REFERENCES**

**APPENDIX C**

**PHOTOGRAPHS**

**APPENDIX D**

**INITIAL EVALUATION PROCEDURE**

---

## EXECUTIVE SUMMARY

---

CPG New Zealand Ltd (CPG) has been engaged by John Beker to undertake a Detailed Engineering Evaluation (Qualitative) of 3,5,7,9 Gracefield Avenue, Christchurch Central.

This Qualitative assessment was undertaken broadly in accordance with the draft Guidance on Detailed Engineering Evaluation of Earthquake Affected Non-Residential Buildings in Canterbury, Part 2 (Guidance).

Record documents including architectural and structural drawings were reviewed.

A critical structural weakness identified was the severe pounding potential of the building to the neighbouring garage wall adjacent to Unit 9.

A site visit was undertaken to gain an understanding of the structure and to identify structural damages, if any to the building. Some minor structural damages were observed. There were no signs of liquefaction and lateral spreading on site.

The structural performance of the building was assessed at 66% NBS.

This is above the 33% limit above which the Guidance categorises as not likely to be earthquake prone and is a moderate risk building.

The assessed structural capacity is close to the 67% NBS minimum strength recommended by SESOC, as such no further assessment or strengthening is recommended.

Enhanced seismic performance could be obtained by increasing the seismic gap between this and the neighbouring building, though this is not practical

---

## 1.0 INTRODUCTION

---

CPG New Zealand Ltd. (CPG) has been engaged by John Beker to undertake a Detailed Engineering Evaluation (Qualitative) of 3, 5, 7 and 9 Gracefield Avenue, Christchurch Central.

This report is formatted to be compliant with the requirements of the draft Guidance on Detailed Engineering Evaluation of Earthquake Affected Non-Residential Buildings in Canterbury, Part 2 (Guidance). An explanation of this procedure is outlined in Appendix A.

We have deviated from the Guidance document in that we have not carried out any geotechnical investigation, and an intrusive investigation was not undertaken.

This qualitative assessment has been carried out generally in accordance with Building Act requirements, Christchurch City Council Requirements for Earthquake-Prone Buildings, and recent seismicity changes for Christchurch.

---

## 2.0 ASSESSMENT

---

### 2.1 Building Description

The building is rectangular in plan at 7.7m in width and 31.7m in length, giving a total footprint area of approximately 244m<sup>2</sup>. It is divided into 4 residential units.

The building has two storeys with each storey height at 2.5m. The total building height to the ridge is 9m.

The building is being used as residential units with single bay garage parking at ground floor level. The end unit, No. 9, has a ground level lean-to roof at the gable end providing double garage parking.

Building consent was granted in 1993.

The building's make-up consists of exposed concrete panel walls with duopitch metal roofing.

Although the building is residential it is not exempt from earthquake-prone Building Act legislation as it is more than single storey and contains more than two household units.

### 2.2 Structural System

The substructure generally consists of 100mm thick concrete ground bearing slab with edge thickenings to support the concrete wall panels. A reinforced concrete strip footing is provided at the end gable of unit 3. Two reinforced concrete pad footings are provided at unit 9 to support the steel posts supporting the wall above.

The superstructure consists of full height reinforced concrete tilt-panel walls and first floor precast concrete flat slabs (Unispan) with structural topping. The floor slabs are tied to the wall panels providing diaphragm action. The roof structure consists of timber truss rafters supported on the front and rear walls. We did not observe any roof plane bracings at the roof trusses.



Vertical and lateral stability are provided by the precast wall panels in both directions. Lateral loads are transmitted to the load-bearing wall panels via diaphragm action of the first floor slab and roof joists.

## 2.3 Observation

CPG inspected the building on 29 March 2012. Weather conditions were clear and dry. The inspection was undertaken mainly from floor level and non-intrusive. The attic space was observed from the access hatch only.

Level measurements were taken at selected points across the exposed concrete slab areas including all garage slabs. These were not detailed level measurements but were taken using hand-held equipment, sufficient for the purpose of determining the relative floor heights across the slab and identifying differential settlement.

A global critical structural weakness identified was the pounding potential between the end unit, No. 9 with the garage wall of the neighbouring property.

The following were observed as summarised in a sketch included in the appendix:

### 2.3.1 No 3 Gracefield Avenue

- › On the front elevation, hairline cracks above the entrance to the first floor window, vertical crack on the parapet in the centre of the building, and vertical crack above the garage door.
- › On the side elevation, cracks between ground floor window to first floor window above, and diagonal crack between roof space vent and first floor window
- › On the rear elevation, horizontal hairline cracks on the corner of the building, diagonal cracks from all of the window openings propagated towards the centre of the elevation and vertical crack on the parapet in the centre of the building.
- › In the garage, cracks on the concrete slab up to approximately 5mm in width. A maximum floor variation of 10mm was identified across the garage slab. The maximum slope on the slab was approximately 0.3%, which is likely within the original construction specification.

### 2.3.2 No 5 Gracefield Avenue

- › On the front elevation, hairline cracks above the garage door to the window above, hairline cracks above the entrance. Crack on the slab edge at the entrance.
- › On the rear elevation, vertical cracks beneath the first floor windows, vertical hairline cracks from beneath the ground floor window to ground level and diagonal cracks at the ground floor window corners.
- › In the garage, cracks on the concrete slab up to approximately 1mm in width. A maximum floor variation of 20mm was identified across the garage slab. The maximum slope on the slab was approximately 0.3%, which is likely within the original construction specification.
- › In the ground floor living room, a construction joint spanning from the front to the rear of the property was observed in the middle of the room. There appeared to be mortar in the joint which was cracked in some areas. A crack was identified on the slab near the dining area at the rear.
- › In the roof space, a vertical tie from the ridge plate appeared to be disconnected and sawn off.

### 2.3.3 No 7 Gracefield Avenue

- › On the front elevation, hairline cracks above the garage door to the window above, hairline cracks above the entrance to the window above.
- › On the rear elevation, vertical cracks on the parapet, hairline cracks between the doorway to the two windows directly above, diagonal cracks from top of doorway to the right, diagonal cracks from corner ground floor window to ground level.
- › In the garage, cracks on the concrete slab with a maximum floor variation of 12mm. The maximum slope on the slab was approximately 0.3%, which is likely within the original construction specification.
- › A crack in the flexible pavement across the driveway, possibly due to settlement.

### 2.3.4 No 9 Gracefield Avenue

- › On the front elevation, hairline cracks above the garage door, crack from the entrance to the window above. Crack on the slab edge at the front entrance, approximately 3mm wide.
- › At the front elevation, there appeared to be a gap at high level between Unit 9 and the neighbouring garage wall, with no gap evident at low level. It is assumed that Unit 9 and the adjacent wall were originally abutting each other but have since experienced differential movement, resulting in the gap or separation observed at high level.
- › On the rear elevation, hairline cracks from the sliding door opening to all of the first floor windows, diagonal cracks from the ground floor window corners to ground level, diagonal crack from the small doorway opening to lean-to roof above.
- › At the rear corner, the joint sealant between the wall panel intersections was deteriorated.
- › At the rear corner, the separation between the end wall and neighbouring wall was measured at approximately 36mm.
- › In the garage, cracks on the concrete slab up to approximately 10mm in width. Differential settlement at the crack across the slab, approximately 5mm in height. A maximum floor variation of 32mm was identified across the garage slab. The maximum slope on the slab was approximately 0.4%.
- › In the garage, two vertical hairline cracks were observed on the concrete gable beam at first floor level. At the lean-to roof, one joist at the rear had horizontal splitting along the grain close to the support. There did not appear to be any fixings between the joists and wallplates.
- › A crack in the flexible pavement across the garage entrance, possibly due to settlement.

The following is beyond the scope of this report but was observed during the site visit:

- › Viewed from the driveway of Unit 9, the neighbouring garage wall had low level horizontal cracks and a vertical crack from ground level to mid-height level.
- › Viewed from the other side, the neighbouring garage wall appeared to have a similar vertical crack from ground level to mid-height level; it is possible that the wall has cracked through in this section.

## 2.4 Structural Performance

This assessment is based on a qualitative approach. The procedure is set out in the New Zealand Society for Earthquake Engineering (NZSEE) document “Assessment and Improvement of the Structural Performance of Buildings in Earthquakes”.

The purpose of the IEP is “to identify, with a reasonable confidence level, all those buildings which will be potentially earthquake prone.” The process compares the performance of existing buildings against the standards required for a new building. The output is expressed as a percentage of New Building Standard (%NBS)

No quantitative assessment of this building has been carried out. We have made no attempt to assess the capacity of the various structural elements of the building.

The capacity of the building was assessed at **66%** of NBS, this value was largely dependent on the severe pounding potential with the neighbouring garage adjacent to Unit 9 due to the small separation.

A comparison with the loadings code (NZS4203:1992) likely used during the design of the buildings corresponds to 80% NBS (excluding effects of pounding) and correlates closely to the above result.

The NBS values in both principal axes are above the 33% threshold above which it is deemed as not likely to be earthquake prone. This means that the building is at low risk of major damage or collapse in a moderate earthquake.

## 2.5 Geotechnical Considerations

The land is zoned Green, Technical Category 2 (TC2) with minor to moderate land damage from liquefaction possible in future significant earthquakes. There was no evidence of liquefaction or significant foundation damage.

No releveling is required consequently no further geotechnical investigation is recommended.

## 2.6 Building Safety Evaluation

The damage observed is not likely to significantly affect the expected future seismic performance of the building. No restrictions on occupancy are recommended.

---

## 3.0 RECOMMENDATIONS

---

### 3.1 Repairs to the Damages

We recommend the following repairs for the structural damages identified:

- › Use epoxy grout injection to repair the cracks in the concrete wall panels and ground slab.
  - Cracks 0.2 to 2.0mm – Sikadur Injectokit TH
  - Cracks 2.0 to 8.0mm – Sikadur 52
  - Cracks 8.0 to 20mm – Sikadur 42

#### Unit 5

- › In the roof space, reinstate the truss tie using similar size and grade timber.
- › Concrete panels should be repainted with a high build paint such as Pesarc X200 to maintain waterproof barrier.

#### Unit 9

- › Given the extent of cracking we recommend demolishing and rebuilding the garage slab. This will involve drilling and grouting into existing concrete, recompaction of hardfill as necessary, replace and lapping of the damp proof membrane repour concrete reinforced with ductile mesh.
- › All other cracks in the walls and beams to use Sikadur as above.
- › At the lean-to roof, strengthen the damaged joist by bolting a similar size joist using M12 coach bolts with 50x50x5 MS washers at 600 centres.
- › At the lean-to roof, fix joists to wallplates using Lumberlok Diagonal Cleat N21 with 3no. 30mm x 3.15 dia nails each into joist and wallplate.
- › Cracks were observed at all garage slabs, it is likely that there are cracks in the ground floor living room areas also. We recommend lifting the carpets in the living rooms to investigate for cracks and undertake repairs using epoxy grout injection as above.

### 3.2 Quantitative Assessment and Strengthening

The IEP value for this building is assessed at 66% NBS. This is close to the 67% NBS limit below which structural strengthening is recommended by the NZSEE Guidance document.

However it is noted that the main factor in the assessed 66% NBS value was the pounding potential with the adjacent property. The lack of separation between both the warehouse building and adjacent property resulted in the significant pounding potential.

Pounding potential would only be eliminated by increasing the separation between the building and adjacent property, which is not practicable.

It is considered that Quantitative Detailed Engineering Evaluation and structural strengthening are not required.

### 3.3 Assessment to the adjacent Garage Wall

The neighbouring garage wall adjacent to Unit 9 should be assessed with repairs to the wall undertaken where required.

---

## 4.0 REFERENCES

---

Reference was made to the following documents:

- › Structural engineering drawings by Alan Reay Consultants Ltd, ref 3978 dated December 1992 and February 1993.

---

## **IMPORTANT DISCLAIMER**

---

This Report has been prepared by CPG New Zealand Ltd (CPG) for John Beker. No liability is accepted by CPG or any employee or sub-consultant of CPG with respect to its use by any other parties. This disclaimer shall apply notwithstanding that the report may be made available to other persons for an application for permission or approval to fulfil a legal requirement.

Unless stated otherwise, this Report and assessment herein are based on a visual and non-intrusive walk-around inspection of the Building.

CPG has not carried out a full quantitative assessment, we have not commented on the Building's degree of compliance with the New Zealand Building Act or any other relevant codes or standards other than the structural aspects.

CPG has not attempted to assess the cost of repairs or the cost of replacement.

Recommendations contained in this report are subject to compliance with land rehabilitation and flood level requirements which are being assessed by others, and are included for guidance only.

CPG is not responsible for obtaining agreement with the building owner or obtaining the necessary consents from councils for undertaking any building work.

In accepting delivery and/or using this Report, the recipient agrees that he/she accepts the report on the basis set out herein.

# **APPENDIX A**

## **Qualitative Assessment**

CPCG

## **Qualitative Assessment**

Qualitative assessment is the first stage of a Detailed Engineering Evaluation (DEE) of earthquake damaged buildings. It follows on from initial and rapid assessments which are primarily concerned with structural safety of buildings. Procedures are outlined in the “Guidance on Detailed Engineering Evaluation of Earthquake Affected Non-Residential Buildings in Canterbury” draft document which is being developed by the Department of Building and Housing’s (DBH) Engineering Advisory Group (EAG).

The purpose of the qualitative assessment procedure is to develop a picture of the damage that a building has sustained, its causes, and the overall impact on the building’s future performance. The following procedure is recommended in the Draft and shown graphically in Appendix A

1. Review the initial safety assessments and determine the status of the building
2. Review existing documentation to establish the structural systems
3. Review foundation performance including review of geotechnical conditions at the site
4. Summarise likely damage patterns and identify on a marked up drawing
5. Detailed site investigation to observe areas marked up for attention where damage is thought likely to occur – This is expected to involve intrusive inspections where wall linings, floor covering etc. are removed to allow direct observation of underlying structure and a verticality survey where required
6. Geotechnical and foundation investigations to establish actual conditions at the site including levelling of floors to quantify settlements.
7. A thorough investigation of possible collapse hazards or critical structural weaknesses (CSW)
8. An assessment of the original (pre earthquake) strength and the residual (post-earthquake) strength of the building relative to current codes
9. Assessment of whether or not the building has sustained substantial damage

The above is required so that a comprehensive understanding of the building’s performance is achieved. This will enable a preliminary assessment of the required repairs and strengthening, to a suitable level for owners to consider their preferred strategy for future retention or demolition.

Developed Draft for EAG, 19 July

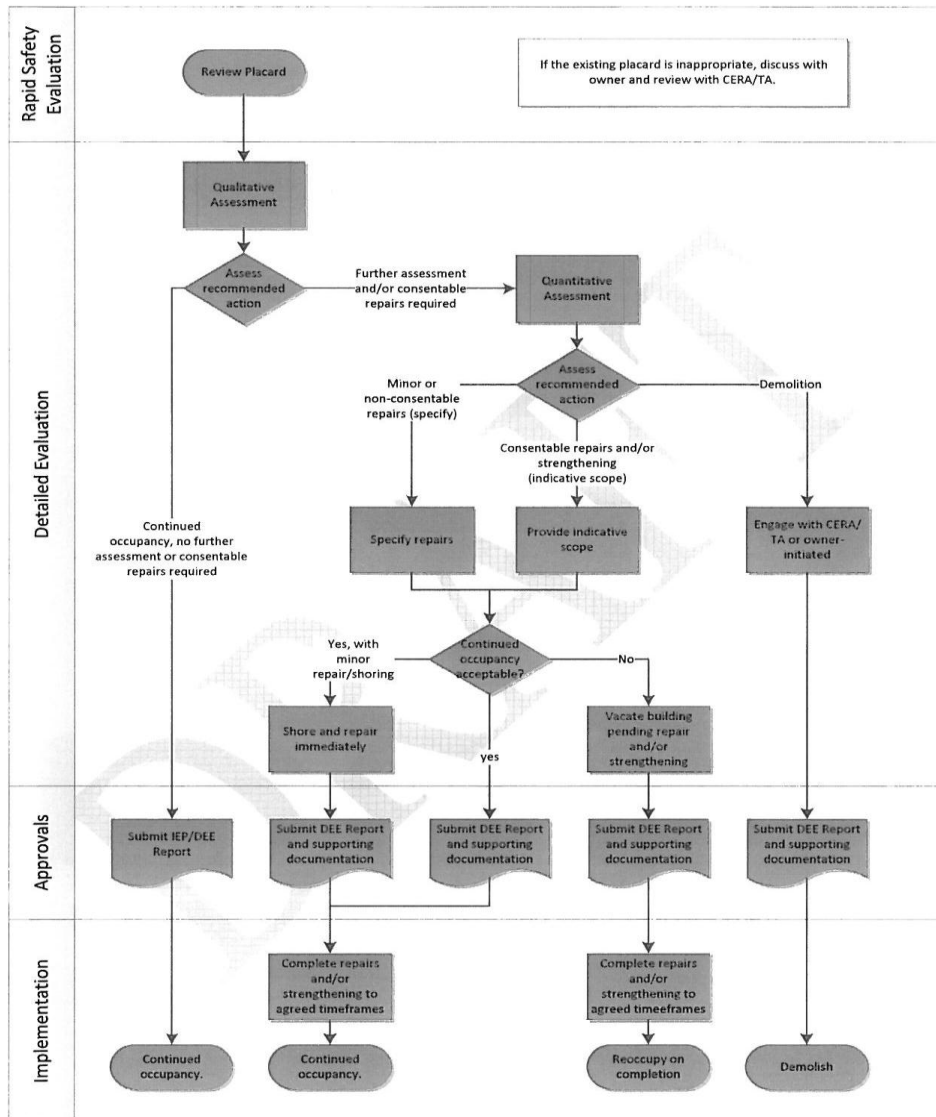


Figure 4-1: Detailed Engineering Evaluation - Overall Procedure Outline

Note: It may be advantageous to submit the DEE for discussion and approval ahead of any subsequent building consent application.



Developed Draft for EAG, 19 July

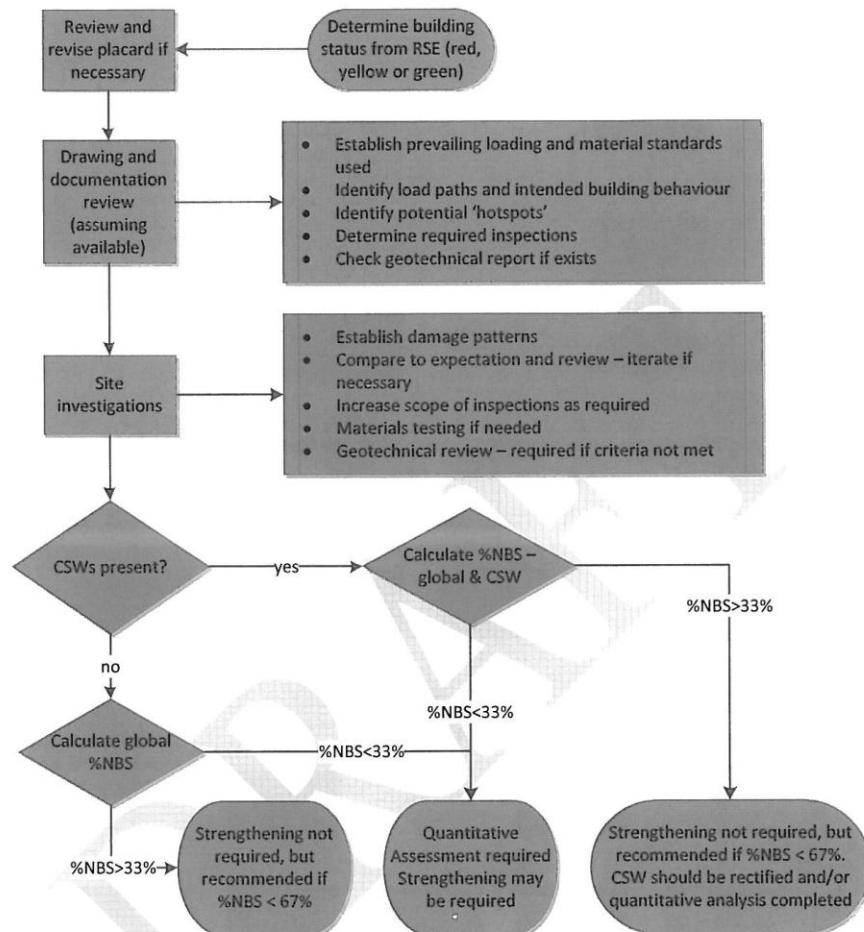


Figure 4-2: Qualitative Assessment Procedure

# **APPENDIX B**

## **Photos and Site Notes**

CPCG

### 3 Gracefield Avenue



**Front elevation**



**Crack near rear window, ground floor**



**Crack near rear window, first floor**



**Crack in garage slab**



**Crack at rear corner, ground floor**



**Crack at rear corner, ground floor**



**5 Gracefield Avenue**



**Front garage**



**Crack at slab edge, entrance**



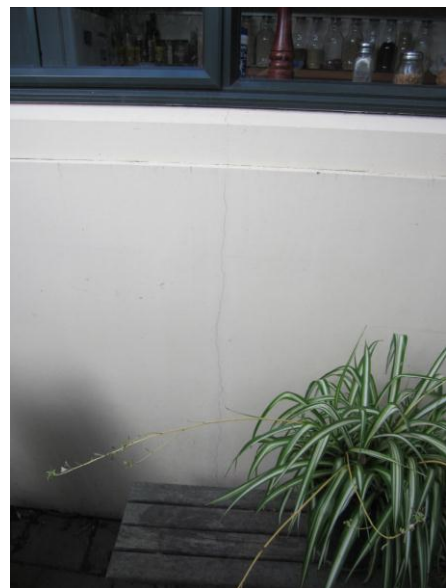
**Crack in garage slab**



**Crack in living room slab**



**Disconnected roof tie**



**Crack at rear window, ground floor**

**7 Gracefield Avenue**



**Front elevation**



**Crack in garage slab**



**Crack at slab edge, entrance**



**Crack above garage door**



**Crack above entrance**



**Crack at parapet**



**9 Gracefield Avenue**



**Front elevation**



**Crack at slab edge, front entrance**



**Crack at rear wall, first floor**



**Crack at rear garage wall**



**Separation at rear of garage**



**Crack at garage slab**

**9 Gracefield Avenue**



**Lean-to roof joist splitting**



**Crack at garage door lintel**



**Crack at parapet, front elevation**



**Crack at garage slab**

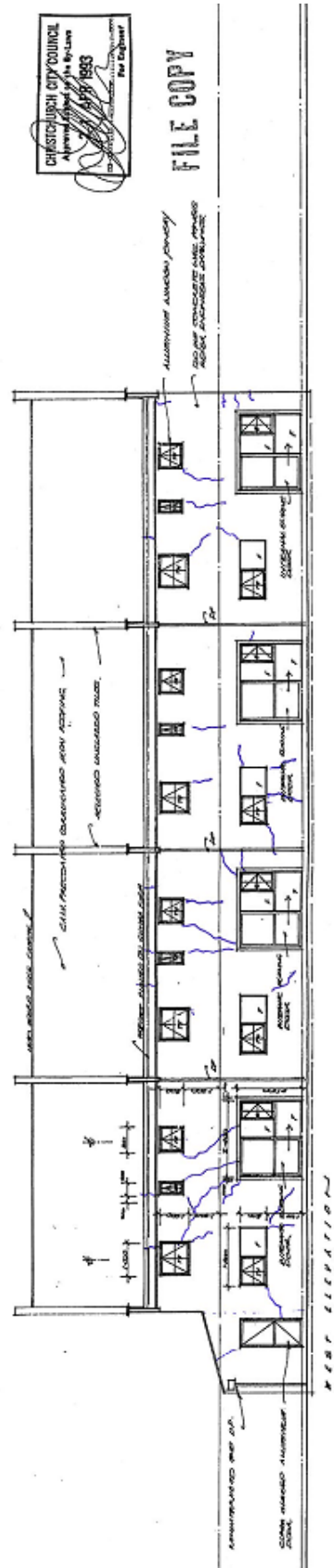
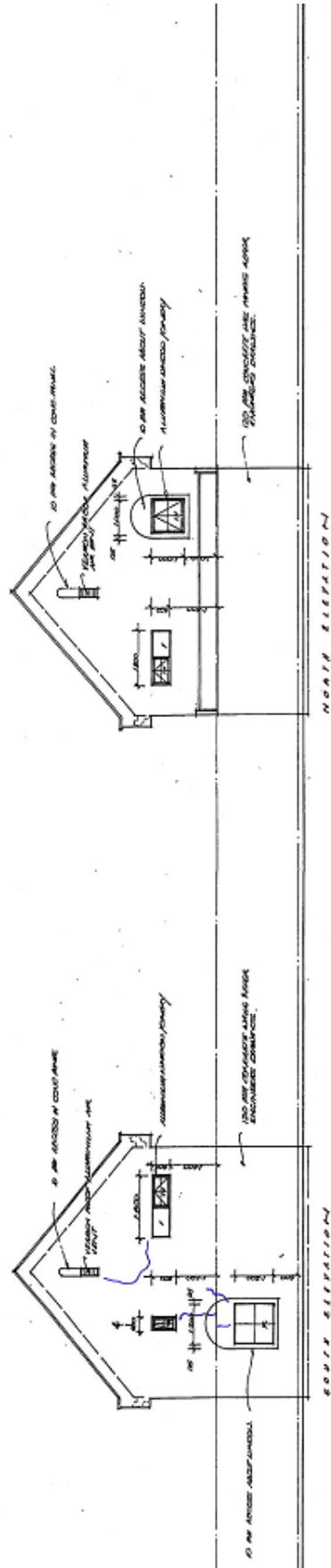
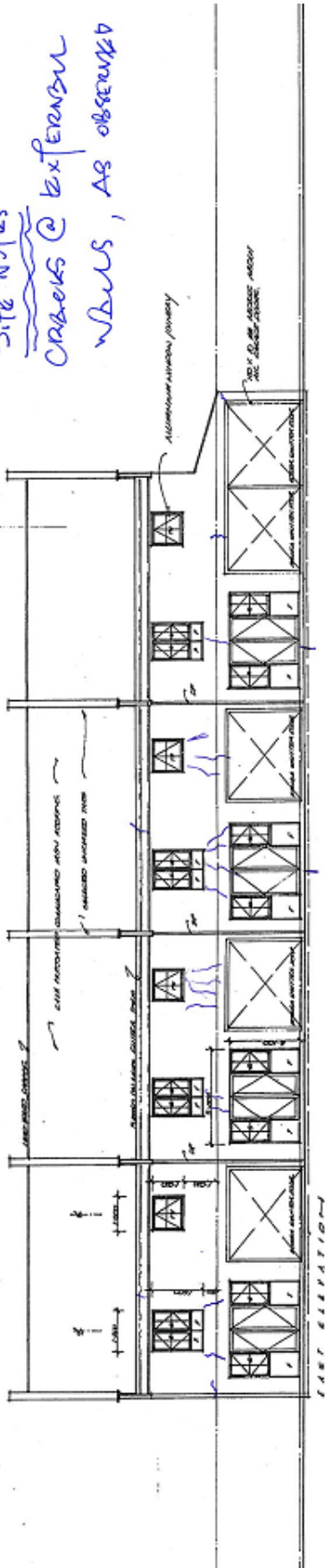


**Crack at garage door, separation to adjacent wall**



**Cracks in adjacent wall along boundary**

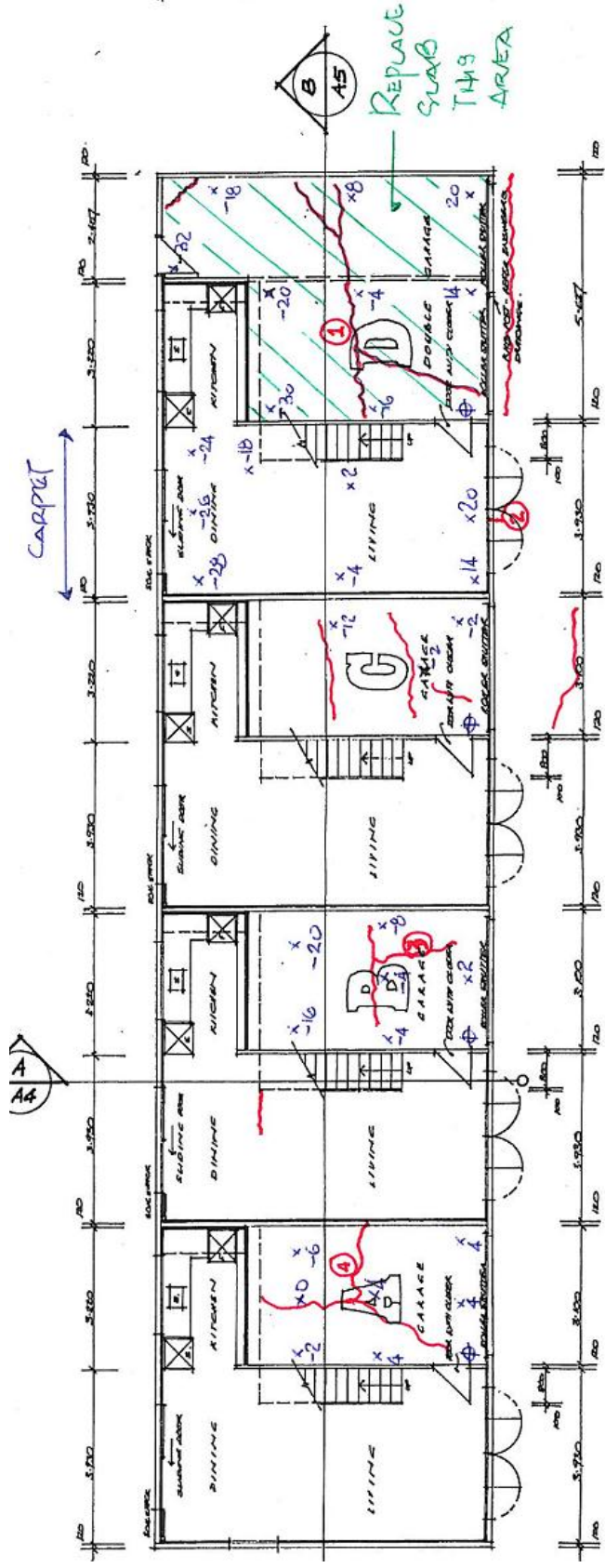
SITE NOTES  
 CRACKS @ EXTERNSUM  
 WALLS, AS OBSERVED



CHRISTOPHER CITY COUNCIL  
 Approved by the City Council  
 APR 19 1993  
 For Contract

FILE COPY





- GROUND FLOOR PLAN
- ① 5 MM VARIATION, 10 MM WIDE
  - ② 3 MM WIDE
  - ③ 1 MM WIDE
  - ④ 5 MM WIDE

⊕ DATUM - 0 (IN EACH GARAGE)

~~~~~ CRACK ON GROUND SLAB

# **APPENDIX C**

## **Initial Evaluation Procedure**

CPCG

|                                             |  |                                                      |                 |                         |
|---------------------------------------------|--|------------------------------------------------------|-----------------|-------------------------|
| <b>Location</b>                             |  | Building Name: 3,5,7,9 Gracefield Avenue             | Unit No: Street | Reviewer: Sean Gardiner |
| Building Address: 3,5,7,9 Gracefield Avenue |  | CPEng No: 242020                                     |                 |                         |
| Legal Description: Lot 1 DP 64406           |  | Company: CPG New Zealand Ltd                         |                 |                         |
| GPS south: _____                            |  | Company project number: 705565                       |                 |                         |
| GPS east: _____                             |  | Company phone number: 03 3746515                     |                 |                         |
| Building Unique Identifier (CCC): _____     |  | Date of submission: _____                            |                 |                         |
|                                             |  | Inspection Date: 29/03/2012                          |                 |                         |
|                                             |  | Revision: _____                                      |                 |                         |
|                                             |  | Is there a full report with this summary? <b>yes</b> |                 |                         |

|                                              |  |                                                |                                 |
|----------------------------------------------|--|------------------------------------------------|---------------------------------|
| <b>Site</b>                                  |  | Site slope: flat                               | Max retaining height (m): _____ |
| Soil type: silty sand                        |  | Soil Profile (if available): _____             |                                 |
| Site Class (to NZS1170.5): D                 |  | If Ground improvement on site, describe: _____ |                                 |
| Proximity to waterway (m, if <100m): _____   |  | Approx site elevation (m): _____               |                                 |
| Proximity to cliff top (m, if <100m): _____  |  |                                                |                                 |
| Proximity to cliff base (m, if <100m): _____ |  |                                                |                                 |

|                                            |  |                                                                               |                   |                                              |
|--------------------------------------------|--|-------------------------------------------------------------------------------|-------------------|----------------------------------------------|
| <b>Building</b>                            |  | No. of storeys above ground: 2                                                | single storey = 1 | Ground floor elevation (Absolute) (m): _____ |
| Ground floor split? no                     |  | Ground floor elevation above ground (m): _____                                |                   |                                              |
| Storeys below ground: 0                    |  | if Foundation type is other, describe: _____                                  |                   |                                              |
| Foundation type: raft slab                 |  | height from ground to level of uppermost seismic mass (for IEP only) (m): 7.5 |                   |                                              |
| Building height (m): 9.00                  |  | Date of design: 1976-1992                                                     |                   |                                              |
| Floor footprint area (approx): 245         |  |                                                                               |                   |                                              |
| Age of Building (years): 10                |  |                                                                               |                   |                                              |
| Strengthening present? no                  |  | If so, when (year)? _____                                                     |                   |                                              |
| Use (ground floor): multi-unit residential |  | And what load level (%a)? _____                                               |                   |                                              |
| Use (upper floors): multi-unit residential |  | Brief strengthening description: _____                                        |                   |                                              |
| Use notes (if required): _____             |  |                                                                               |                   |                                              |
| Importance level (to NZS1170.5): IL2       |  |                                                                               |                   |                                              |

|                              |  |                                       |                                                                                                                 |
|------------------------------|--|---------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| <b>Gravity Structure</b>     |  | Gravity System: load bearing walls    | truss depth, purlin type and cladding: 3m depth truss rafters, 75x50 purlins @ 900 c/c, corrugated iron roofing |
| Roof: timber truss           |  | Floors: precast concrete with topping | unit type and depth (mm), topping: _____                                                                        |
| Beams: none                  |  | Columns: load bearing walls           | overall depth x width (mm x mm): _____                                                                          |
| Walls: load bearing concrete |  |                                       | typical dimensions (mm x mm): #N/A                                                                              |

|                                               |  |                                                |                                                  |                                                |
|-----------------------------------------------|--|------------------------------------------------|--------------------------------------------------|------------------------------------------------|
| <b>Lateral load resisting structure</b>       |  | Lateral system along: concrete shear wall      | Note: Define along and across in detailed report | note total length of wall at ground (m): _____ |
| Ductility assumed, μ: 1.25                    |  | Period along: 0.40                             | ##### enter height above at H31                  | wall thickness (mm): 0.12                      |
| Total deflection (ULS) (mm): 45               |  | estimate or calculation? <b>estimated</b>      |                                                  |                                                |
| maximum interstorey deflection (ULS) (mm): 12 |  | estimate or calculation? <b>estimated</b>      |                                                  |                                                |
| Lateral system across: concrete shear wall    |  | note total length of wall at ground (m): _____ |                                                  |                                                |
| Ductility assumed, μ: 1.25                    |  | Period across: 0.40                            | ##### enter height above at H31                  | wall thickness (mm): 0.12                      |
| Total deflection (ULS) (mm): 45               |  | estimate or calculation? <b>estimated</b>      |                                                  |                                                |
| maximum interstorey deflection (ULS) (mm): 12 |  | estimate or calculation? <b>estimated</b>      |                                                  |                                                |

|                     |  |                   |                             |
|---------------------|--|-------------------|-----------------------------|
| <b>Separations:</b> |  | north (mm): _____ | leave blank if not relevant |
|                     |  | east (mm): _____  |                             |
|                     |  | south (mm): _____ |                             |
|                     |  | west (mm): _____  |                             |

|                                |  |                              |                                  |
|--------------------------------|--|------------------------------|----------------------------------|
| <b>Non-structural elements</b> |  | Stairs: precast, full flight | describe supports: _____         |
| Wall cladding: precast panels  |  | Roof Cladding: Metal         | thickness and fixing type: _____ |
| Glazing: aluminium frames      |  | Ceilings: plaster, fixed     | describe: _____                  |
| Services(list): _____          |  |                              |                                  |

|                                |  |                        |                                                                  |
|--------------------------------|--|------------------------|------------------------------------------------------------------|
| <b>Available documentation</b> |  | Architectural: partial | original designer name/date: Alan Reay Consultants Ltd, Dec 1992 |
|                                |  | Structural: partial    | original designer name/date: Alan Reay Consultants Ltd, Dec 1992 |
|                                |  | Mechanical: none       | original designer name/date: _____                               |
|                                |  | Electrical: none       | original designer name/date: _____                               |
|                                |  | Geotech report: none   | original designer name/date: _____                               |

|                       |  |                                            |                              |
|-----------------------|--|--------------------------------------------|------------------------------|
| <b>Damage Site:</b>   |  | Site performance: _____                    | Describe damage: _____       |
| (refer DEE Table 4-2) |  | Settlement: 0-25mm                         | notes (if applicable): _____ |
|                       |  | Differential settlement: 1:250-1:150       | notes (if applicable): _____ |
|                       |  | Liquefaction: none apparent                | notes (if applicable): _____ |
|                       |  | Lateral Spread: none apparent              | notes (if applicable): _____ |
|                       |  | Differential lateral spread: none apparent | notes (if applicable): _____ |
|                       |  | Ground cracks: 0-20mm/20m                  | notes (if applicable): _____ |
|                       |  | Damage to area: none apparent              | notes (if applicable): _____ |

|                  |  |                               |                                                                            |
|------------------|--|-------------------------------|----------------------------------------------------------------------------|
| <b>Building:</b> |  | Current Placard Status: green | Describe how damage ratio arrived at: _____                                |
| Along            |  | Damage ratio: _____           | $Damage\_Ratio = \frac{(\%NBS\ before) - \%NBS\ (after)}{\%NBS\ (before)}$ |
| Across           |  | Damage ratio: _____           |                                                                            |
| Diaphragms       |  | Damage?: no                   | Describe: _____                                                            |
| CSWs:            |  | Damage?: no                   | Describe: _____                                                            |
| Pounding:        |  | Damage?: yes                  | Describe: end unit 9 with the adjacent garage wall                         |
| Non-structural:  |  | Damage?: no                   | Describe: _____                                                            |

|                        |  |                                                          |                                                              |
|------------------------|--|----------------------------------------------------------|--------------------------------------------------------------|
| <b>Recommendations</b> |  | Level of repair/strengthening required: minor structural | Describe: _____                                              |
|                        |  | Building Consent required: no                            | Describe: _____                                              |
|                        |  | Interim occupancy recommendations: full occupancy        | Describe: _____                                              |
| Along                  |  | Assessed %NBS before: _____                              | 66% %NBS from IEP below                                      |
|                        |  | Assessed %NBS after: _____                               | If IEP not used, please detail assessment methodology: _____ |
| Across                 |  | Assessed %NBS before: _____                              | 66% %NBS from IEP below                                      |
|                        |  | Assessed %NBS after: _____                               |                                                              |

**IEP** Use of this method is not mandatory - more detailed analysis may give a different answer, which would take precedence. Do not fill in fields if not using IEP.

|                                                                                                                                                           |                                                                                                                  |                                             |                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|---------------------------------------------|--------------------|
| Period of design of building (from above): 1976-1992                                                                                                      | h <sub>n</sub> from above: 7.5m                                                                                  |                                             |                    |
| Seismic Zone, if designed between 1965 and 1992: B                                                                                                        | not required for this age of building: D soft soil                                                               |                                             |                    |
|                                                                                                                                                           | not required for this age of building: _____                                                                     |                                             |                    |
| Period (from above):                                                                                                                                      | along: 0.4                                                                                                       | across: 0.4                                 |                    |
| (%NBS) <sub>nom</sub> from Fig 3.3:                                                                                                                       | 26.0%                                                                                                            | 26.0%                                       |                    |
| Note:1 for specifically design public buildings, to the code of the day: pre-1965 = 1.25; 1965-1976, Zone A = 1.33; 1965-1976, Zone B = 1.2; all else 1.0 | 1.00                                                                                                             | 1.00                                        |                    |
| Note 2: for RC buildings designed between 1976-1984, use 1.2                                                                                              | 1.0                                                                                                              | 1.0                                         |                    |
| Note 3: for buildings designed prior to 1935 use 0.8, except in Wellington (1.0)                                                                          | 1.0                                                                                                              | 1.0                                         |                    |
| Final (%NBS) <sub>nom</sub> :                                                                                                                             | 26%                                                                                                              | 26%                                         |                    |
| <b>2.2 Near Fault Scaling Factor</b>                                                                                                                      | Near Fault scaling factor, from NZS1170.5, cl 3.1.6: 1.00                                                        | across: 1.00                                |                    |
|                                                                                                                                                           | Near Fault scaling factor (1/N(T,D), Factor A): 1                                                                | across: 1                                   |                    |
| <b>2.3 Hazard Scaling Factor</b>                                                                                                                          | Hazard factor Z for site from AS1170.5, Table 3.3: 0.30                                                          | across: 0.8                                 |                    |
|                                                                                                                                                           | Z <sub>1992</sub> from NZS4203:1992: 0.8                                                                         | Hazard scaling factor, Factor B: 3.33333333 |                    |
| <b>2.4 Return Period Scaling Factor</b>                                                                                                                   | Building Importance level (from above): 2                                                                        | across: 1.00                                |                    |
|                                                                                                                                                           | Return Period Scaling factor from Table 3.1, Factor C: 1.00                                                      |                                             |                    |
| <b>2.5 Ductility Scaling Factor</b>                                                                                                                       | Assessed ductility (less than max in Table 3.2): 1.25                                                            | across: 1.25                                |                    |
| Ductility scaling factor = 1 from 1976 onwards; or μ <sub>1</sub> , if pre-1976, from Table 3.3:                                                          | 1.14                                                                                                             | 1.14                                        |                    |
| Ductility Scaling Factor, Factor D:                                                                                                                       | 1.00                                                                                                             | 1.00                                        |                    |
| <b>2.6 Structural Performance Scaling Factor:</b>                                                                                                         | Sp: 0.925                                                                                                        | across: 0.925                               |                    |
| Structural Performance Scaling Factor Factor E:                                                                                                           | 1.081081081                                                                                                      | 1.081081081                                 |                    |
| <b>2.7 Baseline %NBS, (NBS%)<sub>b</sub> = (%NBS)<sub>nom</sub> x A x B x C x D x E</b>                                                                   | %NBS <sub>b</sub> : 94%                                                                                          | across: 94%                                 |                    |
| Global Critical Structural Weaknesses: (refer to NZSEE IEP Table 3.4)                                                                                     |                                                                                                                  |                                             |                    |
| 3.1. Plan Irregularity, factor A:                                                                                                                         | insignificant                                                                                                    | 1                                           |                    |
| 3.2. Vertical Irregularity, Factor B:                                                                                                                     | insignificant                                                                                                    | 1                                           |                    |
| 3.3. Short columns, Factor C:                                                                                                                             | insignificant                                                                                                    | 1                                           |                    |
| 3.4. Pounding potential                                                                                                                                   | Pounding effect D1, from Table to right: 0.7                                                                     | across: 1.0                                 |                    |
|                                                                                                                                                           | Height Difference effect D2, from Table to right: 1.0                                                            |                                             |                    |
|                                                                                                                                                           | Therefore, Factor D: 0.7                                                                                         |                                             |                    |
| 3.5. Site Characteristics                                                                                                                                 | insignificant                                                                                                    | 1                                           |                    |
| <b>Table for selection of D1</b>                                                                                                                          |                                                                                                                  |                                             |                    |
| Separation                                                                                                                                                | Severe                                                                                                           | Significant                                 | Insignificant/none |
| Alignment of floors within 20% of H                                                                                                                       | 0-sep<.005H                                                                                                      | .005-sep<.01H                               | Sepr>.01H          |
| Alignment of floors not within 20% of H                                                                                                                   | 0.7                                                                                                              | 0.8                                         | 1                  |
|                                                                                                                                                           | 0.4                                                                                                              | 0.7                                         | 0.8                |
| <b>Table for Selection of D2</b>                                                                                                                          |                                                                                                                  |                                             |                    |
| Separation                                                                                                                                                | Severe                                                                                                           | Significant                                 | Insignificant/none |
| Height difference > 4 storeys                                                                                                                             | 0-sep<.005H                                                                                                      | .005-sep<.01H                               | Sepr>.01H          |
| Height difference 2 to 4 storeys                                                                                                                          | 0.4                                                                                                              | 0.7                                         | 1                  |
| Height difference < 2 storeys                                                                                                                             | 0.7                                                                                                              | 0.9                                         | 1                  |
|                                                                                                                                                           | 1                                                                                                                | 1                                           | 1                  |
| <b>3.6. Other factors, Factor F</b>                                                                                                                       |                                                                                                                  |                                             |                    |
| For ≤ 3 storeys, max value =2.5, otherwise max value =1.5, no minimum                                                                                     | Along: 1.0                                                                                                       | Across: 1.0                                 |                    |
| Rationale for choice of F factor, if not 1                                                                                                                |                                                                                                                  |                                             |                    |
| Detail Critical Structural Weaknesses: (refer to DEE Procedure section 6)                                                                                 |                                                                                                                  |                                             |                    |
| List any: _____                                                                                                                                           | Refer also section 6.3.1 of DEE for discussion of F factor modification for other critical structural weaknesses |                                             |                    |
| <b>3.7. Overall Performance Achievement ratio (PAR)</b>                                                                                                   | 0.70                                                                                                             | 0.70                                        |                    |
| <b>4.3 PAR x (%NBS)<sub>b</sub></b>                                                                                                                       | PAR x Baseline %NBS: 66%                                                                                         | 66%                                         |                    |
| <b>4.4 Percentage New Building Standard (%NBS), (before)</b>                                                                                              |                                                                                                                  | 66%                                         |                    |



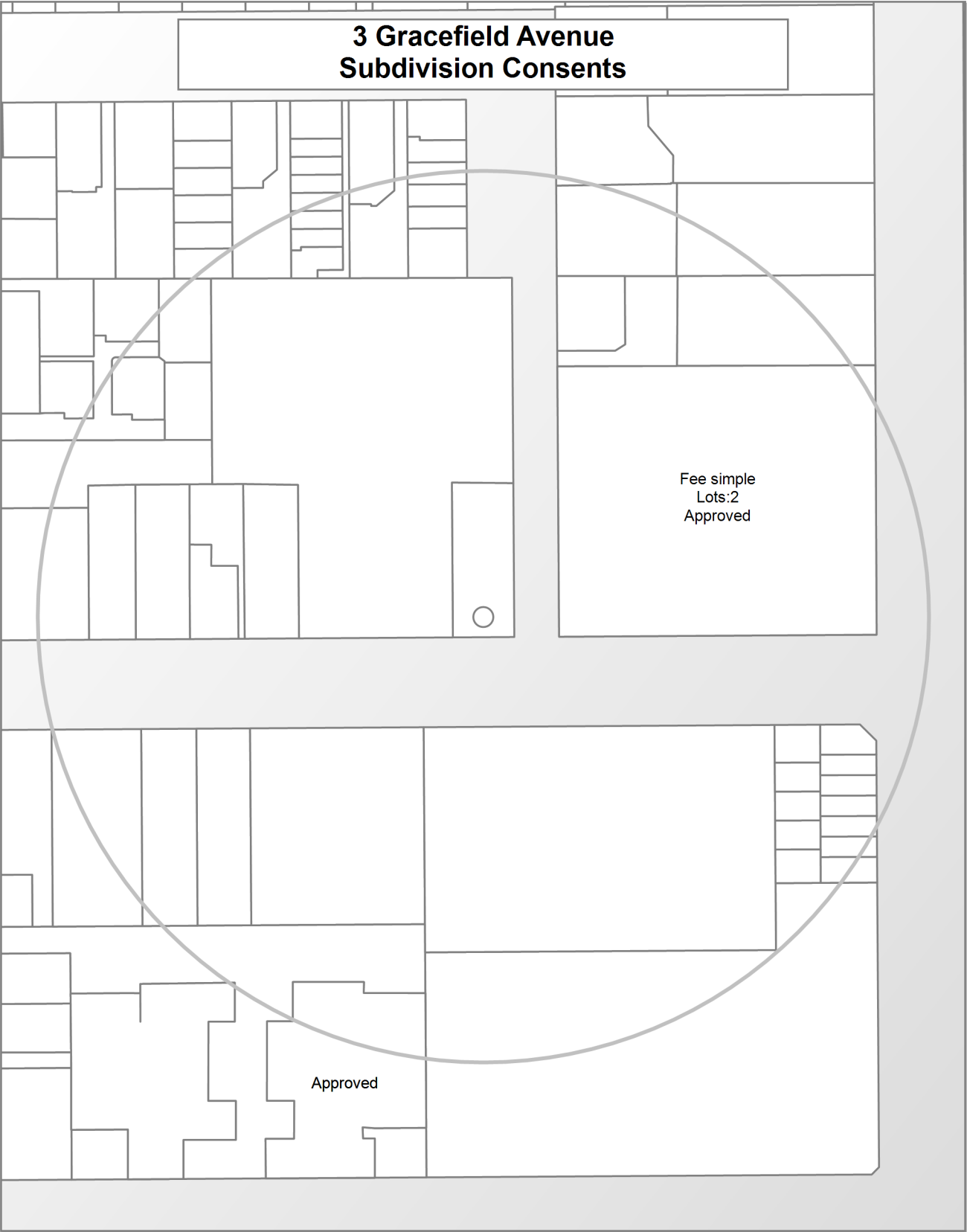
### 3 Gracefield Avenue Land Use Consents



**3 Gracefield Avenue  
Subdivision Consents**

Fee simple  
Lots:2  
Approved

Approved



## Land Use Resource Consents within 100 metres of 3 Gracefield Avenue

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

---

### 1/128 Salisbury Street

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Granted 11/08/2021

Decision issued 13/08/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Granted 25/01/2022

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

Decision issued 25/01/2022

Conditions changed/cancelled - s127 20/03/2023

## **1/27 Gracefield Avenue**

RMA/1995/2202

Application for carport to be located in front setback. - Historical Reference RES953231

Processing complete

Applied 03/08/1995

Decision issued 24/08/1995

Granted 24/08/1995

RMA/1998/996

To replace the existing living area window which is located within the required 3 metre set back from a boundary. - Historical Reference RES981086

Processing complete

Applied 27/04/1998

Decision issued 18/05/1998

Granted 18/05/1998

RMA/2016/2068

Construction of two new dwellings with attached garages

Processing complete

Applied 29/07/2016

Decision issued 22/09/2016

Granted 21/09/2016

Within scope amendment accepted 19/02/2018

Within scope amendment decision issued 19/02/2018

RMA/2019/2267

To Construct Six Residential Units

Processing complete

Applied 03/10/2019

Conditions changed/cancelled - s127 27/10/2020

Decision issued 16/10/2019

Granted 16/10/2019

Within scope amendment accepted 24/03/2020

Within scope amendment decision issued 24/03/2020



RMA/2020/2631

Fee simple subdivision - six lots

Processing complete

Applied 12/11/2020

s223 Certificate issued 22/12/2020

s224 Certificate issued 24/03/2021

Decision issued 04/12/2020

Granted 04/12/2020

### **1/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014

RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

### **1/362 Durham Street North**

RMA/2015/2760

Four Unit Development Relates to Sub RMA92031103 - Historical Reference RMA92031123

Withdrawn

Applied 02/10/2015

RMA/2017/508

Six detached units with integrated garages

Processing complete

Applied 09/03/2017

Decision issued 07/06/2017

Granted 07/06/2017

RMA/2019/896

Seven lot fee simple subdivision

Processing complete

Applied 29/04/2019

Conditions changed/cancelled - s127 17/09/2019

Amended decision issued - s133A 21/06/2019

s223 Certificate issued 26/08/2019

s224 Certificate issued 17/09/2019

Decision issued 20/06/2019

Granted 20/06/2019

### **1/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

### **10/75 Peterborough Street**

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

### **101 Salisbury Street**

RMA/2013/149

Two dwellings with attached garages - Historical Reference RMA92021735

Processing complete

Applied 04/02/2013

Decision issued 09/04/2013

Granted 09/04/2013

RMA/2014/1695

Fee Simple Subdivision - 2 Lots s223 Certification 7/4/2015 DP 485227 - Historical Reference RMA92026361

Processing complete

Applied 09/07/2014

Decision issued 24/07/2014

Granted 24/07/2014

### **101A Salisbury Street**

RMA/2013/149

Two dwellings with attached garages - Historical Reference RMA92021735

Processing complete

Applied 04/02/2013

Decision issued 09/04/2013

Granted 09/04/2013

RMA/2014/1695

Fee Simple Subdivision - 2 Lots s223 Certification 7/4/2015 DP 485227 - Historical Reference RMA92026361

Processing complete

Applied 09/07/2014

Decision issued 24/07/2014

Granted 24/07/2014

### **101A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014  
Decision issued 19/05/2014

RMA/2018/2170  
To construct seventy-two residential units (including 22 dual-key apartments)  
Processing complete  
Applied 05/09/2018  
Granted 02/11/2018  
Decision issued 02/11/2018  
Decision issued 02/11/2018  
Granted 02/11/2018

RMA/2018/2481  
Minimum Floor Level Certificate  
Withdrawn  
Applied 11/10/2018

RMA/2019/1905  
Unit Title Subdivision - 50 Units  
Processing complete  
Applied 22/08/2019  
Granted 19/09/2019  
Decision issued 19/09/2019  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
Decision issued 19/09/2019  
Granted 19/09/2019

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

**102A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020  
Decision issued 19/09/2019  
Granted 19/09/2019  
Granted 19/09/2019  
Decision issued 19/09/2019  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **103 Salisbury Street**

RMA/2014/3101  
Temporary accommodation - Ministerial Office - Historical Reference RMA92027800  
Processing complete  
Applied 25/11/2014  
Decision issued 12/01/2015  
Granted 11/01/2015

### **103A/118 Salisbury Street**

RMA/2013/2266  
TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984  
Processing complete  
Applied 30/10/2013  
Decision issued 13/11/2013  
Granted 11/11/2013  
Granted 11/11/2013  
Decision issued 13/11/2013

RMA/2014/945  
FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581  
Processing complete  
Applied 23/04/2014  
Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019



## **104 Salisbury Street**

RMA/2013/1060

Temporary Accommodation - Business Accommodation - Historical Reference RMA92022706

Processing complete

Applied 13/06/2013

Decision issued 24/06/2013

Granted 24/06/2013

RMA/2021/2024

Establish 3 new residential units at 96 Salisbury St and continue to occupy existing buildings for professional offices at 104 Salisbury St.

Processing complete

Applied 01/07/2021

Decision issued 10/12/2021

Granted 10/12/2021

## **104A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **105A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019  
s223 Certificate issued 23/10/2020  
Decision issued 19/09/2019  
Decision issued 19/09/2019  
s223 Certificate issued 23/10/2020  
Granted 19/09/2019  
s224 Certificate issued 23/10/2020

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **106A/118 Salisbury Street**

RMA/2013/2266  
TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984  
Processing complete  
Applied 30/10/2013  
Granted 11/11/2013  
Decision issued 13/11/2013  
Granted 11/11/2013  
Decision issued 13/11/2013

RMA/2014/945  
FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581  
Processing complete  
Applied 23/04/2014  
Decision issued 19/05/2014  
Granted 19/05/2014  
Granted 19/05/2014  
Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

**107A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Decision issued 19/09/2019

Granted 19/09/2019  
s223 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
Granted 19/09/2019  
Decision issued 19/09/2019

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **108A/118 Salisbury Street**

RMA/2013/2266  
TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984  
Processing complete  
Applied 30/10/2013  
Decision issued 13/11/2013  
Granted 11/11/2013  
Granted 11/11/2013  
Decision issued 13/11/2013

RMA/2014/945  
FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581  
Processing complete  
Applied 23/04/2014  
Granted 19/05/2014  
Decision issued 19/05/2014  
Decision issued 19/05/2014  
Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019



## **109 Salisbury Street**

RMA/1976/212

Consent to extend line of some existing buildings along southern boundary for 50 feet in conjunction with rebuilding of fire damaged lounge and will incorporate existing Office and store - Historical Reference RES9211966

Processing complete

Applied 28/09/1976

Decision issued 14/12/1976

Granted 14/12/1976

RMA/1985/634

Consent to erect a cool room adjacent to boundary on clubs carpark area - Historical Reference RES9211965

Processing complete

Applied 13/05/1985

Decision issued 20/06/1985

Granted 20/06/1985

RMA/1993/1067

Consent to carry out a boundary adjustment which removes the 1.5m landscaping strip required between carparks and an internal boundary in a residential zone - Historical Reference RES9222263

Processing complete

Applied 01/01/1993

Decision issued 04/03/1993

Granted 04/03/1993

RMA/1993/92

Consent for Canty. bowling Club to replace soil shed - which intrudes recession plane and reduce setback from 5.5 to 3m - Historical Reference RES9213815

Processing complete

Applied 02/08/1993

Decision issued 26/08/1993

Granted 26/08/1993

RMA/2013/1755

TEMPORARY ACCOMMODATION - Historical Reference RMA92023450

Expired

Applied 03/09/2013

Decision issued 17/09/2013

Granted 09/09/2013

RMA/2020/405

To construct and operate a community facility including a cafe, market garden, sheltered housing and six dwellings

Processing complete

Applied 27/02/2020

Conditions changed/cancelled - s127 17/11/2022

Decision issued 09/11/2020

Granted 06/11/2020

Conditions modified on appeal 18/06/2021

RMA/2021/1033

To establish and operate a temporary 32 bay car parking facility

Processing complete

Applied 20/04/2021

Decision issued 03/06/2021

Granted 03/06/2021

RMA/2021/3743

Earthworks - The disturbance and removal of contaminated soil

Processing complete

Applied 08/11/2021

Decision issued 28/04/2022

Granted 28/04/2022

### **109A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **110A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
Decision issued 19/09/2019  
Granted 19/09/2019

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **111A/118 Salisbury Street**

RMA/2013/2266  
TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984  
Processing complete  
Applied 30/10/2013  
Decision issued 13/11/2013  
Granted 11/11/2013  
Granted 11/11/2013  
Decision issued 13/11/2013

RMA/2014/945  
FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581  
Processing complete  
Applied 23/04/2014  
Granted 19/05/2014  
Decision issued 19/05/2014  
Decision issued 19/05/2014  
Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **14/75 Peterborough Street**

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

## **16 Gracefield Avenue**

RMA/2017/2012

Alterations and Additions to existing Dwelling

Processing complete

Applied 24/08/2017

Decision issued 18/09/2017

Granted 18/09/2017

## **16/75 Peterborough Street**

RMA/2003/845

Convert business unit to residential use - Historical Reference RMA20013120

Processing complete

Applied 31/03/2003

Decision issued 07/04/2003

Granted 04/04/2003

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

### **16A Gracefield Avenue**

RMA/2017/2437

Establishment of a first-floor studio as an addition to an existing two-storey dwelling

Processing complete

Applied 05/10/2017

Decision issued 07/11/2017

Granted 07/11/2017

### **17/75 Peterborough Street**

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

### **2/128 Salisbury Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020



RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

## **2/27 Gracefield Avenue**

RMA/1995/2202

Application for carport to be located in front setback. - Historical Reference RES953231

Processing complete

Applied 03/08/1995

Decision issued 24/08/1995

Granted 24/08/1995

RMA/1998/996

To replace the existing living area window which is located within the required 3 metre set back from a boundary. - Historical Reference RES981086

Processing complete

Applied 27/04/1998

Decision issued 18/05/1998

Granted 18/05/1998

RMA/2016/2068

Construction of two new dwellings with attached garages

Processing complete

Applied 29/07/2016

Decision issued 22/09/2016

Granted 21/09/2016

Within scope amendment accepted 19/02/2018

Within scope amendment decision issued 19/02/2018

RMA/2019/2267

To Construct Six Residential Units

Processing complete

Applied 03/10/2019

Conditions changed/cancelled - s127 27/10/2020

Decision issued 16/10/2019

Granted 16/10/2019

Within scope amendment accepted 24/03/2020

Within scope amendment decision issued 24/03/2020

RMA/2020/2631

Fee simple subdivision - six lots

Processing complete

Applied 12/11/2020

s223 Certificate issued 22/12/2020

s224 Certificate issued 24/03/2021

Decision issued 04/12/2020

Granted 04/12/2020

## **2/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014

RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

## **2/362 Durham Street North**

RMA/2015/2760

Four Unit Development Relates to Sub RMA92031103 - Historical Reference RMA92031123

Withdrawn

Applied 02/10/2015

RMA/2017/508

Six detached units with integrated garages

Processing complete

Applied 09/03/2017

Decision issued 07/06/2017

Granted 07/06/2017

RMA/2019/896

Seven lot fee simple subdivision

Processing complete

Applied 29/04/2019

Conditions changed/cancelled - s127 17/09/2019

Amended decision issued - s133A 21/06/2019

s223 Certificate issued 26/08/2019

s224 Certificate issued 17/09/2019

Decision issued 20/06/2019

Granted 20/06/2019

### **2/39 Gracefield Avenue**

RMA/2018/2909

Residential unit with attached garage and identification of future development area

Processing complete

Applied 28/11/2018

Decision issued 22/01/2019

Granted 21/01/2019

### **2/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Granted 11/08/2021

Decision issued 13/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

### **201/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **202/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

### **203/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018



RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **204/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

Decision issued 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **205/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **206/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **207/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **208/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Granted 19/09/2019

Decision issued 19/09/2019



RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **209/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **210/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **211/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **212/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Decision issued 19/09/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **213/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **214/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013



RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **215/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Decision issued 19/09/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **216/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **217/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

Decision issued 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **218/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **219/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018



RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **22 Gracefield Avenue**

RMA/2011/1738

Temporary Accommodation - Temporary Offices - Historical Reference RMA92019319

Processing complete

Applied 19/12/2011

Decision issued 21/12/2011

Granted 21/12/2011

RMA/2018/648

Temporary Accommodation - Business/Non-residential

Withdrawn

Applied 20/03/2018

## **220/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **221/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Decision issued 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **222/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
Decision issued 19/09/2019  
Granted 19/09/2019

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **3/128 Salisbury Street**

RMA/2020/2891  
Minimum Floor Level Certificate  
Processing complete  
Applied 08/12/2020  
Certificate unable to be issued 09/12/2020

RMA/2021/1132  
Five storey mixed use building.  
Withdrawn  
Applied 29/04/2021

RMA/2021/2032  
Establishment of a mixed commercial and residential development - 12 units  
Processing complete  
Applied 01/07/2021  
Decision issued 13/08/2021  
Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

### **3/20 Gracefield Avenue**

RMA/1994/1335

To erect 3 townhouses, - Historical Reference RES94102638

Processing complete

Applied 18/11/1994

Decision issued 06/12/1994

Granted 06/12/1994

Outcome not recorded 06/12/1994

### **3/27 Gracefield Avenue**

RMA/1995/2202

Application for carport to be located in front setback. - Historical Reference RES953231

Processing complete

Applied 03/08/1995

Decision issued 24/08/1995

Granted 24/08/1995

RMA/1998/996

To replace the existing living area window which is located within the required 3 metre set back from a boundary. - Historical Reference RES981086

Processing complete

Applied 27/04/1998

Decision issued 18/05/1998

Granted 18/05/1998

RMA/2016/2068

Construction of two new dwellings with attached garages

Processing complete

Applied 29/07/2016

Decision issued 22/09/2016

Granted 21/09/2016

Within scope amendment accepted 19/02/2018

Within scope amendment decision issued 19/02/2018

RMA/2019/2267

To Construct Six Residential Units

Processing complete

Applied 03/10/2019

Decision issued 16/10/2019

Granted 16/10/2019

Within scope amendment accepted 24/03/2020

Within scope amendment decision issued 24/03/2020

Conditions changed/cancelled - s127 27/10/2020

RMA/2020/2631

Fee simple subdivision - six lots

Processing complete

Applied 12/11/2020

s223 Certificate issued 22/12/2020

s224 Certificate issued 24/03/2021

Decision issued 04/12/2020

Granted 04/12/2020

### **3/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014



RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

### **3/362 Durham Street North**

RMA/2015/2760

Four Unit Development Relates to Sub RMA92031103 - Historical Reference RMA92031123

Withdrawn

Applied 02/10/2015

RMA/2017/508

Six detached units with integrated garages

Processing complete

Applied 09/03/2017

Decision issued 07/06/2017

Granted 07/06/2017

RMA/2019/896

Seven lot fee simple subdivision

Processing complete

Applied 29/04/2019

Conditions changed/cancelled - s127 17/09/2019

Amended decision issued - s133A 21/06/2019

s223 Certificate issued 26/08/2019

s224 Certificate issued 17/09/2019

Decision issued 20/06/2019

Granted 20/06/2019

**3/75 Peterborough Street**

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

**3/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Granted 25/01/2022

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

### **31 Gracefield Avenue**

RMA/2019/2941

Fee simple subdivision - Two lots

Processing complete

Applied 17/12/2019

s223 Certificate issued 22/01/2021

s224 Certificate issued 23/03/2022

Decision issued 30/01/2020

Granted 29/01/2020

s223 Certificate reissued 05/10/2021

### **31A Gracefield Avenue**

RMA/2019/2941

Fee simple subdivision - Two lots

Processing complete

Applied 17/12/2019

s223 Certificate issued 22/01/2021

s224 Certificate issued 23/03/2022

Decision issued 30/01/2020

Granted 29/01/2020

s223 Certificate reissued 05/10/2021

### **4/128 Salisbury Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

#### **4/27 Gracefield Avenue**

RMA/1995/2202

Application for carport to be located in front setback. - Historical Reference RES953231

Processing complete

Applied 03/08/1995

Decision issued 24/08/1995

Granted 24/08/1995

RMA/1998/996

To replace the existing living area window which is located within the required 3 metre set back from a boundary. - Historical Reference RES981086

Processing complete

Applied 27/04/1998

Decision issued 18/05/1998

Granted 18/05/1998

RMA/2016/2068

Construction of two new dwellings with attached garages

Processing complete

Applied 29/07/2016

Decision issued 22/09/2016

Granted 21/09/2016

Within scope amendment accepted 19/02/2018

Within scope amendment decision issued 19/02/2018

RMA/2019/2267

To Construct Six Residential Units

Processing complete

Applied 03/10/2019

Conditions changed/cancelled - s127 27/10/2020

Decision issued 16/10/2019

Granted 16/10/2019

Within scope amendment accepted 24/03/2020

Within scope amendment decision issued 24/03/2020

RMA/2020/2631

Fee simple subdivision - six lots

Processing complete

Applied 12/11/2020

Decision issued 04/12/2020

Granted 04/12/2020

s223 Certificate issued 22/12/2020

s224 Certificate issued 24/03/2021

### **4/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014

RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

### **4/362 Durham Street North**

RMA/2015/2760

Four Unit Development Relates to Sub RMA92031103 - Historical Reference RMA92031123

Withdrawn

Applied 02/10/2015

RMA/2017/508

Six detached units with integrated garages

Processing complete

Applied 09/03/2017

Decision issued 07/06/2017

Granted 07/06/2017

RMA/2019/896

Seven lot fee simple subdivision

Processing complete

Applied 29/04/2019

Conditions changed/cancelled - s127 17/09/2019

Amended decision issued - s133A 21/06/2019

s223 Certificate issued 26/08/2019

s224 Certificate issued 17/09/2019

Decision issued 20/06/2019

Granted 20/06/2019

### **4/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

## **5/128 Salisbury Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

## **5/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014



RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

### **5/362 Durham Street North**

RMA/2015/2760

Four Unit Development Relates to Sub RMA92031103 - Historical Reference RMA92031123

Withdrawn

Applied 02/10/2015

RMA/2017/508

Six detached units with integrated garages

Processing complete

Applied 09/03/2017

Decision issued 07/06/2017

Granted 07/06/2017

RMA/2019/896

Seven lot fee simple subdivision

Processing complete

Applied 29/04/2019

Conditions changed/cancelled - s127 17/09/2019

Amended decision issued - s133A 21/06/2019

s223 Certificate issued 26/08/2019

s224 Certificate issued 17/09/2019

Decision issued 20/06/2019

Granted 20/06/2019

### **5/41 Gracefield Avenue**

RMA/2020/333

Construct six residential units

Processing complete

Applied 19/02/2020

Conditions changed/cancelled - s127 30/09/2020

Decision issued 13/05/2020

Granted 13/05/2020

RMA/2023/2886

Unhosted visitor accommodation for a temporary period

Processing complete

Applied 03/11/2023

Decision issued 28/11/2023

Granted 28/11/2023

### **5/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

### **6/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014

RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

## **6/362 Durham Street North**

RMA/2015/2760

Four Unit Development Relates to Sub RMA92031103 - Historical Reference RMA92031123

Withdrawn

Applied 02/10/2015

RMA/2017/508

Six detached units with integrated garages

Processing complete

Applied 09/03/2017

Decision issued 07/06/2017

Granted 07/06/2017

RMA/2019/896

Seven lot fee simple subdivision

Processing complete

Applied 29/04/2019

Conditions changed/cancelled - s127 17/09/2019

Amended decision issued - s133A 21/06/2019

s223 Certificate issued 26/08/2019

s224 Certificate issued 17/09/2019

Decision issued 20/06/2019

Granted 20/06/2019

## **6/41 Gracefield Avenue**

RMA/2020/333

Construct six residential units

Processing complete

Applied 19/02/2020

Conditions changed/cancelled - s127 30/09/2020

Decision issued 13/05/2020

Granted 13/05/2020

## **6/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

## **7/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014

RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

Decision issued 15/12/2021

Granted 15/12/2021

### **7/835 Colombo Street**

RMA/2020/2891

Minimum Floor Level Certificate

Processing complete

Applied 08/12/2020

Certificate unable to be issued 09/12/2020

RMA/2021/1132

Five storey mixed use building.

Withdrawn

Applied 29/04/2021

RMA/2021/2032

Establishment of a mixed commercial and residential development - 12 units

Processing complete

Applied 01/07/2021

Decision issued 13/08/2021

Granted 11/08/2021

RMA/2021/3573

To construct 12 residential units

Processing complete

Applied 21/10/2021

Conditions changed/cancelled - s127 20/03/2023

Decision issued 25/01/2022

Granted 25/01/2022

### **8/35 Gracefield Avenue**

RMA/2014/352

Construct Two Dwellings See Original RMA92024659 - Historical Reference RMA92024957

Withdrawn

Applied 17/02/2014

RMA/2014/63

Construct Two Dwellings See RMA92024957 - Historical Reference RMA92024659

Cancelled

Applied 15/01/2014

RMA/2020/1152

Construct eight residential units

Processing complete

Applied 09/06/2020

Decision issued 14/07/2020

Granted 14/07/2020

RMA/2021/3748

Fee simple subdivision - 8 lots and common allotment with associated land use

Processing complete

Applied 08/11/2021

Decision issued 15/12/2021

Granted 15/12/2021

s223 Certificate issued 07/07/2022

s224 Certificate issued 07/07/2022

### **8/75 Peterborough Street**

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

### **829 Colombo Street**

RMA/2012/416

NEW EGRESS STAIR - Historical Reference RMA92019748

Processing complete

Applied 20/03/2012

Decision issued 04/04/2012

Granted 04/04/2012

RMA/2020/701

Wastewater Capacity Certificate

Processing complete

Applied 02/04/2020

Certificate issued 07/04/2020

### **85 Peterborough Street**

RMA/2007/209

signage - Historical Reference RMA92007418

Processing complete

Applied 01/02/2007

Decision issued 23/02/2007

Granted 23/02/2007



RMA/2012/416

NEW EGRESS STAIR - Historical Reference RMA92019748

Processing complete

Applied 20/03/2012

Decision issued 04/04/2012

Granted 04/04/2012

RMA/2020/559

Use existing building for tertiary education facility

Processing complete

Applied 13/03/2020

Decision issued 29/04/2020

Granted 29/04/2020

### **853 Colombo Street**

RMA/1989/885

Consent to erect a 36m<sup>2</sup> storage building, accessory building limited to 5m<sup>2</sup> on any one title - Historical Reference RES9222169

Processing complete

Applied 31/10/1989

Decision issued 29/11/1989

Granted 29/11/1989

RMA/1990/572

Consent to relocate a building less than 3m from road boundary, reducing setback from 2.45, previously approved - to 2.25m - Historical Reference RES9211962

Processing complete

Applied 08/03/1990

Decision issued 22/03/1990

Granted 22/03/1990

RMA/1990/573

Consent to establish a child care centre in a relocated building - 2.45m from street boundary instead of 3m and existing building extending - Historical Reference RES9211964

Processing complete

Applied 23/01/1990

Decision issued 01/02/1990

Granted 01/02/1990

RMA/1993/5

Consent to use upper floor of a building - now partially occupied (on the ground floor) as a child care centre - zoned Res 5A - Historical Reference RES9211960

Processing complete

Applied 27/01/1993

Decision issued 15/02/1993

Granted 15/02/1993

RMA/2010/800

New facilitated for The Salvation Army including a worship hall, multiple use spaces, social services facilities, offices and underground parking - Historical Reference RMA92016339

Processing complete

Applied 28/05/2010

Decision issued 04/02/2011

Granted 01/02/2011

RMA/2011/1750

Temporary accomodation - Historical Reference RMA92019332

Withdrawn

Applied 20/12/2011

RMA/2016/333

s125 Extension of consent lapse period RMA92016339 - Historical Reference RMA92032403

Processing complete

Applied 15/02/2016

Decision issued 07/03/2016

Granted 07/03/2016

RMA/2017/91

Earthworks

Processing complete

Applied 18/01/2017

Decision issued 07/02/2017

Granted 07/02/2017

## **859 Colombo Street**

RMA/1978/43

Consent to erect additions to a non conforming Church - boundaries being 1.829 and 3.2m - Historical Reference RES9202731

Processing complete

Applied 01/11/1978

Decision issued 14/11/1978

Granted 14/11/1978

RMA/2002/2440

To construct and operate a two and three storey motel complex with managers residence, parking, signage and landscaping also erect 2 apartments with garages. - Historical Reference RMA20011479

Processing complete

Applied 27/09/2002

Decision issued 21/03/2003

Granted 21/03/2003

Appeal Withdrawn 01/05/2003

RMA/2003/1323

A 12 unit motel complex and managers residence with associated car parking, landscaping and signage. - Historical Reference RMA20013614

Processing complete

Applied 20/05/2003

Decision issued 30/05/2003

Granted 29/05/2003

## **863 Colombo Street**

RMA/1969/199

Carpark - Historical Reference RES953133

Processing complete

Applied 11/06/1969

Decision issued 18/07/1969

Granted 18/07/1969

RMA/1997/2630

To build 12 residential units where the development does not provide the required amount of outdoor living area and the first floor living area windows are within 4 metres of the boundary. - Historical Reference RES973031

Processing complete

Applied 21/10/1997

Decision issued 27/02/1998

Granted 27/02/1998

RMA/1999/2601

The construction and operation of an 11 unit motel facility with managers residence and associated on site car parking, signage and landscaping. - Historical Reference RES991373

Processing complete

Applied 07/05/1999

Decision issued 30/08/1999

Granted 30/08/1999

### **87 Peterborough Street**

RMA/2011/1686

Temporary Accommodation - Library - Historical Reference RMA92019262

Withdrawn

Applied 09/12/2011

RMA/2012/416

NEW EGRESS STAIR - Historical Reference RMA92019748

Processing complete

Applied 20/03/2012

Decision issued 04/04/2012

Granted 04/04/2012

### **9/75 Peterborough Street**

RMA/2017/1242

Unit Title Redevelopment Plan

Consent issued

Applied 01/06/2017

Decision issued 17/10/2017

Granted 17/10/2017

RMA/2023/1666

Subdivision - Unit Title - Update the unit title plan to reflect the changes to the car parking layout and associated land use

Consent issued

Applied 29/06/2023

Decision issued 18/08/2023

Granted 17/08/2023

## **90 Salisbury Street**

RMA/1996/1649

To establish a guest house in a residential zone. - Historical Reference RES961927

Processing complete

Applied 26/07/1996

Decision issued 12/12/1996

Granted 12/12/1996

## **95 Salisbury Street**

RMA/2017/2535

To construct a new 17 studio apartment complex

Withdrawn

Applied 17/10/2017

RMA/2017/2813

To construct a new 17 studio apartment complex - Replaces RMA/2017/2535

Processing complete

Applied 09/11/2017

Decision issued 29/07/2020

Granted 29/07/2020

## **96 Salisbury Street**

RMA/2015/3159

Temporary Accomodation - Temporary car park of up to 12 parking spaces - Historical Reference RMA92031550

Processing complete

Applied 12/11/2015

Decision issued 24/11/2015

Granted 24/11/2015

RMA/2021/2024

Establish 3 new residential units at 96 Salisbury St and continue to occupy existing buildings for professional offices at 104 Salisbury St.

Processing complete

Applied 01/07/2021

Decision issued 10/12/2021

Granted 10/12/2021

## **96A Salisbury Street**

RMA/2015/3159

Temporary Accomodation - Temporary car park of up to 12 parking spaces - Historical Reference RMA92031550

Processing complete

Applied 12/11/2015

Decision issued 24/11/2015

Granted 24/11/2015

RMA/2021/2024

Establish 3 new residential units at 96 Salisbury St and continue to occupy existing buildings for professional offices at 104 Salisbury St.

Processing complete

Applied 01/07/2021

Decision issued 10/12/2021

Granted 10/12/2021

## **96B Salisbury Street**

RMA/2015/3159

Temporary Accomodation - Temporary car park of up to 12 parking spaces - Historical Reference RMA92031550

Processing complete

Applied 12/11/2015

Decision issued 24/11/2015

Granted 24/11/2015

RMA/2021/2024

Establish 3 new residential units at 96 Salisbury St and continue to occupy existing buildings for professional offices at 104 Salisbury St.

Processing complete

Applied 01/07/2021

Decision issued 10/12/2021

Granted 10/12/2021

## **A/94 Salisbury Street**

RMA/1994/462

Consent granted to 1.waive the service area requirement; and 2. reduce the access to garage of Unit 2; on the grounds that there will be no adverse effect on properties in the immediate vicinity. - Historical Reference RES9222629

Processing complete

Applied 11/05/1994

Decision issued 12/05/1994

Granted 12/05/1994

**G01A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

## **G02A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014



RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

**G03A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
Decision issued 19/09/2019  
Decision issued 19/09/2019  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
Granted 19/09/2019

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **G04A/118 Salisbury Street**

RMA/2013/2266  
TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984  
Processing complete  
Applied 30/10/2013  
Granted 11/11/2013  
Decision issued 13/11/2013  
Decision issued 13/11/2013  
Granted 11/11/2013

RMA/2014/945  
FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581  
Processing complete  
Applied 23/04/2014  
Granted 19/05/2014  
Decision issued 19/05/2014  
Decision issued 19/05/2014  
Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

**G05A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

Granted 19/09/2019

Decision issued 19/09/2019

Decision issued 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

**G07A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

Decision issued 19/09/2019  
s223 Certificate issued 23/10/2020  
s224 Certificate issued 23/10/2020  
Granted 19/09/2019  
s224 Certificate issued 23/10/2020  
s223 Certificate issued 23/10/2020  
Decision issued 19/09/2019

RMA/2019/560  
Minimum Floor Level Certificate  
Cancelled  
Applied 18/03/2019  
Cancelled - fee not paid 18/04/2019  
Cancelled - fee not paid 18/04/2019

### **G08A/118 Salisbury Street**

RMA/2013/2266  
TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984  
Processing complete  
Applied 30/10/2013  
Decision issued 13/11/2013  
Granted 11/11/2013  
Granted 11/11/2013  
Decision issued 13/11/2013

RMA/2014/945  
FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581  
Processing complete  
Applied 23/04/2014  
Decision issued 19/05/2014  
Granted 19/05/2014  
Granted 19/05/2014  
Decision issued 19/05/2014



RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

**G09A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

Granted 11/11/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s223 Certificate issued 23/10/2020

Granted 19/09/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Granted 19/09/2019

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

**G10A/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Granted 02/11/2018

Decision issued 02/11/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

Granted 19/09/2019

Decision issued 19/09/2019

s224 Certificate issued 23/10/2020

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

Cancelled - fee not paid 18/04/2019

### **G12/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

s223 Certificate issued 23/10/2020

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

### **G13/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Granted 11/11/2013

Decision issued 13/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

### **G14/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019



## **G15/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Granted 19/05/2014

Decision issued 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

**G16/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

### **G17/118 Salisbury Street**

RMA/2013/2266

TEMPORARY ACCOMMODATION - DEPOT - Historical Reference RMA92023984

Processing complete

Applied 30/10/2013

Decision issued 13/11/2013

Granted 11/11/2013

RMA/2014/945

FORTY RESIDENTIAL UNITS - Historical Reference RMA92025581

Processing complete

Applied 23/04/2014

Decision issued 19/05/2014

Granted 19/05/2014

RMA/2018/2170

To construct seventy-two residential units (including 22 dual-key apartments)

Processing complete

Applied 05/09/2018

Decision issued 02/11/2018

Granted 02/11/2018

RMA/2018/2481

Minimum Floor Level Certificate

Withdrawn

Applied 11/10/2018

RMA/2019/1905

Unit Title Subdivision - 50 Units

Processing complete

Applied 22/08/2019

s223 Certificate issued 23/10/2020

s224 Certificate issued 23/10/2020

Decision issued 19/09/2019

Granted 19/09/2019

RMA/2019/560

Minimum Floor Level Certificate

Cancelled

Applied 18/03/2019

Cancelled - fee not paid 18/04/2019

## **Data Quality Statement**

### **Land Use Consents**

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

### **Subdivision Consents**

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term "subdivision consents" in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied