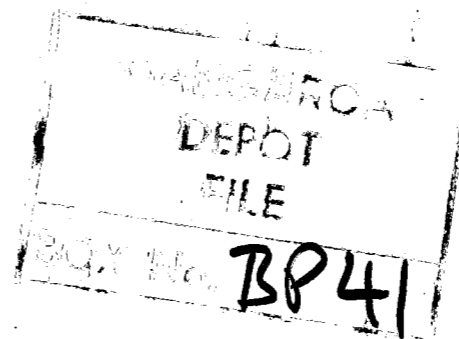


784

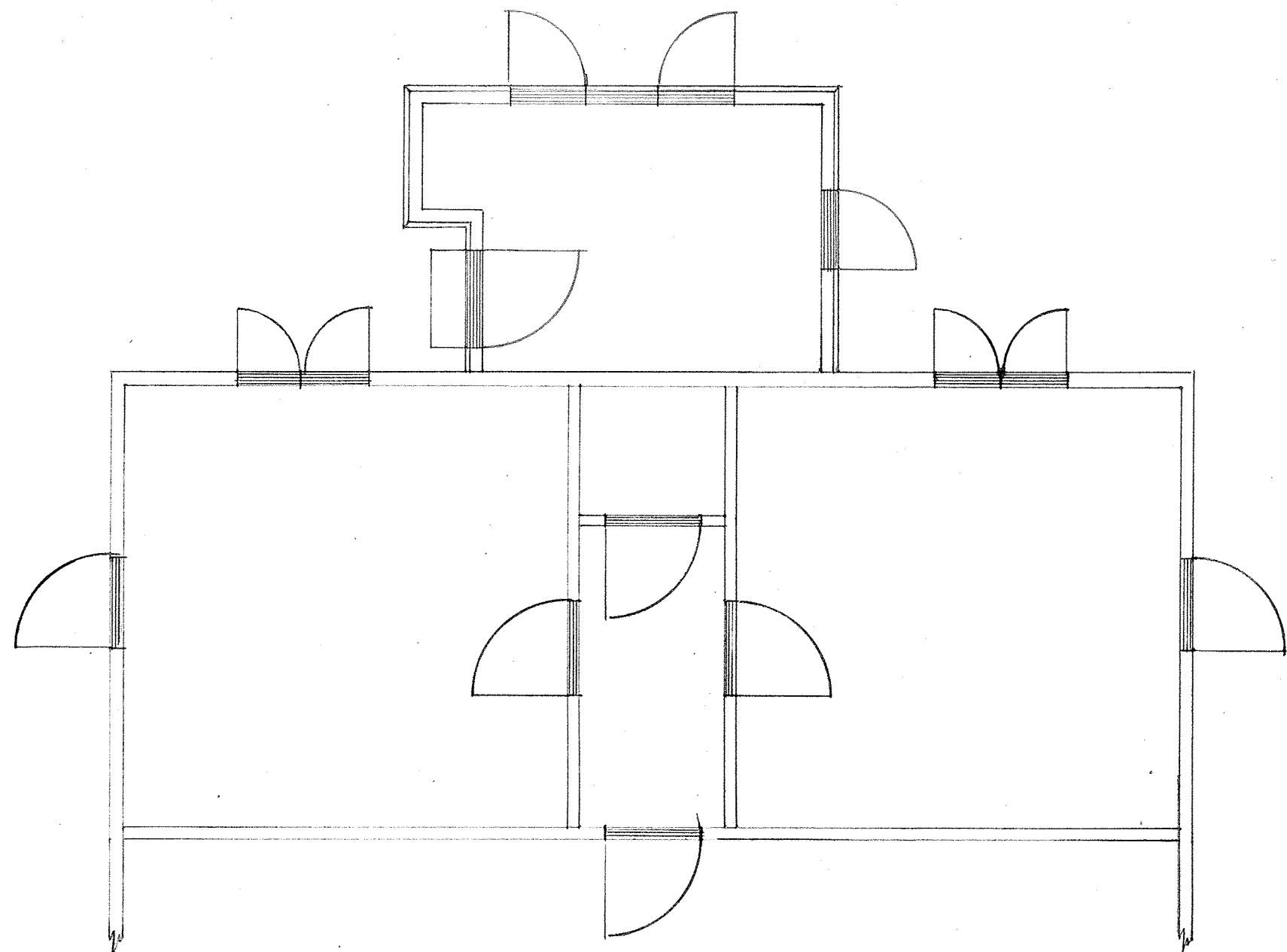
FERGUSSON DR.

GARAGE + W/SHOP

D.G.T. TRANTER



PROPOSED SUNPORCH FOR DWELLING FOR C. T. TRANTER.



PLAN.

SCALE. $\frac{1}{4}'' = 1 \text{ FT.}$

APPROVED
SUBJECT TO
REGULATIONS.

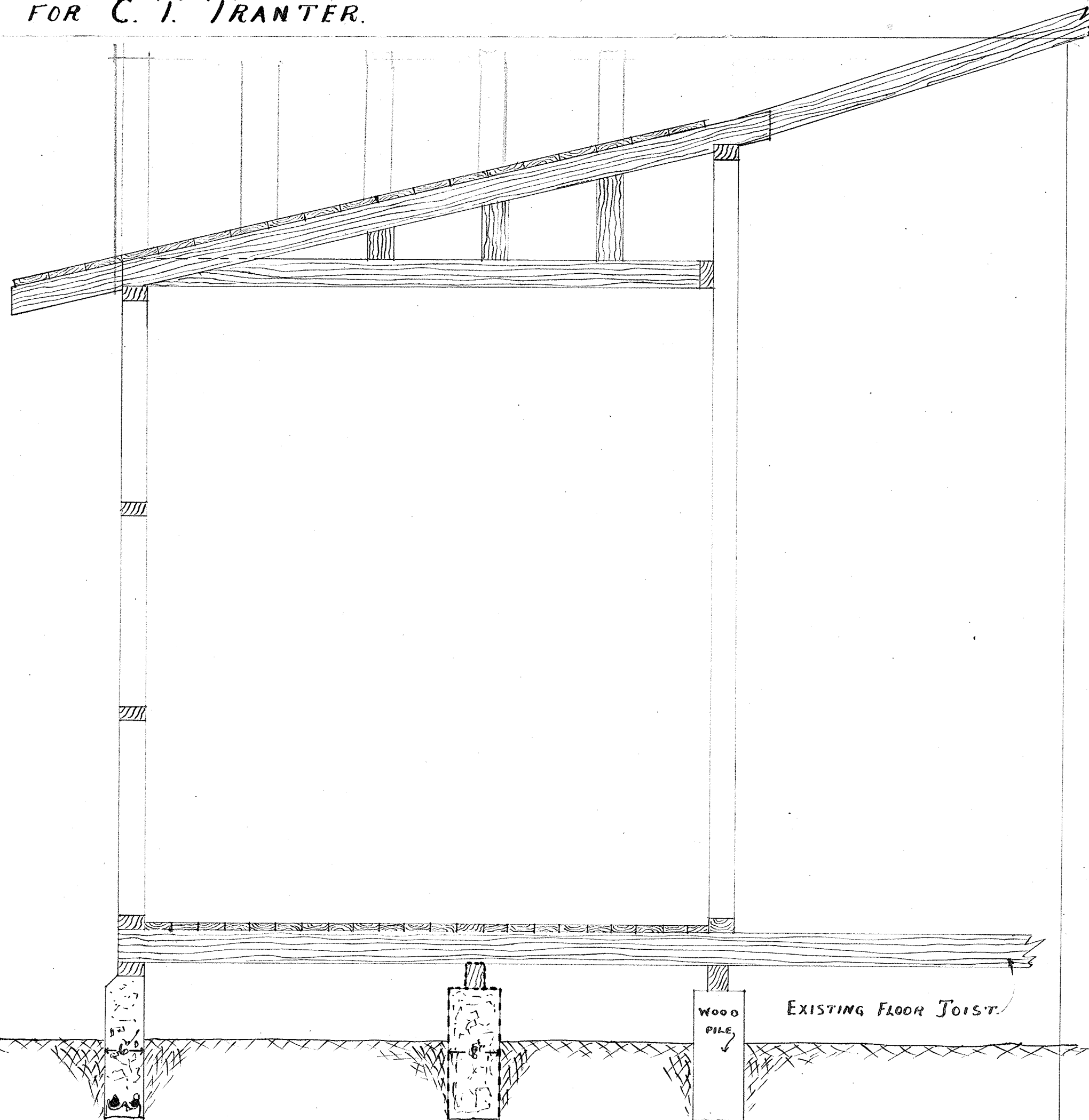
COPY OF THE 286
WELLINGTON DISTRICT
BUILDING CONTROL
F. D. Stewart

28 APR 1947

OFFICE OF THE 74
WELLINGTON DISTRICT
BUILDING CONTROL

F. D. Stewart

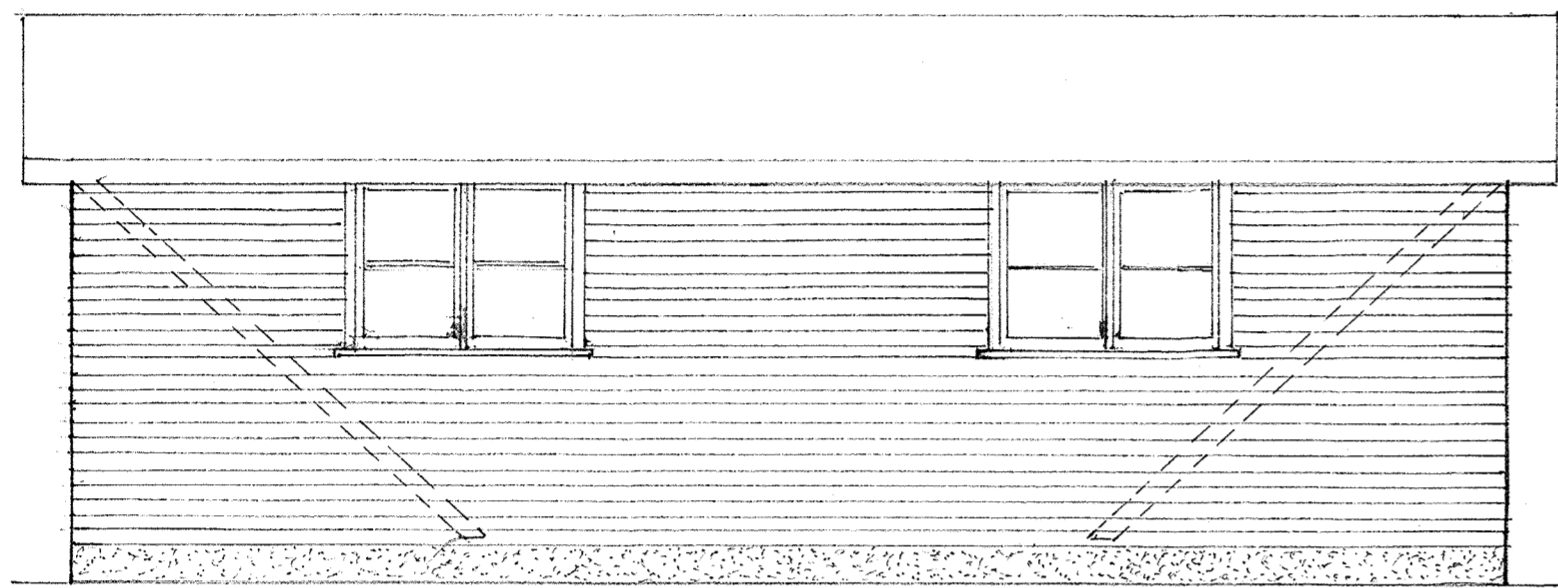
8 APR 1947



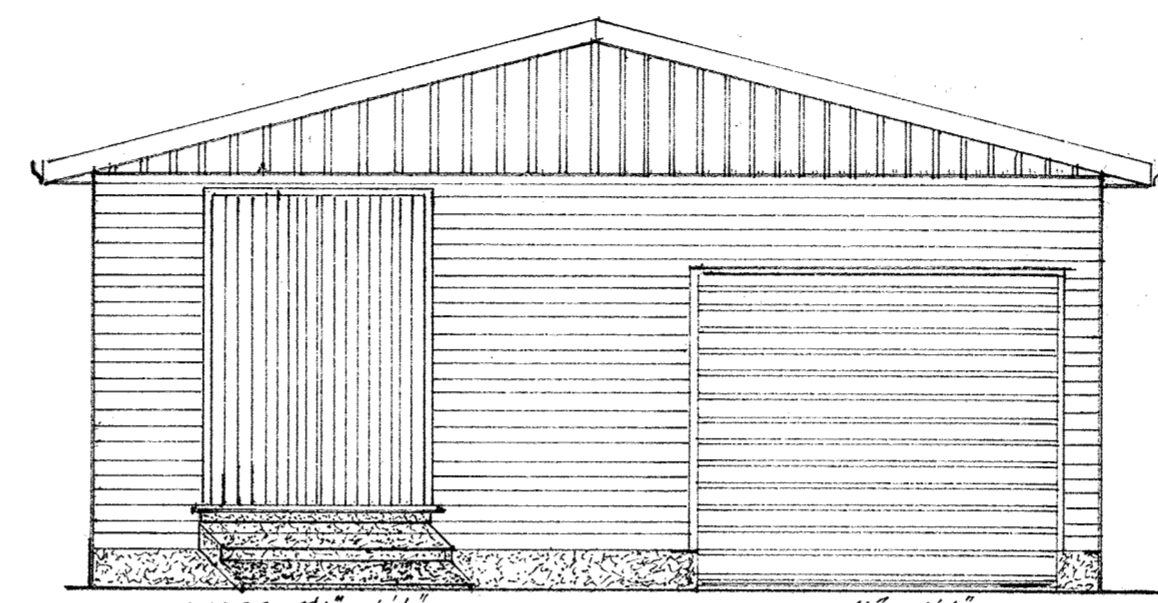
CROSS SECTION.

SCALE. $\frac{3}{4}'' = 1 \text{ FT.}$

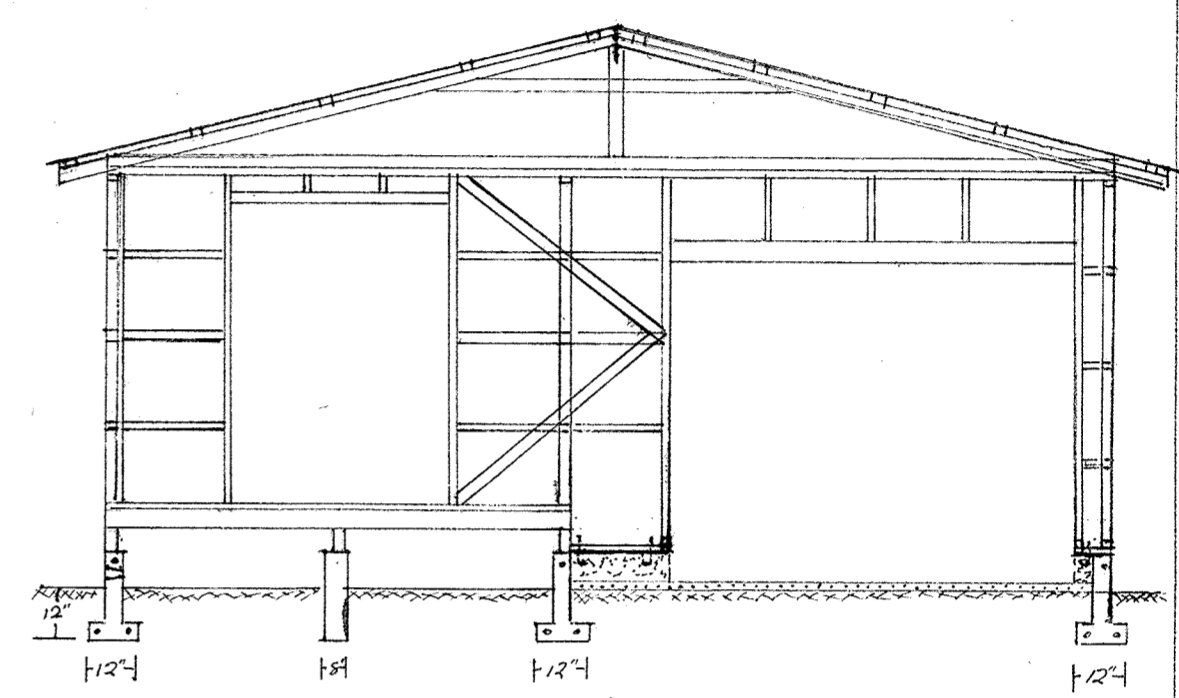
*Roof altered to pitch
because of insufficient height to room*



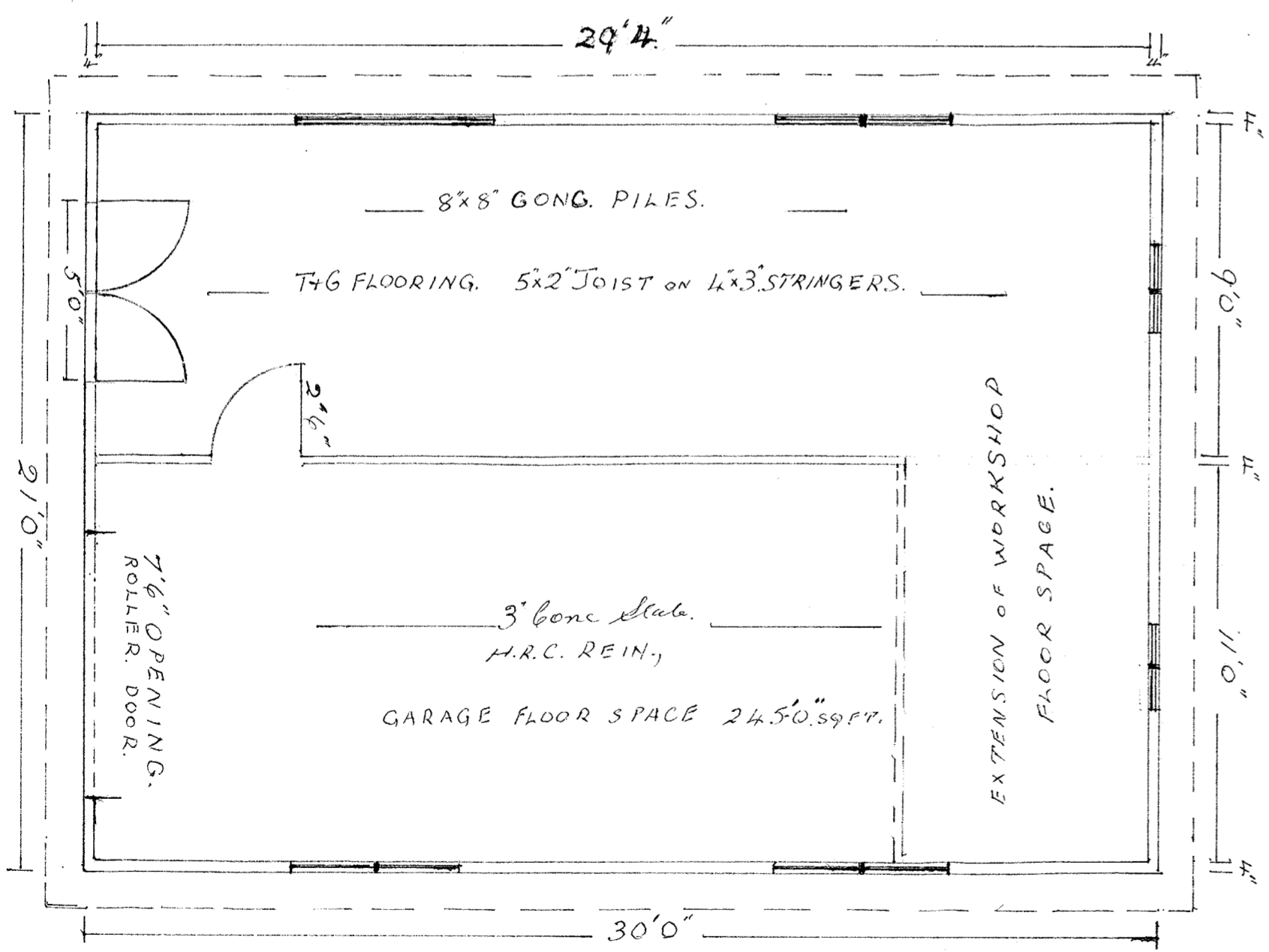
S.W. ELEVATION.



FRONT ELEVATION

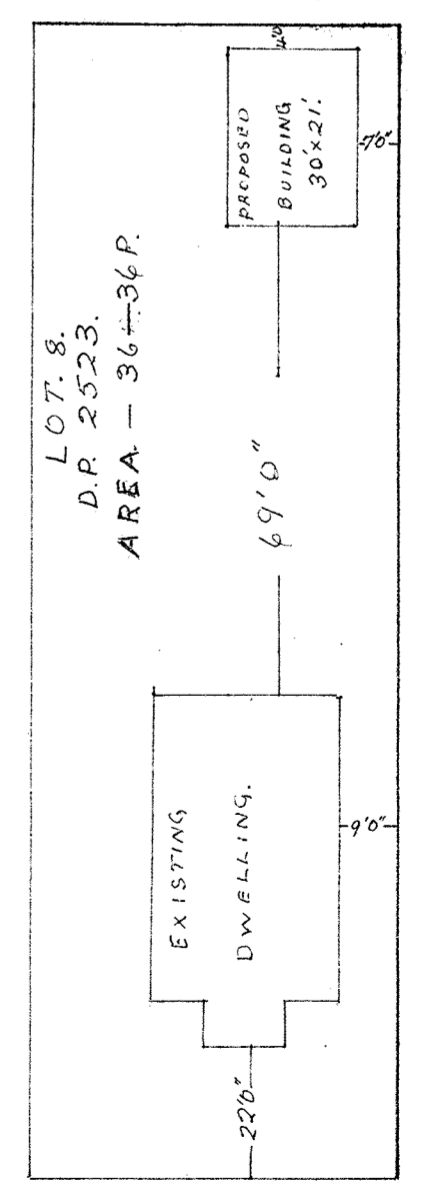


SECTION



FLOOR PLAN.
SCALE. 1/4" = 1'0"

BRIEF SPECIFICATIONS.
 FOUNDATIONS CONTINUOUS 5/2" CONCRETE.
 3/4" M.S. RODS IN FOOTINGS, 3/8" RODS ON TOP.
 GARAGE FLOOR 3" CONC. SLAB, REIN. WITH H.R.C. MESH.
 TOOL SHED AND WORKSHOP FLOOR ON 8" CONC. PILES 4x3" STRINGERS, 5x2" JOIST SP. TO G. FLOORING.
 4x2" TIMBER FRAMED WALLS, 3 ROWS OF 4x2" DWANGS, SPDS AT 18" C.
 4x2" FRAMED ROOF, 3x2" PORTINS, 26G. GALV. CORR., IRON ROOFING.
 6x1" RIDGE, 6x1" FASCIA AND BARGES, 3/16" ASBESTOS SOFFIT.
 BARGE ROLL ON GABLE ENDS, GABLE SHEATHED IN SHADOW LINE ASBESTOS.
 WALLS SHEATHED IN 6x1" B.B. WEATHER BOARDS.
 ROLLER TYPE DOOR ON GARAGE, FRAMED LEDGEOR TIG V. ON TOOL SHED AND WORKSHOP.
 COLLAR TIES 6x1" @ 4'0" C. 4x2" TOMBS FROM PARTITION TO RIDGE.



784 FERGUSON DRIVE.
 SITE PLAN.
 SCALE. 1/32" = 1'0"

F 75346

CITY OF UPPER HUTT

UPPER HUTT CITY COUNCIL
SITING
APPROVED

DATE 16/8/74 [Signature]

DRAINS SETTING
CITY OF UPPER HUTT
19 Aug 74

APPLICATION for
BUILDING PERMIT

UPPER HUTT CITY COUNCIL
DATE 21st Aug. 1974 [Signature]
APPROVED

78A Ferguson St.
STREET

DATE RECEIVED 15:8:74

DATE ISSUED 21:8:74

OWNER'S NAME D. G. J. Franters

OFFICE REMARKS:

NOTE:—

Plans of reinforced concrete work shall show clearly plans, cross sections, dimensions of all members, and the size, length, shape, position and overlap of all reinforcement.

FURTHER:—

All steel calculations and computations must be submitted with application and signed by architect, engineer, or designer for major works.

APPLICATION FOR BUILDING PERMIT

DATE 15/8/1974

TO THE CITY ENGINEER,
Upper Hutt City Council.

Postal Address:—
Upper Hutt City Council,
Private Bag.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in 784 Teagussan Drive STREET.

1. NATURE OF BUILDINGS Garage + Workshop
Dwellings etc.; new, additions or alterations.

2. ALLOTMENT: Lot 8 D.P. 2523 Section

3. OWNER'S NAME D. G. J. Crumley

ADDRESS 784 Teagussan Drive

4. ESTIMATE VALUE OF BUILDINGS \$ 2000.00

5. FLOOR AREA OF WORK 30' x 21' 6 3/4" sq ft M2 (sq. ft.) Total \$ 2000.00

6. FEES (herewith)

B.R. Levy	\$:	.
Building	\$	<u>10.00</u>	.
Crossing: Dep:	\$:	.
Crossing Fee	\$:	.
Water Connection	\$:	.
Builder's Deposit	\$:	.
Total Fees Payable	\$:	.

No. of Receipt 4/45. 15/8/74

NOTE:—The following MUST accompany this Application:—

- (a) Ground Plans of Proposed Work:
- (b) Elevations:
- (c) Sections: Cross and Longitudinal:
Ground Plan must show position of all sanitary fittings.
- (d) Two Copies of Specifications of BUILDING and Materials to be used:
- (e) SITE PLAN to be drawn to a scale of 1:200 (1/16"=1'.0")
Two Plans required for GARAGES, SHEDS and additions:
PLANS must be submitted in TRIPLICATE for DWELLINGS and FLATS only.
- (f) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- (g) A Deposit must be made where building material is taken ACROSS A FOOTPATH.

SIGNATURE OF APPLICANT D. Crumley as BUILDER or OWNER

ADDRESS 784 Teagussan Drive Upper Hutt

BUILDER'S NAME { If not the appli- AND ADDRESS cent. }

All work will be carried out in accordance with Upper Hutt City By-laws.

1927
784 FERGUSSON DRIVE

For Use by Building Surveyor only

Date Received 31.8.29

No. of Permit 410.

Date Issued 31.8.29

Remarks Rec No. 854

3/62.0/ 716

UPPER HUTT BOROUGH COUNCIL.

APPLICATION
FOR BUILDING PERMIT

NAME

B. J. Hawter

UPPER HUTT BOROUGH COUNCIL

Application for Building Permit

Date 31. 8. 1929

TO THE TOWN CLERK:

I hereby apply for a Permit to erect buildings in accordance with the undermentioned particulars.

Nature of Buildings (dwelling, etc.) Shed

No. of Allotment Plot 8 D.P. 2523 Section 126

Name and Address of Owner of Allotment B. J. Grant

Area of Allotment 36.4 perches

The frontage is to (name of street or road) 60ft Main Rd

Length of frontage 60ft

Estimated value of Building £ 25

All work will be carried out in accordance with the Borough Council's By-laws.

Please find herewith Permit fees £ — : 10/-

Signature of applicant B. J. Grant

Address Main Rd, Upper Hutt

NOTE—The following MUST accompany this application:

- (a) Sketch of Ground Plan of proposed Building.
- (b) Sketch of Front elevation.
- (c) A specification setting out class of material to be used.

[Handwritten signature]
W. Cattle

[Handwritten signature]
8/9/29



Y15



~~147~~ *Office at*
784 FERGUSON DRIVE
For Use by Building Surveyor only

Assessment No.
Date Received *23 April 1947*
No. of Permit *Y15*
Date Issued *21. 3. 47*
Remarks

For Re consideration

UPPER HUTT BOROUGH COUNCIL

**APPLICATION
FOR BUILDING PERMIT**

NAME *Mr. C. T. Tranter*

UPPER HUTT BOROUGH COUNCIL

Application for Building Permit

Date 2. / 4. / 47.

To The Town Clerk:

I hereby apply for a Permit to erect buildings in accordance with the undermentioned particulars.

Nature of Buildings (dwelling, etc.) Addition to Dwelling.

No. of Allotment Lot 8, D.P. 2523, Sec. 18.6

Name and Address of Owner of Allotment Mr. C.T. Tranter, Main Rd. Upper Hutt.

Area of Allotment 36.4 p.

The Frontage is to (name of street or road) Main Road.

Length of Frontage 60 ft.

Estimated value of Building £120.

All work will be carried out in accordance with the Borough Council's By-laws.

Please find herewith Permit fees £ 1 : - : -

Signature of Applicant D. B. J. Tranter.

Address Main Road, Upper Hutt.

Signature of Builder D. Tranter.

NOTE.—The following MUST accompany this application:—

- (a) Sketch of Ground Plan of proposed Building.
(b) Sketch of Front Elevation.
(c) A specification setting out class of material to be used.

Handwritten notes: See these plans attached.

Handwritten initials/signature.

784

Fergusson Drive

784

• Alterations

• BC 020386

• Vol 8 DP 2523

• Valn Roll No: 1596038800

Subd File 351/62/937



UPPER HUTT CITY COUNCIL

Building Consent	No: 030335
Section 35, Building Act 1991	

Application

ACTIVE PROPERTIES	Issue date	28/05/03
P O BOX 39-017	Application date	13/05/03
WELLINGTON MAIL CENTRE		

Project

Description	NEW GARAGE
Intended Use	GARAGING
Stages	Being Stage 1 of an intended 1 Stages
Intended Life	Indefinite, but not less than 50 years
Estimated Value	\$5,000
Location	784 FERGUSON DRIVE, UPPER HUTT
Legal Description	LOT 8 DP 2523
Valuation No.	1596038800

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Refer to Tax Invoice for base fee payable / paid.

Note: Actual costs will be recovered when they exceed the base fee.

A fee of \$75.00 for each additional site visit is charged.

Additional site visits are commonly necessitated because:

- Work is not yet ready at time of inspection.
- Building Consent documentation is not available for reference on site.
- Moisture content of timber is too high and requires rechecking, or
- There are aspects of the structure that do not comply with the building code at the time of the inspection, and remedial work requires re-inspection.

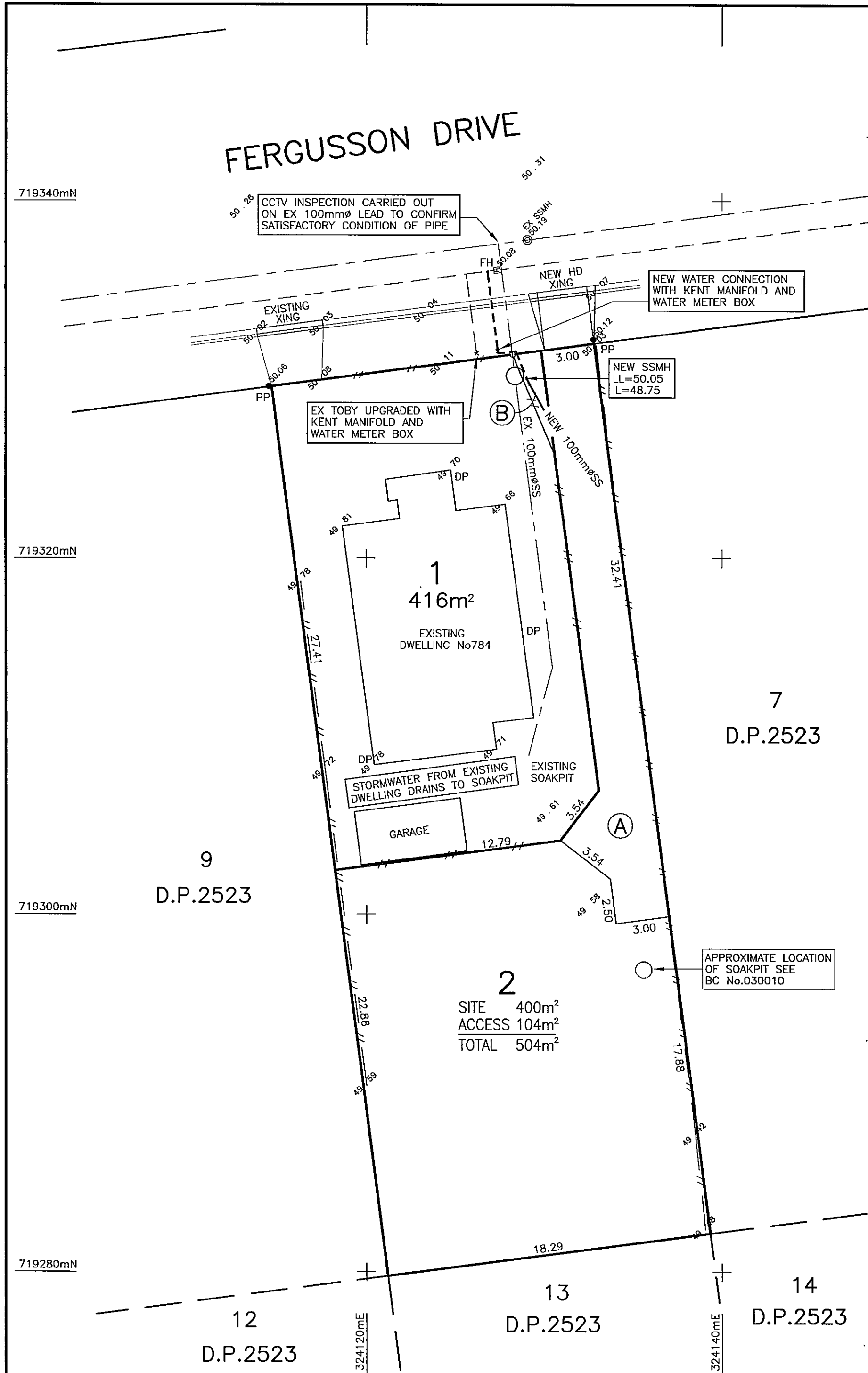
This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent 030335.

Signed for and on behalf of the Council: *A*

Name: *Peter Hay*

Date: 28/05/03

Position: *Building officer*



No	AMENDMENT	NAME	DATE

NOTES:

LOCATION OF EXISTING SERVICES TAKEN FROM COUNCIL RECORDS. TO BE VERIFIED ON SITE.

DATUM:
LEVELS ARE IN TERMS OF AN ASSUMED DATUM

TOTAL AREA = 920m²

LUCAS SURVEYS LTD
Land Surveyors

Tele: (04)566-0607 28 Knights Road
 Fax: (04)566-2286 P.O. Box 31-155
 Email: lucasurv@xtra.co.nz Lower Hutt

COPYRIGHT OF THIS DRAWING IS VESTED IN LUCAS SURVEYS LTD

CLIENT

ACTIVE PROPERTIES LTD

JOB

ASBUILT SERVICES FOR
 SUBDN OF LOT 8 D.P.2523
 784 FERGUSSON DRIVE
 UPPER HUTT
 WN.46740



PROPOSED EASEMENTS			
PURPOSE	SHOWN	SERV.TENE.	DOM.TENE.
RIGHT OF WAY WATER SUPPLY TELECOMMUNICATIONS SEWAGE DRAINAGE WATER DRAINAGE ELECTRICITY SUPPLY GAS SUPPLY	(A)	LOT 2	LOT 1
WATER SUPPLY SEWAGE DRAINAGE	(B)	LOT 1	LOT 2

SCALE		1:200	
	NAME	DATE	DRAWING NUMBER 1651ASB
FIELDWORK	GCR	10/02	
DESIGNED	RDL	02/03	
DRAWN	GCR	05/04	
CHECKED			SHEET 1 OF 1 SHEETS

a series of tests on the incoming supply wires & bonding of conductors (including fittings attached to those conductors) to be completed whether or not an inspection is required

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer: Colin Todd Phone: 04-971-5621
 Address of installation: 784 Ferguson drive, Upper Hut
 Postal address of customer (if not as above): 47 Newland Rd, Timberlea, Upper Hut

WORK DETAILS

No. of lighting outlets No. of ranges Please tick (✓) as appropriate where work includes
 No. of socket outlets No. of water heaters Mains Main earthing system
 Was any installation work carried out by the homeowner? Yes No Switchboard Electric lines

Description: Installation of 2x socket outlets, 2x lights, switch & sub board in storage.

It is recommended that test results be recorded here:

Visual Examination
 Earth Continuity
 Bonding
 Polarity
 Insulation Resistance 7200 Mohm
 Other _____

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997

ELECTRICAL WORKER DETAILS

Name: Stuart McKenzie
 Registration no: E19803
 Company: SA M Lighting & Electrical
 Signature: [Signature]
 Date: 30/10/2003
 Contact Ph No: 027-607-1263

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name: _____
 Registration no: _____
 Company: _____
 Signature: _____
 Date: _____
 Contact Ph No: _____

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

New mains Switchboard Earthing system Installation work in hazardous areas

certify that the inspection has been carried out in accordance with the requirements of regulation 4.4 of the Electricity Regulations 1997

Name: _____ Registration no: _____
 Signature: _____ Date: _____
 Contact Ph No: _____

This form is approved by the Electrical Workers Registration Board (PO Box 10-156, Wellington. Freephone 0800 66-1000) for the purposes of the Electricity Regulations 1997.

ME \$10,000

MASTERelectrician

**WORKMANSHIP
GUARANTEE**

ECANZ hereby guarantees the quality of
member's workmanship to the value of \$10,000



**SAM LIGHTING & ELECTRICAL
15 CRAIG GROVE, UPPER HUTT
PH/FAX (04) 936-3554 MOBILE 027-407-1283
E-MAIL: samlighting@paradise.net.nz**

M. J. Busman
GENERAL MANAGER

ECANZ

Electrical Contractors of New Zealand

SUBJECT TO CONDITIONS ON REVERSE



FILE COPY

Civic Administration Building
838-842 Fergusson Drive.
Upper Hutt
Private Bag 907, Upper Hutt
Tel: (04) 527-2169
Fax: (04) 528-2652
Email:uhcc@uhcc.govt.nz
Website:www.upperhuttcity.com

Code Compliance Certificate

Section 43(3), Building Act 1991

Application

RON VINK	No.	020386
ACTIVE PROPERTIES	Issue date	21/10/04
P O BOX 39 017		
WELLINGTON MAIL CENTRE		

Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stage ALTERATIONS
Intended Life	Indefinite, but not less than 50 years
Intended Use	INVESTMENT PROPERTY
Estimated Value	\$40,000
Location	784 FERGUSSON DRIVE, UPPER HUTT
Legal Description	LOT 8 DP 2523
Valuation No.	1596038800

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

T. Weaver

Name: T. Weaver

Date: 21-Oct-04

FILE COPY



UPPER HUTT CITY COUNCIL

Building Consent

No: 020386

Section 35, Building Act 1991

Application

RON VINK
ACTIVE PROPERTIES
P O BOX 39 017
WELLINGTON MAIL CENTRE

Issue date 20/12/02
Application date 5/12/02

Project

Description	ALTERATIONS
Intended Use	INVESTMENT PROPERTY
Stages	Being Stage 1 of an intended 1 Stage
Intended Life	Indefinite, but not less than 50 years
Estimated Value	\$40,000
Location	784 FERGUSSON DRIVE, UPPER HUTT
Legal Description	LOT 8 DP 2523
Valuation No.	1596038800

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Refer to Tax Invoice for base fee payable / paid.

Note: Actual costs will be recovered when they exceed the base fee.

A fee of \$75.00 for each additional site visit is charged.

Additional site visits are commonly necessitated because:

- Work is not yet ready at time of inspection.
- Building Consent documentation is not available for reference on site.
- Moisture content of timber is too high and requires rechecking, or
- There are aspects of the structure that do not comply with the building code at the time of the inspection, and remedial work requires re-inspection.

This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent 020386.

Signed for and on behalf of the Council:

Name: *P. WHITEFIELD*

Date: 20/12/02

Position: *BUILDING OFFICER*

DATE	COMMENT	SIGNED
16/1/03	Prelime moisture test 12-16% OK Baths in walls & ceilings. OK to line out.	[Signature]
	Prelime plumbing: Pressure tested 1500 kpa OK Mumber Leo Reissmussen. (Plumbing Services)	[Signature]
7/5/03	site visit / (Final?) work completed and all appears to be okay. Electrical Certificate to come before the C.C. is issued.	[Signature]
17/9/04	Final - Received electrical certificate # 1433541 Other work repairs complete Repair water leak in vanity waste	[Signature]
20/10/04	Final final - Received electrical cert # 1529988 for garage. Water leak in vanity has been repaired. OK to issue C.C.	[Signature]

BUILDING
PLUMBING & DRAINAGE

ISSUE CCC DATE
ISSUE CCC DATE

030010

784 Fergusson Dr

Mr R Vink
C/- Lucas Surveys Ltd
PO Box 31 155
LOWER HUTT

File: 351/62/937
BTH/MdW

MdW/Planning/BTH/NoD/784 Fergusson Dr

Contact:
Brendan Hogan

8th April 2003



Dear Mr Vink

RESOURCE CONSENT - NOTICE OF DECISION

I am pleased to advise you of the decision that has been reached in relation to your application for consent under the Resource Management Act.

The full text of the decision is as follows:

THAT pursuant to Sections 104 and 105 of the Resource Management Act 1991, Council grant consent to the Plan of Subdivision of Lot 8 DP 2523 creating two lots at 784 Fergusson Drive, Upper Hutt.

Consent is granted subject to the following conditions:

- 1.0 That the development of the subdivision shall be substantially in accordance with the plans and details submitted with the Resource Consent application.
- 2.0 That a reserve fund contribution is payable at a sum equivalent to 4% of the market valuation of the additional new lot (land only) prior to the release of the Completion Certificate (Section 224C Certification) for the subdivision. Council will obtain the valuation at the applicant's request and cost.

3.0 General

- 3.1 That the applicant for this Subdivision Consent shall comply with the sections of Council's Code of Practice for Civil Engineering Works which are relevant to this application except as modified by conditions below and it's Requirements for Road Opening and Reinstatement Works.

Note: As part of the Requirements for Road Opening and Reinstatement Works, the subdivider shall obtain a no fees road opening consent before any excavation work is carried out in the road reserve.

- 3.2 That the IQP for this subdivision will be the Upper Hutt City Council.

4.0 Roading

- 4.1 That the existing vehicle crossing off Fergusson Drive shall be removed and the footpath and kerb and channel reinstated to be visually and structurally of similar type to the abutting surfaces.
- 4.2 That the developer shall install a new standard heavy duty Council vehicle crossing from the carriageway to the road reserve boundary to provide access to Lots 1 and 2.

Graeme - where
was this consent
sent to? It
has not arrived!
Please contact Ron
Vink. Issued on
20/12/02

5.0 Water

- 5.1 That the existing service pipe to Lot 1 can be utilised but if it is made of either galvanised steel, copper, rigid PVC or Low Density Polyethylene then it shall be replaced with Medium Density Polyethylene pipe. If the developer opts to install a new service pipe in a different location to the existing one then he shall seal off the old service pipe at the watermain in Fergusson Drive. The new service pipe in such a case shall be installed **clear of any vehicle crossing**.
- 5.2 That the existing Toby for Lot 1 shall be replaced with a 20mm Kent manifold fitting with ball valve and approved water meter box, which shall be located within the road adjacent to the road boundary. A meter is not required at this time.
- 5.3 That the subdivider shall install a new water service pipe, **clear of any vehicle crossing**, from the watermain in Fergusson Drive to serve Lot 2 as shown on Drawing 1651SCH-ENG as submitted and shall include a 20mm Kent manifold fitting with ball valve and approved water meter box, which shall be located within the road adjacent to the property boundary. A meter is not required at this time.
- 5.4 That the subdivider shall pay a water shut off connection fee of \$230 for each shut off. If this minimum fee is exceeded the actual cost will be invoiced separately.

6.0 Wastewater

- 6.1 That the existing wastewater service lateral shall be utilised to serve Lots 1 and 2 as shown on Drawing No.1651SCH-ENG as submitted, subject to the subdivider proving to the Council by Closed Circuit Television that it is in good condition from the Council's wastewater main to the further most gully trap on the existing dwelling on Lot 1. If the wastewater service lateral is not in good condition then the developer shall be responsible for bringing the lateral up to the required standard.
- 6.2 That the existing wastewater service lateral servicing Lots 1 and 2, from the proposed mini manhole to the road boundary is the joint responsibility of the owners of Lots 1 and 2.
- 6.3 That Condition 6.2 shall be subject to a Consent Notice to be registered against the titles of Lots 1 and 2.

7.0 Stormwater

- 7.1 That at the Building Consent stage, the owners of Lot 2 shall make adequate provision for the collection and disposal of stormwater from Lot 2 by installing a soak pit.

Note: A percolation test carried out by Lucas Surveys Ltd reported that onsite stormwater disposal by soakage pit is possible.

8.0 Easements

- 8.1 That all services to all lots are to be protected by easements in so far as they are laid over private land.
- 8.2 That all such easements shall be listed in the memorandum of easements on the survey plan.

The reasons for this decision are:

1. With the conditions of Resource Consent addressing the physical and servicing aspects relating to the subdivision, the environmental effects of the proposal will not be more than minor and the development represents an efficient use of urban land.

2. The proposal is consistent with the overall residential Objectives and Policies of the Proposed and Transitional District Plans.

Advice Notes

1. This Resource Consent will expire two years after the date of commencement of consent unless:
 - (a) it is given effect to before the end of that period; or
 - (b) upon an application made up to three months after the expiry of that period (or such longer period as is fixed under Section 37 of the Resource Management Act 1991), Council fixed a longer period. The statutory considerations, which apply to extensions, are set out in Section 125(1)(b) of the Resource Management Act 1991.
2. You are advised that in accordance with Section 357 of the Resource Management Act 1991, you may, within fifteen (15) working days of receiving this decision, object to it or any conditions thereof. On receiving an objection in writing, the Council shall hear the objection and may uphold the objection wholly or partly.
3. You are advised that pursuant to Section 120 and 121 of the Resource Management Act 1991, you have the right to appeal to the Environment Court, against the whole or any part of this decision. Notice of appeal shall be in the prescribed form, and shall be lodged with the Environment Court at the District Court Building, 49 Balance Street and served on Upper Hutt City Council within fifteen (15) working days of receipt of the decision.
4. The applicant needs to obtain all other necessary consents and permits, including those under the Building Act 1991, and comply with all relevant Council Bylaws.

Yours faithfully

B Dodson
CITY SECRETARY



BUILDING CONSENT APPLICATION

FORM BA3

PLEASE COMPLETE ALL SECTIONS OF THIS FORM
(AS APPLICABLE TO YOUR APPLICATION)

Civic Administration Building
838-842 Fergusson Drive,
Upper Hutt
Private Bag 907, Upper Hutt
Tel: (04) 527-2169
Fax: (04) 528-2652
Email: uhcc@uhcc.govt.nz
Website: www.upperhuttcity.com

APPLICATION DETAILS	PROJECT DETAILS
<ul style="list-style-type: none"> APPLICANT (CLIENT)/CONTACT (Must be authorised by the owner to make this application) Company: <u>Active Properties</u> Mailing Address: <u>P.O. Box 39 017</u> <u>Wgtn Mail Centre</u> Street Address:	<ul style="list-style-type: none"> LOCATION Street Address: <u>784 Fergusson Dr.</u> <u>Upper Hutt</u> Valuation Roll No: Lot: DP:
Name: <u>Ron Vink</u> Phone: <u>04 5669960</u> Fax: <u>5669961</u>	<ul style="list-style-type: none"> DESCRIPTION OF WORK <u>Alterations</u> INTENDED USE: <u>Investment Property</u> If an existing building, will the building undergo a change of use? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Intended Life if less than 50 years: Being stage of an intended stages
<ul style="list-style-type: none"> OWNER (as defined by the Building Act 1991) Full Name(s): <u>C & M Todd</u> Street Address: <u>29 Moranga Rd</u> <u>Upper Hutt</u> Mailing Address: Phone: Fax: 	<ul style="list-style-type: none"> FLOOR AREA Ground Floor: Existing: <u>120</u> m² Add: m² Other Floor: Existing: m² Add: m² Accessory Building Area: Existing: m² Add: m²
Estimated Value of proposed work (inclusive of GST): \$ <u>40,000.00</u> Building Consent to be uplifted from: <input type="checkbox"/> Upper Hutt City Council Building Department <input type="checkbox"/> Post to Owner/Applicant (delete one)	<ul style="list-style-type: none"> PLANNING — SITE COVERAGE Total area of all buildings over foundation at ground level. Existing:m² Proposed:m²

SECTION 1

FOR COUNCIL USE ONLY	
Prepaid Fee: \$ <u>966.00</u>	DRAINAGE INFORMATION
Receipt No: <u>8870</u>	Block Plan <input type="checkbox"/> Full PIM <input type="checkbox"/> N/A <input type="checkbox"/>
Receiving Officer's Name:	
Date Received: <u>05/12/02</u>	Building Consent No: <u>020386</u>
HAZARDS:	

PLEASE TURN OVER

021/612357

HAVE YOU PROVIDED THE FOLLOWING INFORMATION?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing).	✓		
• Certificate of Title: Recent search copy of (less than 6 months old).		✓	
• Plans & specification of an acceptable standard.	✓		
• Plans, elevations, cross sections of the proposal (in duplicate).	✓		
• Recession planes (including to internal boundaries) indicated.			✓
• Site levels relating to top of roadside kerb, and finished floor level indicated.			✓
• Hill sites: indicate contours, drive gradients and building heights.			✓
• Site boundaries nominated.			✓
• Shared access ways/other areas.			✓
• Foulwater drains.	✓		
• Stormwater drains	✓		
• Stormwater discharge for hardstanding areas detailed to an approved outfall.	✓		
• Water Service Details.	✓		
• Vehicle crossing position indicated on-site plan.			✓
• Vehicle access manoeuvre and parking area indicated.			✓
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access.		✓	
• Site area per unit indicated.			✓
• Site coverage: % details.			✓
• Living and service courts indicated.			✓
• Landscaped area indicated and planting plan produced.			✓
• Demolition details.			✓
• Swimming pool: design, fence and discharge.			✓
• Backflow prevention.			✓
• Waterway setbacks indicated.			✓
• Notable and protected site trees indicated.			✓
• Heritage site or building affected?			✓
• Resource Consent Application.			✓
• Development Application.			✓
• Subdivision details.			✓

SECTION 3	Yes	No	N/A
• Structural drawings.			✓
• Foundation design and report on ground conditions (Engineering).			✓
• Blockwork: design including foundations.			✓
• Retaining walls: design heights, position, sub soil drainage and safety barriers.			✓
• Fire partitions: dividing walls, common walls.			✓
• Window positions and opening windows indicated.	✓		
• Safety glass provisions specified.			✓
• Thermal insulation and R value indicated.			✓
• Sound insulation indicated.			✓
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details.	✓		
• Solid fuel heater: make, model and location.			✓
• Accurate layout and details of plumbing systems.	✓		
• Alternative Solutions details.			✓
• Access and facilities for people with disabilities.			✓
• Access Route details.			✓
• Dangerous goods: storage and sign details.			✓
• Gas bottle: storage location and capacity if over 10kg.			✓
• Soakpit, septic tank and pumping station design details.			✓
• Earthworks: identify proposed cut or fill where more than 50m ³ of soil is being moved.			✓
• Specifications in duplicate.	✓		
• Pegging certificate for two or more units on site.			✓
• Bracing calculations and layout.	✓		
• Roof truss design statement and layout.			✓
• Producer Statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229.			✓
• Form (Producer Statement Information).			✓
• Fire Safety Summary or Fire Design Statement.			✓
• Compliance Schedule details.			✓

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? Yes No
 If yes, briefly describe your proposed programme:

 - Estimated start date: Already Started (please note building work must be started within 6 months of Consent Issue date).
 - Estimated finish date: End January
 - Is a registered engineer involved? Yes No
 For design
 For inspection Yes No
 - Is a Producer Statement to be offered?
 Producer Statement: Design Yes No
 Producer Statement: Inspection Yes No
 - Is a registered Master Builder involved in the project: Yes No
- Name (optional)

SECTION 4

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS, GARAGES, CARPORTS etc.

Please tick the relevant boxes to show which systems are included or to be included in the building project.

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection.	<input type="checkbox"/>	<input type="checkbox"/>
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.	<input type="checkbox"/>	<input type="checkbox"/>
(c) Emergency warning systems for fire or other dangers.	<input type="checkbox"/>	<input type="checkbox"/>
(d) Emergency lighting systems.	<input type="checkbox"/>	<input type="checkbox"/>
(e) Escape route pressurisation systems.	<input type="checkbox"/>	<input type="checkbox"/>
(f) Riser mains for fire service use.	<input type="checkbox"/>	<input type="checkbox"/>
(g) Any automatic backflow preventer connected to a potable water supply.	<input type="checkbox"/>	<input type="checkbox"/>
(h) Lifts, escalators, or travelators or other similar systems.	<input type="checkbox"/>	<input type="checkbox"/>
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building.	<input type="checkbox"/>	<input type="checkbox"/>
(j) Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the building code.	<input type="checkbox"/>	<input type="checkbox"/>
(k) Building maintenance units for providing access to the exterior and interior walls of buildings.	<input type="checkbox"/>	<input type="checkbox"/>
(l) Such signs as are required by the building code in respect of the above mentioned systems.	<input type="checkbox"/>	<input type="checkbox"/>
NONE OF THE ABOVE		<input type="checkbox"/>

SECTION 5

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

(m) Means of escape from fire.	<input type="checkbox"/>	<input type="checkbox"/>
(n) Safety barriers (including handrails, balustrades).	<input type="checkbox"/>	<input type="checkbox"/>
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 47a of the Building Act 1991.	<input type="checkbox"/>	<input type="checkbox"/>
(p) Handheld hoses for fire fighting.	<input type="checkbox"/>	<input type="checkbox"/>
(q) Such signs as are required by the building code or section 47a of the Building Act 1991.	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 5A

PLEASE TURN OVER 0

SECTION 6

Builders Name: Active Properties Phone: 5669961
 Address: Fax:

Building Certifier's Name: Phone:
 Address: Fax:

Craftsman Plumber's Name: Plumbing Services Phone:
 Address: Fax:

Registered Drainlayer's Name: Plumbing Services Phone:
 Address: Fax:

Engineer's Name: Mark Mavran Phone:
 Address: Fax:

Designer's Name: Aaron Humphrey Phone:
 Address: Fax:

	YES / NO / NA	YES / NO / NA	YES / NO / NA
Have you fully completed	Section 1 <input type="checkbox" value="yes"/>	Section 4 <input type="checkbox"/>	Section 6 <input type="checkbox"/>
	Section 2 <input type="checkbox"/>	Section 5 <input type="checkbox"/>	Section 7 <input type="checkbox"/>
	Section 3 <input type="checkbox"/>	Section 5A <input type="checkbox"/>	

SECTION 7

- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- Building Consent Fees: Council prefers payment of fee's on application. A Fee Schedule is available to determine costs of application, from the Building Department.

I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION

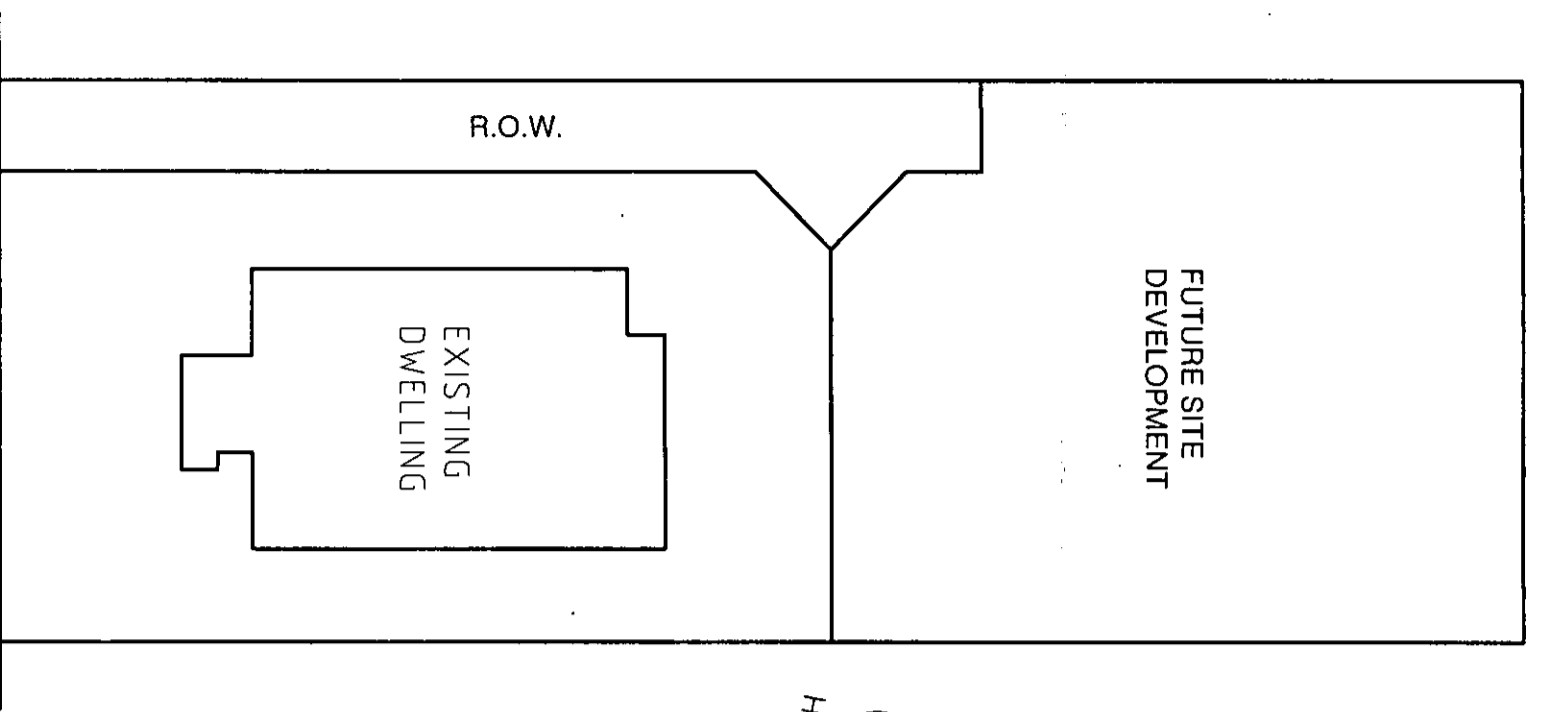
Print Name: Ron Vink Date: 05/12/02

Signature: [Signature]

SIGNED BY or FOR AND ON BEHALF OF THE OWNER

Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the Civic Administration Building, 838-842 Fergusson Drive, Upper Hutt.

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Building Department to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.



FERGUSSON DRIVE

SITE PLAN

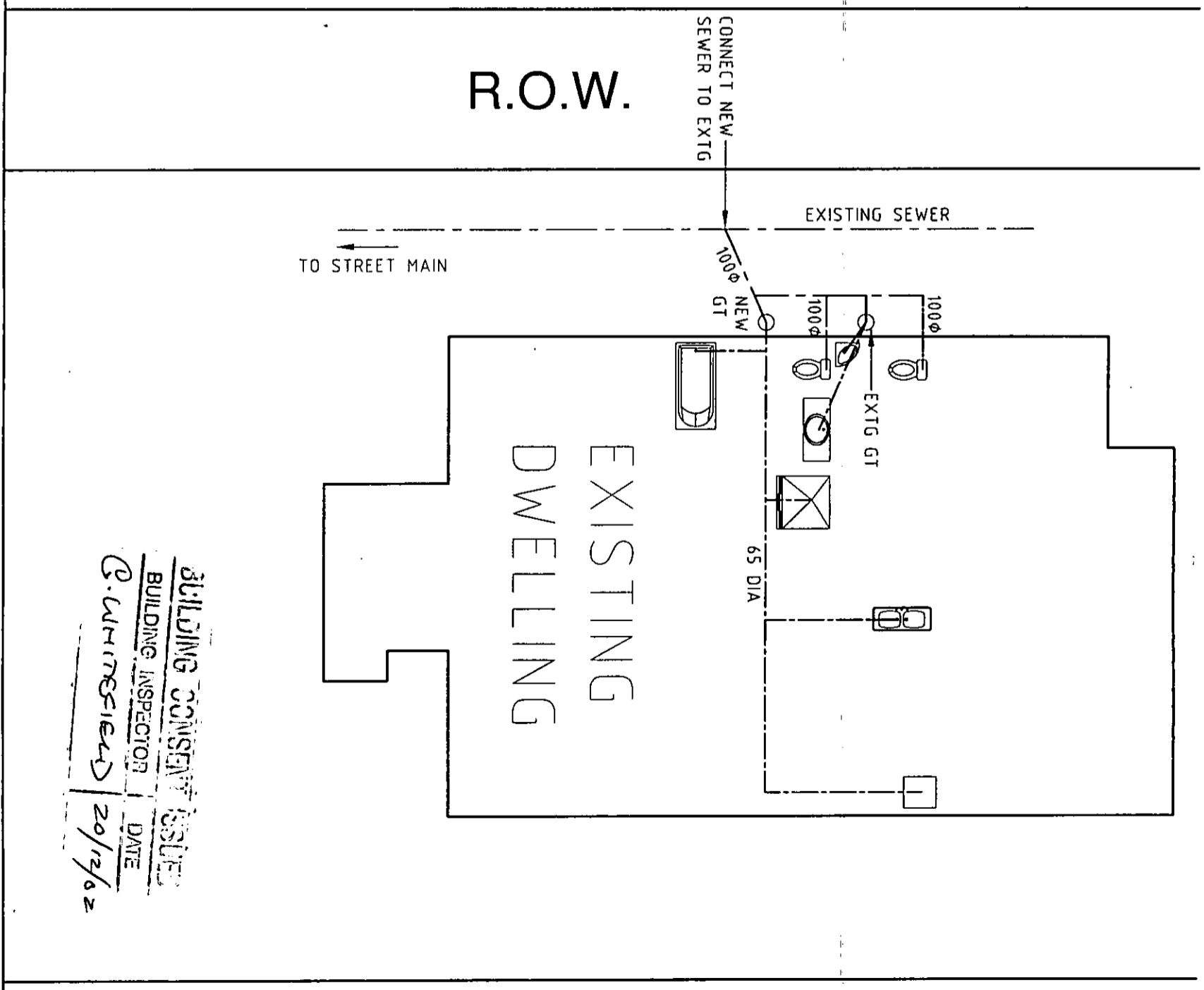
1:250



NOTE:

- ALL WASTE PIPES ARE TO BE 40mm PVC PIPES UNLESS NOTED OTHERWISE
- LOCATION OF EXISTING SITE SEWER UNKNOWN. CONTRACTOR TO CONFIRM ON SITE LOCATION OF PIPES PRIOR TO COMMENCEMENT OF WORK
- ALLOW TO CONNECT NEW SEWER PIPES TO EXISTING SEWER SYSTEM
- LOCATION OF EXISTING STORMWATER SYSTEM IS UNKNOWN THEREFORE NOT SHOWN, BUT IS UNAFFECTED BY INTERNAL ALTERATIONS

PROPOSED INTERNAL ALTERATIONS - 784 FERGUSSON DRIVE, UPPER HUTT



R.O.W.

DRAINAGE PLAN

1:100

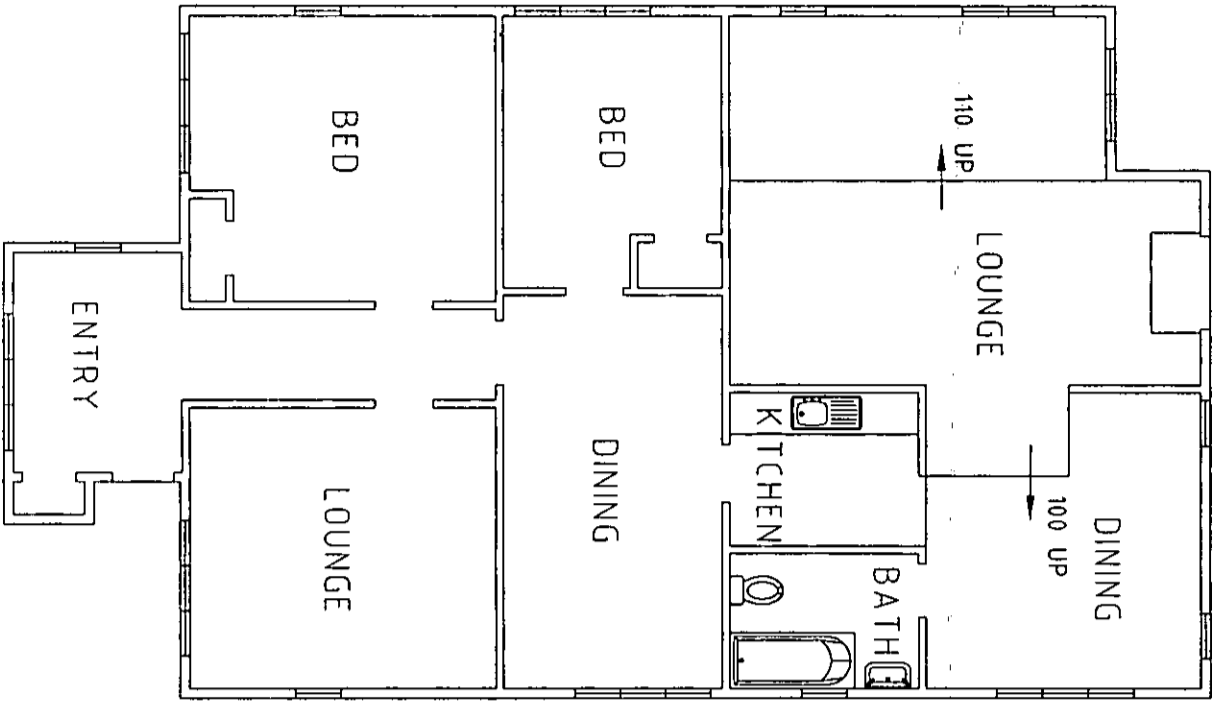
BUILDING CONSENT ISSUED
 BUILDING INSPECTOR
G. Whittier
 DATE
 20/12/12

- SCALES AS SHOWN
 - ORIGINAL SHEET SIZE-A3
 - ALL WORK TO COMPLY WITH RELEVANT STANDARDS

SHEET NUMBER

01

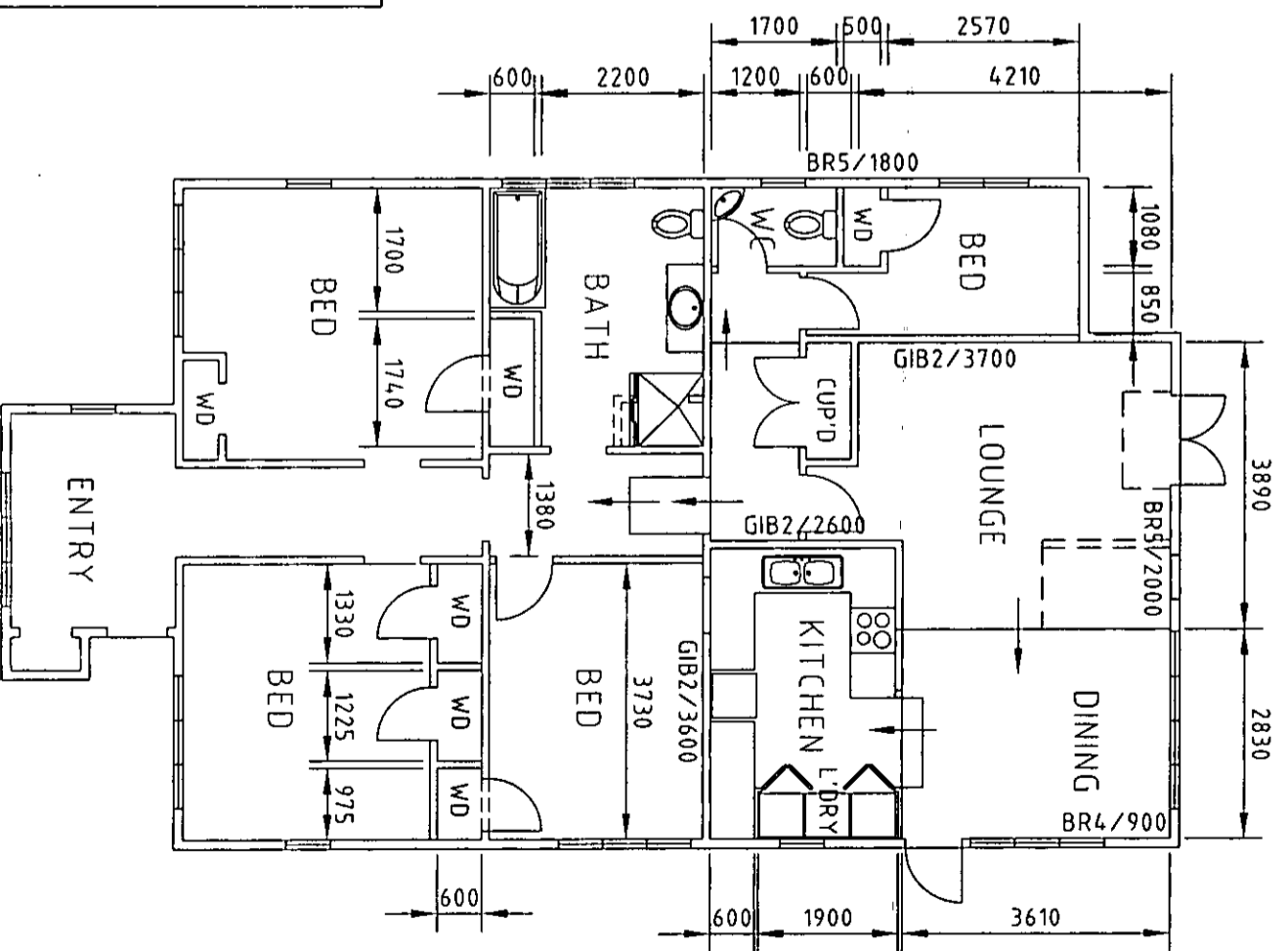
B.C. 020386
BUILDING CONSENT ISSUED
BUILDING INSPECTOR G. WHITEFIELD
DATE 2/12/02



EXISTING FLOOR PLAN

1:100

- NOTES**
- NEW WORK SHADED. USE 100x50 FRAMING AS RECD
 - DEMOLISHED WORK DASHED
 - ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK
 - ALL WORK TO COMPLY WITH NZS3604 & ANY OTHER RELAVENT STANDARDS
 - BRACING TO BE INSTALLED IN ACCORDANCE WITH 'GIB BRACING SYSTEMS' MANUAL
 - INSULATION-
 - R18 BATTIS TO EXTERIOR WALLS
 - R22 BATTIS TO CEILINGS
 - ALUMINIUM FOIL TO EXPOSED TIMBER FLOOR
 - WINDOWS-
 - TO BE TIMBER
 - LINTEL SIZES IN BRACKETS



PROPOSED FLOOR PLAN

SHOWING DIMENSIONS & BRACING

1:100

BUILDING INFORMATION SYSTEM

20/12/02

G. Whitehead

PROPOSED INTERNAL ALTERATIONS-
784 FERGUSSON DRIVE, UPPER HUTT

- SCALES AS SHOWN
- ORIGINAL SHEET SIZE-A3
- ALL WORK TO COMPLY WITH RELEVANT STANDARDS

SHEET NUMBER

02

COPY

Project Information Memorandum 020386

Section 31, Building Act 1991

Issued in accordance with Building Consent No. 020386

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent attached.

This project information memorandum includes:

- Information identifying relevant special features of the land concerned
- Details of relevant utility systems
- Details of authorisations which have been granted

Upper Hutt is a high earthquake risk area and this section is in a medium wind zone, otherwise Council is unaware of any special feature of the land that is likely to affect, this construction.

No information on this site is recorded on the hazard register.

UHCC does not have a complete record showing the location of foulwater and stormwater drainage and water supply systems. (Check on site and owner's records). For other services e.g. gas, telephone and electricity, contact other Utility Operator Offices.

Signed by or for and on behalf of the Council:

Name: G. WHITEFIELD

Date: 8/01/03

BC 020386

ISSUED	
BUILDING INSPECTOR	DATE
R. WHITEFIELD	20/12/02

TECHNICAL SPECIFICATION

FOR

INTERNAL ALTERATIONS

AT

784 FERGUSSON DRIVE

UPPER HUTT

FOR

RON VINK

7. Possession of the Site

The successful tenderer will be granted possession of the site on the agreed construction start date.

8. Insurances

Refer to Section 8. of the Conditions of Contract NZS 3910 : 1998 which sets out the minimum level of insurance required to be effected by the Contractor.

The Contractor shall indemnify the Principal against:

- (a) Public Liability Insurance to the value of \$500,000.00.
- (b) Contractors all Risk Insurance to the value of the contract works

and as required by clause 8.1, .2, .3, .4 of NZS 3910:1998.

The Contractor is to comply with all the requirements of the Accident Compensation Act.

9. As-Built Services Drawings

The Contractor shall provide the Principal or his Agent with as-built services drawings accurately setting out the actual position, as constructed of the sanitary drainage and concealed plumbing, underground services etc... Where practical such drawings shall be prepared by the actual Sub-Contractor or specialist who carried out the work and are to be submitted prior to release of maintenance retentions. The final account will not be paid until suitable as built drawings have been provided.

10. Quality of Workmanship and Materials

Unless expressly stated otherwise, all materials and workmanship shall comply with the appropriate New Zealand Standard and where none is applicable, the appropriate British Standard specification.

Workmanship is to be in accordance with the best trade practice. Work is to be accurately set out, structurally sound, true to line, neatly executed and finished.

11. Materials

Where proprietary brand names or items are specified on the drawings or in the specification, a similar alternative may be offered for approval to the Engineer, provided that the alternative offers the required properties and standard to that specified. The use of imported reinforcing steel will not be permitted on this contract.

12. Origin and Testing of Materials

Should the Engineer so require, the Contractor shall produce such vouchers and / or other documents as may be necessary to prove that the materials are of the origins and qualities specified.

13. Contractors Working Area

The Contractor shall be responsible for the safe storage of all materials and equipment on site.

At the end of the Contract period the stockpile areas shall be left in a clean and tidy condition. Unless otherwise agreed, all surplus materials, rubbish and debris resulting from the Contractor's activities on site shall be removed from the site at the completion of the Contract.

14. Scaffolding

Provide and build in accordance with the Scaffolding Act all scaffolding necessary for carrying out the work of all trades.

All scaffolding shall be erected to the satisfaction of the Scaffolding Inspector and shall comply with NZS 9201, Part 9, Scaffolding and Deposit of Building Materials.

15. Subcontractors

The Contractor shall be fully responsible for the performance in all respects, including time, of all his subcontractors. The Contractor's programme of work shall be agreed with subcontractors.

16. Repairing Damage

The Contractor shall repair and make good to the satisfaction of the Engineer any damage that may be caused to existing streets, buildings, fences, services, etc., within the duration of the contract and he shall indemnify the Principal against any claims made by adjoining owners in respect of damage caused by his operations.

17. Cleaning and Protection of Finished Work

Each trade shall protect the work of all other trades. Should damage occur the Contractor responsible shall make good to the satisfaction of the Engineer.

The Contractor shall keep the site free from rubbish and litter at all times. All reasonable precautions must be taken to protect finished surfaces from damage.

On completion the site is to be left clear and clean, so as to be ready for occupation.

SECTION III

DRAINLAYER

1. Preliminary & General

The subcontractor shall pay attention to that part of the preliminary and general clauses that relate to his trade.

2. Scope

This section includes the following work:

Supplying and laying pipes for new sewer pipelines to the relocated sanitary fittings to the modified bathrooms and kitchen.

3. Permits & Fees

The Principal will pay for all fees relating to Building Consent application, allow to pay for any additional inspections made necessary due to contractors errors, etc...

4. Workmanship

All drainage work is to be carried out by a registered tradesman and shall comply with Building Industry Authority Document E1 and G13.

5. Materials

The Contractor shall supply all pipes, bends, junctions, rubber rings and specials required to complete the work. They shall be free from defects and comply with NZS specifications.

6. Excavation

Excavate trench true to line and grade and of sufficient width to allow for jointing operations. The depth of the excavation shall allow for the required granular bedding or concrete surround, as given in the table below.

Minimum covers shall be	With 100 min concrete slab over	With 100 min concrete surround	With no concrete surround
Not subject to traffic loadings	200	300	500

7. Laying

Lay the pipes in the trench (on bedding if required) true to grade and line and correctly jointed. Advise the Drainage Inspector prior to backfilling so that inspection and testing can be carried out. Failure to have the drains inspected by the Territorial Authority will require all drains to be exposed and tested to the Territorial Authorities satisfaction

Pipe to be connected to downpipes shall finish 20mm above slab level in the exact position for the downpipe to discharge vertically into the collar. After the downpipe has been installed seal the downpipe in the collar with mortar or as otherwise approved.

8. Backfilling

Backfilling material shall be free of stones or other material liable to damage the pipes.

SECTION II

SITE SAFETY

HEALTH AND SAFETY IN EMPLOYMENT:

The Main Contractor shall comply with all relevant requirements of the Health and Safety in Employment Act 1992 and shall ensure that all work practices and procedures meet the requirements of the applicable codes of practice approved under the code.

The Contractor shall be responsible for controlling the manner and methods of its operations and is directly responsible for the safety of its employees and the employees of its subcontractors while on the Site. However, in meeting its requirements under the Act, the Principal, or the Engineer (as agent of the Principal) shall have the right to require any operation to stop if they consider it, or the personnel engaged upon it, to be in breach of the Act. In such circumstances, the Contractor shall ensure that the operation ceased immediately and that the work does not proceed until it can be undertaken safely.

The Contractor shall designate a suitably qualified site safety supervisor and trained first aider who shall be present on Site at all times during which work is in progress.

Before any work starts on Site the Contractor shall submit to the Engineer for approval a copy of a Safety Management Plan detailing how legislative standards are to be met and enforced. The Contractor shall ensure that all its staff, sub-contractors' staff:

- (a) Understand the health and safety conditions agreed to in this contract,
- (b) Are inducted to ensure that they are knowledgeable about all significant hazards they may be exposed to in connection with the Contract Works, and any controls for these, and
- (c) Are trained in the proper use and maintenance of personal protective equipment, monitoring equipment and any other safety equipment used in connection with the Contract Works.

The Contractor shall provide and maintain a workplace accident register in accordance with the Act and shall make this register available for inspection by the Principal and Engineer at all reasonable times during the contract. The Contractor shall also have in place procedures for the investigation and reporting of accidents and site incidents.

The Contractor shall deliver a report on health and safety matters at each site meeting.

No dogs are allowed on the Site during the period of the Contract.

SECTION I

PRELIMINARY

Note that this is a standard specification and while all information in this document is believed to be true and relevant, the drawings supplied for this job override any written material contained herein. Any ambiguities between drawings and specification shall be ignored and the drawings shall be taken as correct.

All sections of this specification shall be read, construed and included with the terms, conditions and provisions expressed or implied in Conditions of Contract for Building and Civil Engineering Construction, NZS 3910:1998 and the attached Special Conditions of Contract. Except where otherwise altered, modified or varied by the specification, the terms, conditions and provisions of the General and Special Conditions of Contract shall apply in full.

1. Scope of Work

The Works of this Contract include the supply of all labour, materials, plant and equipment for the construction of the job as generally detailed in this Specification and on the Contract Drawings.

2. Drawings and Contract Documents

Below is the list of Contract Drawings not bound within this Specification:

1. Proposed Internal Alterations-784 Fergusson Drive, Upper Hutt Drawings 01, 02, 03

3. Subcontractors

The Principal may nominate or reject any subcontractor providing that he communicates his wishes to the Main Contractor before the Contract is signed. The Contractor shall bring to notice of all subcontractors this condition.

A full list of all subcontractors is to form part of the Contract Documents.

4. Local Authority

Note that the Local authority is the UPPER HUTT CITY COUNCIL.

5. Building consent fee

The Principal will apply and pay for all other permits etc... as specified elsewhere in this specification. Where applicable the Contractor shall comply with all requirements and bylaws of the various Territorial Authorities. All inspections as required for the issuance of the Code Compliance Certificate shall be arranged by the contractor direct with the Territorial Authority.

6. Start Date

The Tender shall allow for a start date to be agreed with the principal.

All backfilling shall be thoroughly compacted by ramming in layers not exceeding 200mm in thickness.

No mechanical compacting equipment shall be used until 300mm of backfill has been placed over the pipe.

No drains shall be covered until they have been inspected, tested and approved by the Local Authority.

9. Rodding Points

Rodding Points shall comply with Building Industry Authority Document E1 and G13 with concrete surround to support cast iron frame and lid.

The top surface of the frame shall finish true to level at the finished ground level or concrete slab level.

10. Clean-up

The drainlayer upon completion shall cleanup all materials surplus to the drainlaying operation, and remove from site.

SECTION IV

CARPENTER & JOINER

1. Preliminary & General

The Sub Contractor shall pay attention to that part of the preliminary and general clauses that relate to his trade.

2. Extent of Work

Work under this heading (including supplying and fixing) comprises:

- All timber framing for walls and ceilings,
- Supply and installation of all interior linings,
- Supply and installation of all doors including hardware

Any other work which would customarily involve the carpenter whether or not referred to in this specification or shown on the drawings necessary for the proper completion and maintenance of the works.

3. Timber

Timber and wood based products shall comply with NZS 3602. Timber shall be graded to comply with NZS 3631, "Classification and Grading of NZ Timbers". All timbers shall be the best of its specific kind. All framing shall be Radiata or Corsican treated to H1 retention as per T.P.C. Woodmark brand. Timber poles to comply with NZS 3605:1992 and be treated to H5 retention as per T.P.C. Woodmark brand.

Framing timbers shall not exceed 24% moisture content at the time of enclosure. Finishing timbers shall not exceed 14% moisture content.

All kiln-dried, dressed and finishing timbers shall be stacked under cover on delivery to site. Timber used for falsework or any other temporary purposes shall not be incorporated in the building.

4. Workmanship

All framing shall be in accordance with NZS 3604 "Light Timber Frame Buildings". The best workmanship shall be employed in thoroughly securing and framing together, spiking and bolting down as the various circumstances require. Only skew nailing will be permitted in the framing. Punch all nails in exposed joinery and work to be painted. All nails and spikes shall be of gauge and length suitable for the particular work. Nails shall enter the second timber at least one half their length before punching.

Remove all arises, rough patches, hammer-marks, and other surface defects before painting is begun.

5. Gauging & Thickness

All framing timbers shall be thickened to produce regular plain surfaces. All exposed timbers are to be gauged.

6. Dressing

All external and internal finishing timbers shall be machine dressed. All internal finishing timbers are to be gauged.

7. Fixings & Fastenings

Nails, brads, screws, and bolts shall be steel of the best quality, except that non-corrodible metal or hot dipped galvanised steel shall be used externally, where inserted in redwood or totara, or where covered by

plaster, paste and similar substances. Co-operate with Concrete Worker and other trades to install all bolts and fastenings.

Attachments to concrete shall be by bolts (built-in or engaging in approved expanding sockets), or by screws in Philiplugs (or equal).

Hardware shall be fixed with screws of similar material and finish to match.

8. Framing

Main Contractor is to ensure that the building is built accurately to the sizes shown on the drawings. Construct timber framing in accordance with NZS 3604 and to the details shown on the drawings.

9. Beads, etc

Provide and fix all necessary beads, stops, fillets, backing's, linings, furrings or bearers that may be required for the proper carrying out and completion of the work.

10. Damp-Proof Course

Under all timber plates fix malthoid fabric damp-course, neatly cut around all bolts, etc.

11. Flooring

Flooring to be 20mm High Density particle board on joists as indicated on the drawings. Bathroom areas shall be lined with 21mm tanalised CpD plywood.

12. Interior Linings

Supply and fix internal linings in accordance with best trade practices and to manufacturers recommendations:

- i) 9.5mm Gibraltar to interior walls,
- ii) 12.5mm Gibraltar board to other ceilings,
- iii) Stop all walls to achieve an F4 Gib Board finish,
- iv) Wet areas are to be lined with 9.5mm Aqualine to the walls,
- v) Internal timber flooring to the floors to be 20mm HD Particle board or 21mm tanalised ply as appropriate.

13. Insulation

Insulation shall be provided to walls and ceilings. R2.4 Batts are to be placed in the ceilings. R2.2 in the walls.

Ceiling insulation to be laid over Gib board.

14. Gibraltar Board Ceilings

Provide and fix 12.5mm Gibraltar Board typically in accordance with the manufacturers recommendations.

Stop all nails, ensure all joints are smooth and finished in such a manner as to produce a visually continuous surface.

15. Finishing Timbers

Skirtings, architrave and cornices shall typically match existing.

16. Doors

Internal doors shall be hollow core paint quality with clashing strips both sides. Frames are to be finger jointed pine, rebated to accept the Gib board linings and comply with the construction requirements of NZS 1158. Check all dimensions before manufacture. All joinery shall be the best of its respective kind and thoroughly seasoned to a moisture content between 12%-16% before machining.

17. Hardware

Allow to fix hardware as supplied by the owner.

SECTION V

PLUMBER

1. Preliminary & General

The Sub Contractor shall pay attention to that part of the preliminary and general clauses that relate to his trade.

2. Scope

This section of the specification covers the supply and fitting of;

- Reticulated hot and cold water to the new plumbing fittings,
- Fitting of all plumbing fittings and taps as supplied by the principal,
- All work incidental associated with the provision of the above.

All pipe work within the dwelling is to be poly butylene.

3. Supply of all Fittings and Taps

The Principal shall supply all fittings and taps for installation by the plumber. The plumber shall allow to supply and install all in line devices as part of the plumbing contract.

4. Guarantee

Prompt attention shall be given to replace defective materials and cure any leaks within a period of 2 years commencing from the end of the maintenance period.

5. Regulations and Standards

All plumbing work shall comply with the Building Industry Authority Document E1 and G13 and NZS 671. Give all necessary notices, obtain all relevant consents, and pay all fees due.

Note that the Principal has paid for all fees relating to the Building Permit Application. Allow to pay for all other additional tests, permits, etc... made necessary due to contractors error, etc...

6. Workmanship

All work shall be carried out in accordance with best trade practices by skilled craftsmen.

The plumber shall ensure that the Builder provides and fixes all necessary supports, grounds, etc. and makes all other provisions so that plumbing work may be finished in a thorough, neat and tradesmanlike manner.

Check all dimensions on site. Zinc or galvanised iron shall not be in contact with copper.
Lead or copper shall not be in contact with aluminium.

Dissimilar metals shall be separated by Malthoid washers or bitumastic paint. Similarly separate aluminium from concrete.

All cutting, drilling and fixing shall be included, but no work of other trades shall be so cut that damage is done to structural or finished work. No structural steel shall be cut without the permission of the Engineer.

Co-operate with other trades as required.

7. Materials

All materials shall be as specified and only of the best quality of their respective kinds.

P.V.C. Pipes

Shall be to NZS 7641 and NZS 7642.

8. Water Supply

Make connection to the water supply in existing dwelling.

9. Waste and Vent Pipe System

Provide and install complete all waste pipes, traps and vent pipes for all W/C pans, basins, sinks as shown on the drawings and specified.

Wastes shall be polypropylene or uPVC and discharge in gully traps.

Traps shall be polypropylene S or P.

Vents shall be PVC pipes and fittings to underside of roofing and 0.55 gms above. Provide flanges to roof and seal connections to vents.

All wastes run under floor slabs shall be in P.V.C.

Pipe work shall be concealed in timber walls.

10. W.C.

Install fittings as supplied by the principal.

11. Hand Basins

Install fittings as supplied by the principal.

12. Sinks

Install fittings as supplied by the principal.

13. Shower

Install fittings as supplied by the principal.

14. Taps

Install internal taps to fittings as supplied by the principal.

15. Test

Subject all water installations to a full water pressure test. All fittings shall be tested and left in working order to the satisfaction of the Engineer. All pipe work shall be tested before wall linings are fixed. Allow for all tests as required by the Local Authority

SECTION VI

ELECTRICAL WORK

1. Preliminary & General

The Contractor for this section shall refer to the preliminary and general clauses that relate to his trade. The Contractor shall allow for co-operation between this trade, all other trades, specialist suppliers and installers.

2. Scope

The work shall include the for manufacture, assembly, supply wiring to and installation of the following:

- a) Installation of interior light fittings as supplied by the principal, and small power and accessories in the positions shown.
- b) Supply and install extract fans, ducted to the exterior of the building to all areas provided with plumbing fittings,
- c) All incidental work associated with the above requirements to leave the house in a complete and habitable state.

3. Standards, Permits & Inspections

The Contractor shall comply with the following standards and regulations:

- The Electricity Regulations 1997 and New Zealand Electrical Codes of Practice (NZECP)..
- The New Zealand Building Code Handbook and Approved Documents.

Where a particular standard is quoted the work and material shall comply with that standard.

Where no standard is quoted, and there is conflict between this specification and drawings and the above standards, refer to the Engineer and obtain instructions before proceeding.

All work shall be carried out in accordance with the requirements of the local power company, the Engineer and any other Statutory Authority which has jurisdiction over the installation. The Contractor shall make all necessary arrangements with the local power company.

The Contractor shall be responsible for having the entire installation inspected by a registered Electrical Inspector who shall issue a Certificate of Compliance. The Inspector shall not be a member of the Contractor's staff. The Contractor shall rectify at his own cost any work which is not approved by the Inspector. The Contractor shall pay all fees and charges for inspections and approvals for his trade relating thereto.

The Contractor shall obtain the necessary permits before commencing work and shall pay all fees and charges relating thereto.

4. Materials

All materials and equipment shall be new, of the highest quality, and in compliance with the current appropriate New Zealand Standards. The Contractor shall obtain and comply with all instructions for handling, preparation and installation of materials and equipment, issued by the manufacturers or suppliers.

The Contractor shall provide Certificates of Compliance for all Contractor supplied electrical appliances.

5. Positioning of Equipment

The electrical layout drawings show the general arrangement of the work, unless otherwise instructed by the Engineer during the course of the work shall be followed. The Contractor shall familiarise himself with the structural details of the building and before installing any outlet, ensure that there is no conflict with any structural feature or fittings. Any discrepancies found shall be brought to the notice of the Engineer and instructions obtained before proceeding.

6. Workmanship

Workmanship throughout shall be in accordance with the requirements of the Electricity Regulations 1997 and amendments thereto. All works shall be carried out by experienced tradesmen. Apprentices shall not exceed the ratio of one apprentice to two tradesmen. All electrical accessories, are to be properly wired and the whole electrical installation is to be installed and finished to a high standard, with surfaces made good where required. The Engineer's decision shall be binding on decisions over acceptable standards of workmanship and finish.

7. Co-operation with other Trades

The Contractor shall cooperate with all trades to ensure that any holes, buried conduits or ducts, including those for exterior lighting are provided and correctly located.

8. Wiring & Cabling

All cables shall be rated for 0.6/1 kV insulation. All cables shall be new, with stranded copper conductors, with a construction (unless otherwise stated) of PVC/PVC manufactured to comply with AS3147 "PVC Insulated Electric Cables and Flexible Cables" or NZS 6401: 1973. Power cables shall be of minimum core size 2.5 mm². Lighting cables shall be of minimum core size 1.5mm².

Cables shall be adequately mechanically protected to the relevant New Zealand Codes of Practice.

Where cables are to be buried under concrete slabs or concealed in permanent structures, conduits are to be installed with the ends stopped where in exposed positions to exclude the ingress of water and/or other fluids. All underground conduits shall be installed with draw wires to facilitate cables to be pulled in later.

Ground markers are to be fixed at exits from buildings denoting the direction of laid cables. Cables of TPS construction may be used only where they are fully enclosed within timber framing or high impact PVC conduit. Note: where white TPS cables are used they shall be concealed throughout the entire run.

Where cables are tied together on catenary wires within the ceiling or grouped on trays or supports no more than 4 cables shall be tied together.

Power and low voltage cabling shall be segregated, no cable shall contain power and low voltage cores.

Power cables of >6mm² core area shall be terminated using crimp lugs and be crimped to the manufacturer's specification. Cable shall be fixed using nylon cable ties at regular intervals to provide cable support to the satisfaction of the superintendent. Cables entering motors shall have a neat secured loop of cable installed and shall be protected where they pass through floors.

The cross-sectional area of conductors installed for each circuit shall not be less than that necessary to carry continuously the rated current of the circuit or cause a voltage drop greater than 2.5% of the nominal circuit voltage at the rated circuit current.

9. Testing and Commissioning

The Contractor shall carry out tests prescribed by the Electricity Regulations 1997.

10. Completion

All equipment shall be left in proper working order, with ducts, cabinets, boxes, fittings, glands, terminations etc. left securely tightened and/or correctly sealed as required.

The job shall be left free of all debris resulting directly or indirectly from the electrical trade works, so that the whole installation is left as a complete working unit in a clean and tidy condition. Allow to clean residual adhesives, paint, dirt etc from the interior and exterior of all appliances, switches, outlets and switchboards.

MEMORANDUM TO: 1. DIRECTOR OF OPERATIONS
2. Team Leader Building Consents
(please place in building packet)

20/3

Item:
File: 351/62/937
31 March 2003

**LANDUSE & SUBDIVISION CONSENT
R. VINK
784 FERGUSSON DRIVE**

PURPOSE

To recommend Engineering conditions for the above development.

PROPOSED DEVELOPMENT CONDITIONS

The proposed development has been considered and the following conditions are recommended:

1 General:

1.1 The applicant for this Subdivision Consent shall comply with the sections of Council's Code of Practice For Civil Engineering Works which are relevant to this application except as modified by conditions below and it's Requirements For Road Opening and Reinstatement Works.

Note: As part of the Requirements For Road Opening and Reinstatement Works, the subdivider shall obtain a no fees road opening consent before any excavation work is carried out in the road reserve.

1.2 The IQP for this development will be the Upper Hutt City Council.

2 Roading:

2.1 The existing vehicle crossing off Fergusson Drive shall be removed and the footpath and kerb & channel reinstated to be visually and structurally of similar type to the abutting surfaces.

2.2 The developer shall install a new standard heavy duty Council vehicle crossing from the carriageway to the road reserve boundary to provide access to Lots 1 & 2.

3 Water:

3.1 The existing service pipe to Lot 1 can be utilised but if it is made of either galvanised steel, copper, rigid PVC or Low Density Polyethylene then it shall be replaced with Medium Density Polyethylene pipe. If the developer opts to install a new service pipe in a different location to the existing one then he shall seal off the old service pipe at the watermain in Fergusson Drive. The new service pipe in such a case shall be installed **clear of any vehicle crossing**.

3.2 The existing toby for Lot 1 shall be replaced with a 20mm Kent manifold fitting with ball valve and approved water meter box, which shall be located within the road adjacent to the road boundary. A meter is not required at this time.

3.3 The subdivider shall install new water service pipe, **clear of any vehicle crossing**, from the watermain in Fergusson Drive to serve Lot 2 as shown on Drawing 1651SCH-ENG as submitted and shall include a 20mm Kent manifold fitting with ball valve and approved water meter box, which shall be located within the road adjacent to the property boundary. A meter is not required at this time.

3.4 The subdivider shall pay a water shut off connection fee of \$230 for each shut off. If this minimum fee is exceeded the actual cost will be invoiced separately.

4 Wastewater:

4.1 The existing wastewater service lateral shall be utilised to serve Lots 1 & 2 as shown on Drawing No. 1651SCH-ENG as submitted, subject to the subdivider proving to the Council by Closed Circuit Television that it is in good condition from the Council's wastewater main to the further most gully trap on the existing dwelling on Lot 1. If the wastewater service lateral is not in good condition then the developer shall be responsible for bringing the lateral up to the required standard.

4.2 The existing wastewater service lateral servicing Lots 1 & 2, from the proposed mini manhole to the road boundary is the joint responsibility of the owners of Lots 1 & 2.

4.3 Condition 4.2 shall be subject to a consent notice to be registered against the titles of Lots 1 & 2.

5 Stormwater:

5.1 At the building consent stage, the owners of Lot 2 shall make adequate provision for the collection and disposal of stormwater from Lot 2 by installing a soak pit.

Note: A percolation test carried out by Lucas Surveys Ltd reported that on-site stormwater disposal by soakage pit is possible.

6 Easements:

6.1 All services to all Lots are to be protected by easements in so far as they are laid over private land.

6.2 All such easements shall be listed in the memorandum of easements on the survey plan.

RECOMMENDATIONS

1. **THAT** the above conditions be imposed:



Jeff Haste
WORKS ENGINEER

PROCESSING CHECKLIST

B/C No. 020380.....

R/C No. 8870.....

Name Todd..... Address 784 Ferguson Dr. Project Alterations

Date Rec'd 05/20/02 Lot No. 8 DP 2523 Valn Roll No. 1596038800.....

Who needs to see this application:

	Yes	No	Others:
Town Planning			
Health			
Engineering (UHCC)			
Structural Engineer			
Building	/		

Town Planning - Zone - Activity
Comments:

OK to Consent..... Date.....

Building

- | | |
|---|---|
| <input type="checkbox"/> Consent application | <input type="checkbox"/> Certificate of Title |
| <input type="checkbox"/> Plumbing and Drainage | <input type="checkbox"/> Accurate Site Plan |
| <input type="checkbox"/> Two sets of Plans | <input type="checkbox"/> Plumbing Application |
| <input type="checkbox"/> Two sets of specifications | <input type="checkbox"/> Show Septic Tank |
| <input type="checkbox"/> Bracing Schedule | <input type="checkbox"/> Water Tank Size |
| <input type="checkbox"/> Cross Section | <input type="checkbox"/> Truss Number |
| <input type="checkbox"/> Schedule of Materials | <input type="checkbox"/> Sub-floor Bracing B |
| <input type="checkbox"/> Contractors | <input type="checkbox"/> Elements <u>outside 3604, 4229</u>
(Producer statement, calculations) |

OK to Consent... C. WHITEHEAD Date 120/12/02

Building

Comments:

- Letter Phone Verbal Fax

Health

Comments:

OK to Consent..... Date.....

Others

Comments:

OK to Consent..... Date.....

SEWER
CONNECTION

284 Ferguson Drive

D.P.A. 6673 - 20 Oct 64

784

19 Aug 1974 George

Mr. C.T. Trant

Lot 8 DP 2523 Sec 126

SEWER CONNECTION

Upper Hutt Borough Council

APPLICATION

[See Plan over.]

FOR PERMIT TO HAVE DRAINAGE AND PLUMBING WORK CARRIED OUT.

I, the undersigned (name in full) _____ hereby make application for permission to have the work prescribed herein, and set out in the plans hereto, carried out in the premises situated:—

Lot..... 8 D.P. 2523 Section..... 26

Street 177 Main St

Owner C.T. Tranter

Description of Work: sewer connection to existing

drainage

Estimated Cost of Work: Drainage £ 50 0 0 Permit Fee £ 10

Plumbing £ Permit Fee £

T. J. Seary Licensed Drainlayer, of Upper Hutt

Registered Plumber, of

to carry out this work, all of which will be carried out in accordance with the by-laws of the Upper Hutt Borough Council.

Signature of Applicant: T. J. Seary

Address: 11 Hebevale St

Date: 25 10 1964

FOR OFFICE USE ONLY.

Receipt No. Date..... 19.....

Plumbing Permit No. Date..... 19.....

Receipt No. 23562 Date..... 19.....

Drainage Permit No. 6693 Date..... 19.....

Building Permit No. Date..... 19.....

Drainlayer Completing Work: Name T. J. Seary

Plumber Completing Work: Name

Date of Inspection: - - - - - 19.....

Completion Certificate No. Date..... 19.....

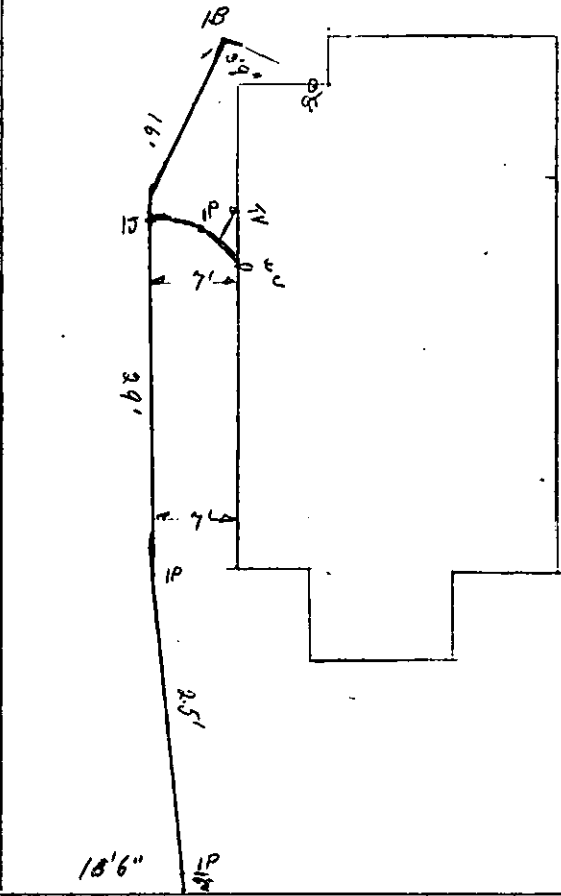
Sanitation Advances Account Application No. Date 19.....

PERMIT FEES PAYABLE FOR SANITARY WORK:

ESTIMATED VALUE OF WORK				FEE PAYABLE		
				£	s.	d.
Not exceeding	£5	-	-	0	1	0
Exceeding	£5 but not exceeding	£10		0	2	6
"	£10	"	"	0	5	0
"	£25	"	"	0	10	0
"	£50	"	"	1	0	0
"	£100	"	"	1	10	0
"	£150	"	"	2	0	0
"	£200	"	"	plus 10/- for every £100 or part thereof in excess of £200.		

Note.—In assessing the value of the work, no single fitting shall be deemed to have a value exceeding £50.

21' x 30'
Garage
1974



177 MAIN ST

PROPERTY ADDRESS: 784 FERG DR

LEGAL DESCRIPTION: LOT 8 DP 2523

LOT DP

BUILDING PERMITS

<u>PERMIT NO:</u>	<u>DATE OF ISSUE</u>	<u>OWNER:</u>	<u>TYPE OF BUILDING:</u>	<u>AREA</u>	<u>ENDORSEMENTS</u>
F 75346	21.8.74	D. G. T. Trantor	Garage + w/shop		
410	31.8.29	G. Trantor	Shed		
715	21.5.47	C. T. Trantor	Addition		

CORRESPONDENCE - FILE NOS:

CALCULATIONS:

OTHER RELEVANT INFORMATION:

~~177 MAIN RD #84~~ Logguson Drive

1596
388

MR. C.T. TRANTER

LOT 8

DP 2523

SEC 126

SEWER

T.J. Seavage

Drawlayer

CONNECTION

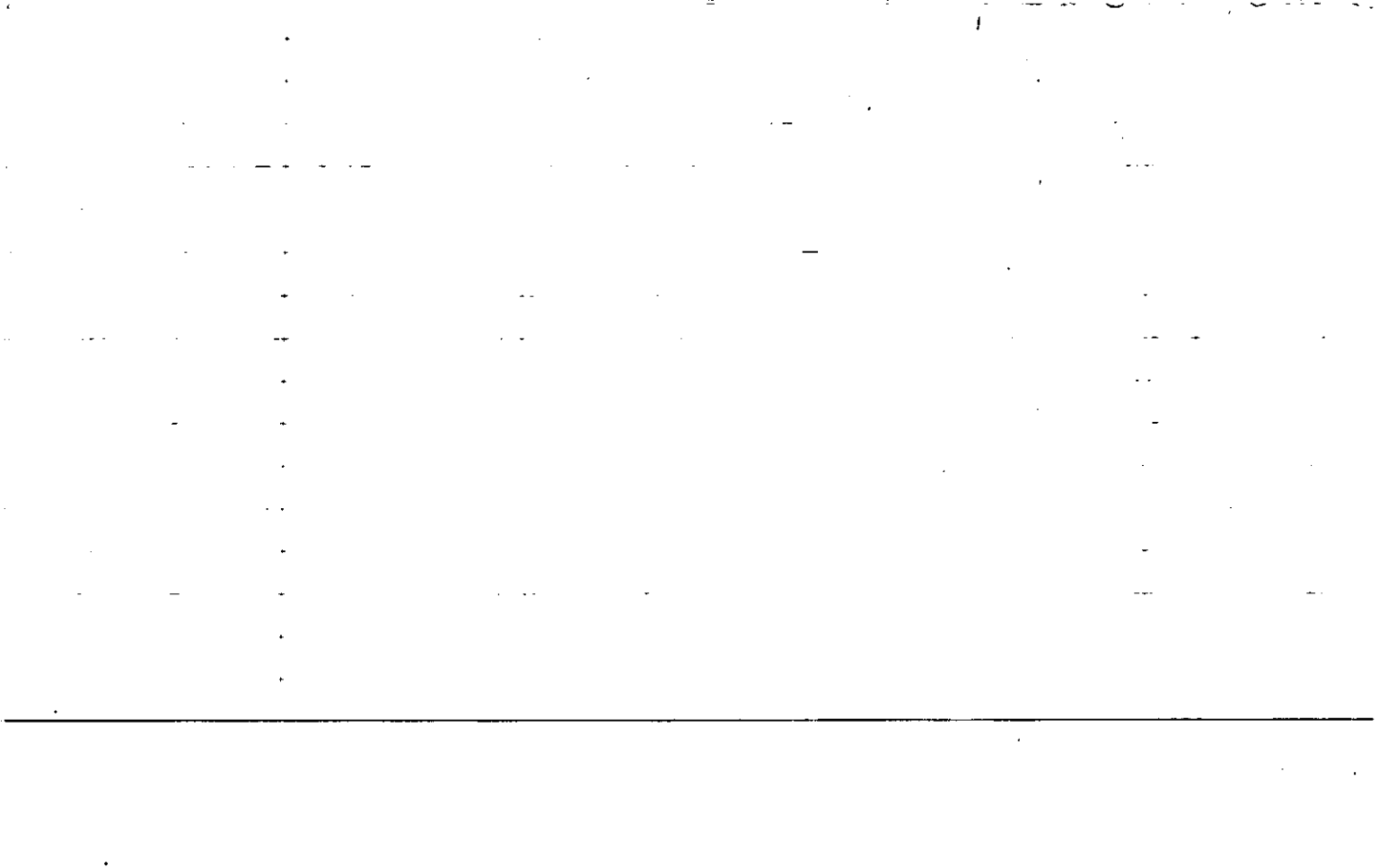
Doc. No. 23562

- Per. 6672 - 20 Oct 64

13 Sept 1966 H.T.A. good.

19 Aug 1974 garage

29 July 82 Blocked drain owner suspects rain due to
colour of toilet paper. Council staff to check



184

Fergusson Drive

• New Garage

• BC 030335

• Lot 8 DP 2523

184



BUILDING CONSENT APPLICATION

FORM BA3

PLEASE COMPLETE ALL SECTIONS OF THIS FORM
(AS APPLICABLE TO YOUR APPLICATION)

Civic Administration Building
838-842 Fergusson Drive,
Upper Hutt
Private Bag 907, Upper Hutt
Tel: (04) 527-2169
Fax: (04) 528-2652
Email: uhcc@uhcc.govt.nz
Website: www.upperhuttcity.com

APPLICATION DETAILS	PROJECT DETAILS
<p>• APPLICANT (CLIENT)/CONTACT (Must be authorised by the owner to make this application)</p> <p>Company: <u>Active Properties</u></p> <p>Mailing Address: <u>P.O. Box 39017</u> <u>Wellington Mail Centre</u></p> <p>Street Address: <u>33 Kings Cres</u></p> <p>Name: <u>Ron Vink</u></p> <p>Phone: <u>04 560 9960</u> Fax: <u>04 560 9961</u></p>	<p>• LOCATION</p> <p>Street Address: <u>784 FERGUSON DR</u> <u>U/HUTT</u></p> <p>Valuation Roll No: <u>1596038800</u></p> <p>Lot: <u>8</u> DP: <u>2523</u></p>
<p>• OWNER (as defined by the Building Act 1991)</p> <p>Full Name(s): <u>Marcel Properties</u></p> <p>Street Address: <u>n</u></p> <p>Mailing Address: <u>97 Noana Rd</u> <u>Upper Hutt</u></p> <p>Phone: Fax:</p>	<p>• DESCRIPTION OF WORK <u>NEW GARAGE</u></p> <p>• INTENDED USE: <u>GARAGE</u></p> <p>• If an existing building, will the building undergo a change of use? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>• Intended Life if less than 50 years:</p> <p>• Being stage/... of an intended/... stages</p>
<p>Estimated Value of proposed work (inclusive of GST): \$ <u>5,000</u></p> <p>Building Consent to be uplifted from: <input type="checkbox"/> Upper Hutt City Council Building Department <input checked="" type="checkbox"/> Post to Owner/Applicant (delete one)</p>	<p>• FLOOR AREA</p> <p>Ground Floor: Existing: m² Add..... m²</p> <p>Other Floor: Existing: m² Add..... m²</p> <p>Accessory Building Area: Existing: <u>0</u> m² Add <u>18</u> m²</p>
	<p>• PLANNING — SITE COVERAGE</p> <p>Total area of all buildings over foundation at ground level.</p> <p>Existing:m² Proposed:m²</p>

SECTION 1

FOR COUNCIL USE ONLY	
Prepaid Fee: \$ <u>250.00</u>	DRAINAGE INFORMATION
Receipt No: <u>9841</u>	Block Plan <input type="checkbox"/> Full PIM <input type="checkbox"/> N/A <input type="checkbox"/>
Receiving Officer's Name: <u>Peter</u>	
Date Received: <u>130503</u>	Building Consent No: <u>030335</u>
HAZARDS:	

PLEASE TURN OVER

HAVE YOU PROVIDED THE FOLLOWING INFORMATION?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing).	✓		
• Certificate of Title: Recent search copy of (less than 6 months old).	✓		
• Plans & specification of an acceptable standard.	✓		
• Plans, elevations, cross sections of the proposal (in duplicate).	✓		
• Recession planes (including to internal boundaries) indicated.	✓		
• Site levels relating to top of roadside kerb, and finished floor level indicated.			✓
• Hill sites: indicate contours, drive gradients and building heights.			✓
• Site boundaries nominated.	✓		
• Shared access ways/other areas.	✓		
• Foulwater drains.			✓
• Stormwater drains	✓		
• Stormwater discharge for hardstanding areas detailed to an approved outfall.			✓
• Water Service Details.			✓
• Vehicle crossing position indicated on-site plan.	✓		
• Vehicle access manoeuvre and parking area indicated.	✓		
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access.			✓
• Site area per unit indicated.	✓		
• Site coverage: % details.	✓		
• Living and service courts indicated.			✓
• Landscaped area indicated and planting plan produced.			✓
• Demolition details.			✓
• Swimming pool: design, fence and discharge.			✓
• Backflow prevention.			✓
• Waterway setbacks indicated.			✓
• Notable and protected site trees indicated.			✓
• Heritage site or building affected?			✓
• Resource Consent Application.			✓
• Development Application.			✓
• Subdivision details.			✓

SECTION 3	Yes	No	N/A
• Structural drawings.	✓		
• Foundation design and report on ground conditions (Engineering).			✓
• Blockwork: design including foundations.			✓
• Retaining walls: design heights, position, sub soil drainage and safety barriers.			✓
• Fire partitions: dividing walls, common walls.	✓		
• Window positions and opening windows indicated.	✓		
• Safety glass provisions specified.			✓
• Thermal insulation and R value indicated.			✓
• Sound insulation indicated.			✓
• Stairs/steps/landings/balconies: dimensions, handrall and barrier details.			✓
• Solid fuel heater: make, model and location.			✓
• Accurate layout and details of plumbing systems.			✓
• Alternative Solutions details.			✓
• Access and facilities for people with disabilities.			✓
• Access Route details.			✓
• Dangerous goods: storage and sign details.			✓
• Gas bottle: storage location and capacity if over 10kg.			✓
• Soakpit, septic tank and pumping station design details.			✓
• Earthworks: Identify proposed cut or fill where more than 50m ³ of soil is being moved.			✓
• Specifications in duplicate.	✓		
• Pegging certificate for two or more units on site.			✓
• Bracing calculations and layout.	✓		
• Roof truss design statement and layout.	✓		
• Producer Statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229.	✓		
• Form (Producer Statement information).	✓		
• Fire Safety Summary or Fire Design Statement.			✓
• Compliance Schedule details.			✓

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? Yes No
 If yes, briefly describe your proposed programme:
- Estimated start date: (please note building work must be started within 6 months of Consent issue date).
- Estimated finish date:
- Is a registered engineer involved? Yes No
 For design Yes No
 For inspection Yes No
- Is a Producer Statement to be offered?
 Producer Statement: Design Yes No
 Producer Statement: Inspection Yes No
- Is a registered Master Builder involved in the project: Yes No
 Name (optional)

SECTION 4

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS, GARAGES, CARPORTS etc.

Please tick the relevant boxes to show which systems are included or to be included in the building project. *N/A*

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection.	<input type="checkbox"/>	<input type="checkbox"/>
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.	<input type="checkbox"/>	<input type="checkbox"/>
(c) Emergency warning systems for fire or other dangers.	<input type="checkbox"/>	<input type="checkbox"/>
(d) Emergency lighting systems.	<input type="checkbox"/>	<input type="checkbox"/>
(e) Escape route pressurisation systems.	<input type="checkbox"/>	<input type="checkbox"/>
(f) Riser mains for fire service use.	<input type="checkbox"/>	<input type="checkbox"/>
(g) Any automatic backflow preventer connected to a potable water supply.	<input type="checkbox"/>	<input type="checkbox"/>
(h) Lifts, escalators, or travelators or other similar systems.	<input type="checkbox"/>	<input type="checkbox"/>
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building.	<input type="checkbox"/>	<input type="checkbox"/>
(j) Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the building code.	<input type="checkbox"/>	<input type="checkbox"/>
(k) Building maintenance units for providing access to the exterior and interior walls of buildings.	<input type="checkbox"/>	<input type="checkbox"/>
(l) Such signs as are required by the building code in respect of the above mentioned systems.	<input type="checkbox"/>	<input type="checkbox"/>
NONE OF THE ABOVE	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 5

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5 *N/A*

(m) Means of escape from fire.	<input type="checkbox"/>	<input type="checkbox"/>
(n) Safety barriers (including handrails, balustrades).	<input type="checkbox"/>	<input type="checkbox"/>
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 47a of the Building Act 1991.	<input type="checkbox"/>	<input type="checkbox"/>
(p) Handheld hoses for fire fighting.	<input type="checkbox"/>	<input type="checkbox"/>
(q) Such signs as are required by the building code or section 47a of the Building Act 1991.	<input type="checkbox"/>	<input type="checkbox"/>

SECTION 5A

PLEASE TURN OVER 0

SECTION 6

VERSATILE BUILDINGS

Builders Name: ULRIC STREET Phone: 2339528
 Address: PLIMMERTON Fax: 2339827
 P.O. BOX 54060 MANA

Building Certifier's Name: SLAB BY OTHERS Phone: _____
 Address: _____ Fax: _____

Craftsman Plumber's Name: _____ Phone: _____
 Address: _____ Fax: _____

Registered Drainlayer's Name: BY OWNER Phone: _____
 Address: _____ Fax: _____

Engineer's Name: _____ Phone: _____
 Address: _____ Fax: _____

Designer's Name: _____ Phone: _____
 Address: _____ Fax: _____

SECTION 7

	YES / NO / NA	YES / NO / NA	YES / NO / NA
Have you fully completed	Section 1 <input type="checkbox"/>	Section 4 <input type="checkbox"/>	Section 6 <input type="checkbox"/>
	Section 2 <input type="checkbox"/>	Section 5 <input type="checkbox"/>	Section 7 <input type="checkbox"/>
	Section 3 <input type="checkbox"/>	Section 5A <input type="checkbox"/>	

- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- Building Consent Fees: Council prefers payment of fee's on application. A Fee Schedule is available to determine costs of application, from the Building Department.

• I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION

Print Name: Roy Vink Date: 13/05/03

Signature: [Signature]

SIGNED BY or FOR AND ON BEHALF OF THE OWNER

Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the Civic Administration Building, 838-842 Fergusson Drive, Upper Hutt.

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Building Department to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

PROCESSING CHECKLIST

B/C No. 030335

R/C No. 9841

Name Marcol Props Address 784 Ferguson Dr Project new garage

Date Rec'd. 130503 Lot No. 8 DP. 2523 Valn Roll No. 1596038800

Who needs to see this application:

	Yes	No
Town Planning	/	
Health		
Engineering (UHCC)		
Structural Engineer		
Building	/	

Others:

Town Planning - Zone - Activity
Comments:



OK to Consent..... Date.....

Building

- | | |
|---|--|
| <input type="checkbox"/> Consent application | <input type="checkbox"/> Certificate of Title |
| <input type="checkbox"/> Plumbing and Drainage | <input type="checkbox"/> Accurate Site Plan |
| <input type="checkbox"/> Two sets of Plans | <input type="checkbox"/> Plumbing Application |
| <input type="checkbox"/> Two sets of specifications | <input type="checkbox"/> Show Septic Tank |
| <input type="checkbox"/> Bracing Schedule | <input type="checkbox"/> Water Tank Size |
| <input type="checkbox"/> Cross Section | <input type="checkbox"/> Truss Number |
| <input type="checkbox"/> Schedule of Materials | <input type="checkbox"/> Sub-floor Bracing |
| <input type="checkbox"/> Contractors | <input type="checkbox"/> Elements outside (Producer statements & calculations) |

BUILDING CONSENT ISSUE

BUILDING INSPECTOR	DATE
--------------------	------

OK to Consent..... 14..... Date..... 28/05/03

Building

Comments:

Letter

Phone

Verbal

Fax

Health

Comments:

OK to Consent..... Date.....

Others

Comments:

OK to Consent..... Date.....



UPPER HUTT CITY COUNCIL

Project Information Memorandum

No: 030335

Section 31, Building Act 1991

Issued in accordance with Building Consent No. 030335

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991:

- That no Building Work is to commence until the Building Consent has been issued.
- That this Building Consent remains valid for 6 months from date of issue (otherwise, the consent lapses) and work shall commence within this period and proceed at a reasonable pace until completion.

And any requirements of the building consent attached.

- UHCC requires notification of the intention to start work, and also requires 1 working days notice to carry out inspections as the work proceeds (the stages at which inspections are required is stamped on the back of the approved documents).

This project information memorandum includes:

___ Information identifying relevant special features of the land concerned

Upper Hutt is a high earthquake risk area and this section is in a medium wind zone, otherwise Council is unaware of any special feature of the land that is likely to affect, this construction.

No information on this site is recorded on the hazard register.

UHCC does not have a complete record showing the location of foulwater and stormwater drainage and water supply systems. (Check on site and owner's records). For other services e.g. gas, telephone and electricity, contact other Utility Operator Offices.

Complying smoke detectors with hush facility must be installed in all escape routes in accordance with NZBC F7/AS1.

Signed for and on behalf of the Council:

Name: PETER HAY

Date: 28/05/03

Position: BUILDING OFFICER

1. Before a Certificate of Code Compliance can be issued, the owner shall:
2. Arrange for a completion inspection and attend to any outstanding items as required by the Inspector,
3. Provide a 1:200 scaled As Laid drainage plan showing location of sewer and stormwater drains (with inspection points shown), soakpits, septic tanks and outfall, and position of water supply.
4. Return completed Advice on Completion of Building Work form.
5. Where it is proposed to discharge stormwater to a soakpit, the soakage shall be proven by test.
6. That the Designer or approved Engineer verify foundation conditions before placing concrete to confirm design assumptions with due regard to seasonal variations.
7. That the truss/frame manufacturer provide Producer Statement (Construction) for the fabrication of the proprietary elements prior to issue of the Code Compliance Certificate.

Building Consent Application Planning Checklist

Building Consent # 030335
Address 784 FERGUSSON DRIVE
Legal Description LOT 8 DP 2523
Activity NEW GARAGE
Zoning Residential General
Transitional Plan Residential
Proposed Plan

Permitted Activity 0

Bulk and Location

Front/Rear Lot F
Net site area 920m²
Site Coverage 0.235% TOTAL SITE :
Yard Setbacks 0
Height 0
Height Line Restrictions 0
Outdoor Living Court 0
Proximity to neighbouring dwelling 0
Length of wall on boundary 0
Building Line Restriction 0
Landscaping Requirement 0
Easement 0
Second dwelling 0

Parking

Environmental

Earthworks 0
Cut batter 0
Floodplain 0
Any affected waterway 0
Fault line 0
Contaminated/Hazard Site 0
Trees 0
Protected Ridge Line 0
Noise Issues 0
Light Issues 0
Any scheduled item 0

Development Levy 0

Any relevant Resource Consent requirements

Resource Consent Required? No Applied for? -

New Rural Number Required?
 If so, please notify Monique

Mitch Lewandowski
PLANNING OFFICER



GIB® Residential Garage Boundary Walls

Supplement To: 'GIB® Fire Rated Systems, August 2001'

Scope of Use

The solution offered in this bulletin is intended for use when the NZBC Acceptable Solution C/AS1 requires a Fire Resistance Rating (FRR) for a single storey residential garage boundary wall on or within 1m from a property boundary. This information bulletin assumes that the garage or carport has a Fire Hazard Category of 1 as defined in Table 2.1 of C/AS1 - a standard single household garage for use by the household occupants only (SH purpose group) and is designed to comply with the NZBC with particular reference to C/AS1.

Compliance with the NZBC

- Under normal conditions of dry internal use GIB® Fire Rated Systems have a serviceable life in excess of 50 years and satisfy the requirements of NZBC Clause B2 — Durability.
- GIB® Fire Rated Systems provide passive fire protection in accordance with the requirements of NZBC Clause C3 — Spread of Fire.
- GIB® Residential Garage Boundary Walls satisfy the requirements of NZBC Clause C4 — Structural Stability during Fire¹ and have been specifically designed to fall inwards and away from the adjacent property boundary when collapse conditions are reached during a fire.

Selecting the FRR

If the garage meets the following conditions, the FRR of the boundary walls can be assessed from this information bulletin. For situations outside these conditions Part 5 and Part 7 of NZBC Acceptable Solution C/AS1 must be followed with respect to establishing the required FRR (S-Rating) and distance to the boundary.

- i) For small detached garages less than 40m² floor area and less than 1m from the boundary a 15/15/15 two way FRR is required.
- ii) For attached garages, and detached garages greater than 40m² floor area, and less than 1m from the boundary, a 30/30/30 two way FRR is required.
- iii) For garages 1m or more from the boundary no fire rating is required.
- iv) A carport can have 100% unprotected walls and roof (no FRR) if two sides of the perimeter are open, and:
 - a) the roof plan is less than 40m² and no part of the roof is closer than 0.3m to the boundary
 - b) the roof plan is greater than 40m² and no part of the roof is closer than 1m to the boundary

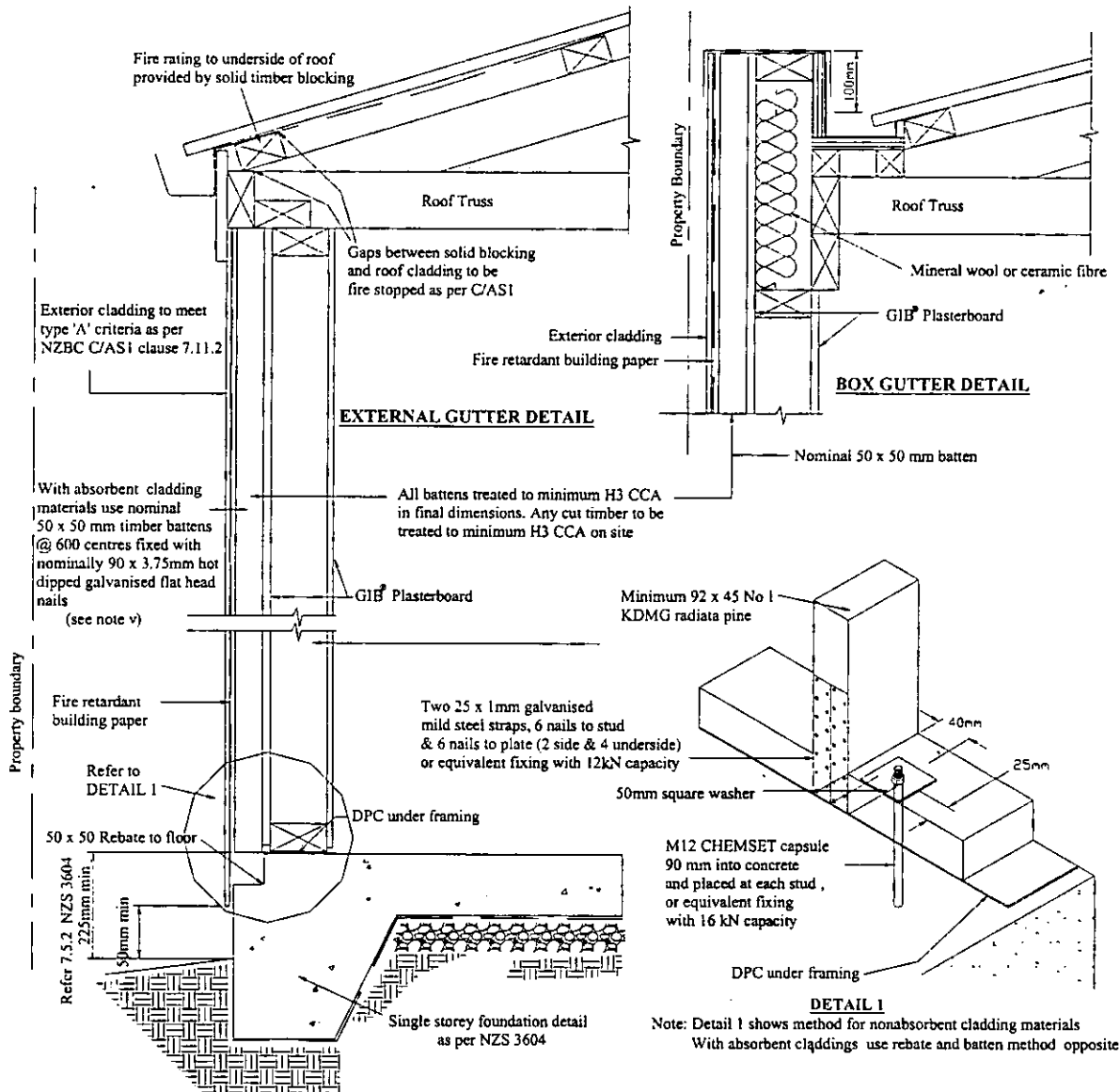
If these conditions are not met then the requirements of C/AS1 clause 7.8.10 must be complied with.

A garage or carport can be connected to a house without a FRR (between the garage and house) provided that the house is under the same ownership as the garage/carport and solely for the use of the occupants of the household.

¹ Reference: MacDonald Barnett Partners, Consulting Civil and Structural Engineers, Report No 5109 CRB, dated 13 October 1993, Producer Statement dated 1 March 1994, and letters/faxes dated 12/6/02, 28/6/02, 2/12/02 & 17/12/02.

Notes

- i) When the wall is less than 1m from the boundary a two way fire rated system is required, constructed in accordance with 'GIB® Fire Rated Systems, August 2001'.
- ii) When the wall is less than 0.2m from the boundary, the garage walls at 90° to the boundary are required to have a fire rated return wall within the 0.2 metres from the boundary. The fire rating shall be the same rating as the boundary wall, if no fire rating is required for the boundary wall then a fire rated return wall is not required. Alternatively a fire rated wing wall complying with Table 7.3 of the NZBC Acceptable Solution C/AS1 could be constructed.
- iii) Sheet joints in GIB® Plasterboard linings under an external cladding do not require taping and stopping.
- iv) Impervious cladding materials with a ventilation air-space, such as corrugated steel or aluminum/PVC weatherboards, may be installed over fire retardant building paper directly over the external GIB® linings.
- v) Absorbent cladding materials, such as fibre-cement or polystyrene cladding systems, must be separated from the external GIB® linings by means of vertical battens with a nominal depth of 50mm, and fire retardant building paper behind the cladding material. The battens are to be treated to minimum H3 CCA in its final dimensions. Any cut timber is to be treated to minimum H3 CCA on site. Battens are to be fixed with nominally 90 x 3.75mm hot dip galvanised flat head nails.
- vi) Cladding materials must comply with the requirements of NZBC Acceptable Solution C/AS1 clause 7.11.2. This requires a 'Type A' cladding when the wall is within 1m of the boundary². Claddings classified as 'non-combustible' will meet the Type A criterion. Typical examples are concrete, brick and steel claddings. Cellulose fibre-cement with finishes/coatings less than 1mm thick will also typically be classed Type A. Products such as plywood and timber or PVC weatherboards will not meet the Type A requirement and therefore cannot be used when the wall is within 1m of the boundary.
- vii) The drawings below assume a standard wall height up to 2.4m and a stud spacing of 600mm. Walls up to 2.8m require stud spacing at 450mm and walls up to 3m require studs at 400mm.
- viii) For retrofit situations please contact the GIB® Helpline on 0800 100 442 for other options.



² The cladding is tested to AS/NZS3837 at an irradiance of 50kW/m² for a duration of 15 minutes and also is required to meet the requirements of C9.1 of the NZBC Acceptable Solution C/AS1.

MARCO

~~ACTIVE~~ PROPERTIES

784 FERGUSON DR

LOT 8 DP 2523

920 m²

Notes

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BRANZ Note: Copies of Bracing Test Report for wall cladding, Test number STR346, available for inspection from Versatile Buildings Ltd, 112 Waterloo Road, Christchurch.

Building Classification: Buildings designed for Class 4 & 5 Category as defined in NZS4203:1992 Table 2.3.1

Patent: 'Flexi-Brace' subject to Patent Application No: 504428 Mitek New Zealand Ltd

Steel 'Stud Saver' subject to Registered Patent No's 330803 & 314494.

Index

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Page 1	Producer Statement: MiTek NZ Ltd- Design
Page 2	Producer Statement: Versatile Buildings/BHP - Durability
VB2000-3	Detail Index
VB2000-4	Floor slab/bolting & Size Tables/Charts
VB2000-5	Hardware Fixing Details
VB2000-6	1000 Series Wall Bracing Units (1000mm stud centers)
VB2000-7	600 Series Wall Bracing Units (600mm stud centers)
VB2000-8	Roof & Wall Bracing (2.7 & 3.0m stud)
VB2000-9	Fire-Wall Details
VB2000-10	Ply-bracing (Tilt-Door Front and rear opening)
VB2000-11	Partition Wall Bracing
VB2000-12	Internal Lining Details
VB2000-13	Roof Details
VB2000-14	Truss Details 2.4m to 7.8m span
VB2000-15	Truss Details 8.0m to 10.2m span
VB2000-16	Alternative Truss Stiffener Detail
VB2000-17	Roof bracing (600 & 1000 series)
VB2000-18	Garaport / Verandah & Deck details

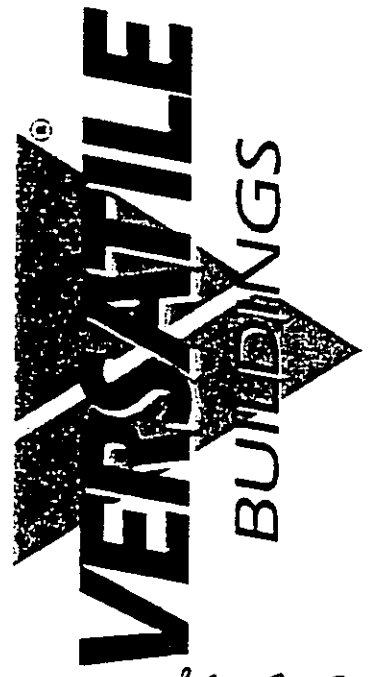
CONVENTIONS:

"600 Series" refers to buildings with studs at 600mm centers.
 "1000 Series" refers to buildings with studs at 1000mm centers.

VB2000 SERIES

VB Ltd

July 2002 Version 1.3



Designed by:

MiTek™ MiTek New Zealand Ltd.

PO Box 3887
 Riccarton, CHRISTCHURCH
 www.mitek.nz.co.nz
 HOME OF GANG-NAIL® BUILDING SYSTEMS

UPPER HUTT CITY COUNCIL
 PLANNING APPROVAL
 DATE 27-05-03 *MM*

**Producer Statement
 Structural Details**

BC 080335

BUILDING CONSENT ISSUED

BUILDING INSPECTOR	DATE
<i>H</i>	28/05/03

Correspondence from: **CHRISTCHURCH**
20 Kotzikas Place, Sockburn
PO Box 8387, Riccarton
Phone: (03) 348 8691
Fax: (03) 348 0314

AUCKLAND
5 Zelanian Drive, East Tamaki
PO Box 58-014, Greenmount
Phone: (09) 274 7109
Fax: (09) 274 7100

HOME OF GANG-NAIL® BUILDING SYSTEMS

www.mitek.nz.co.nz

PRODUCER STATEMENT - DESIGN
MiTek New Zealand Ltd.

VB2000 SERIES JULY 2002
MiTek DESIGN

The building design VB2000 has been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000 I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Stephen Anthony COLL

E.A. IPENZ, MNZIOB

for MiTek New Zealand Ltd
20 Kotzikas Place
CHRISTCHURCH
NEW ZEALAND

Date: 22 July, 2002



BHP New Zealand Steel



VERSATILE BUILDINGS LIMITED PRODUCER STATEMENT – DURABILITY

The building designs VB2000 have been designed using the external metal cladding on the walls to assist in their structural stability.

To satisfy the requirements of Clause B2: "Durability" of the NZBC 1992 and to ensure the cladding material meets a 50-year durability life the following provisions must apply:

Range of Product and Use

- Specification: AS1397: 1994
- Coating Type: Zinalume & G2z
- Steel thickness range: 0.35mm – 0.95mm BMT
- Steel grade range: G300 – G550
- Application: Standard Versatile Walls on Class V Building category as per NZS4203: 1992
- Fasteners: Heavy Zinc or Zinc-tin coated clouts to comply with AS3566 Classes 3 & 4.
Aluminium rivets for all BHP Cladding products.

Requirements, Limitations and Exclusions

- Applicable to buildings in Coastal Very Severe, Coastal Severe, Coastal Moderate and Inland Moderate environments as described in BHP New Zealand Steel Environment Categories March 2000.
- Fixing and installation of the cladding must be done exactly in accordance with Versatile Buildings Fixing Guide – VB2000
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- **Moderate Marine Environment**
Rain washing only required on exposed sections, sheltered or protected areas require washing every 3 months.
- **Severe and Very Severe Environment**
Rain-washing only required on exposed areas. Sheltered and protected areas require washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

- **Extended Durability**
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturers recommendations are to be followed for surface preparation and paint type to be used.
- **Evident Corrosion**
Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required. Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

References

1. BHP New Zealand Steel
"Environmental Categories" March 2000
2. Versatile Buildings Assembly Instructions for Standard Garages
3. New Zealand Building Code 1992

Brett Waterfield

for Versatile Buildings Ltd
112 Waterloo Road
Christchurch

NEW ZEALAND

Gary Bonniface

for BHP New Zealand Steel
Private Bag 92121
Auckland

NEW ZEALAND

Dated: 1st July 2000

detail @ Sheet 13
RIDGE BRACE DETAIL

detail P Sheet 13
PURLIN TO TRUSS FIXING

Sheet 17
ROOF BRACING LAYOUT

Sheet 14 & 15
TRUSS DETAILS

detail F Sheet 5
TOP PLATE (SIDE) JOIN

detail J Sheet 10
FRONT & REAR TILT DOOR

detail G Sheet 9
FIREWALL DETAIL

detail E Sheet 4
LINTELS CHART

detail A Sheet 4
BOTTOM PLATE FIXING

detail H Sheet 9
LVL BEAM END CONNECTION

detail B Sheet 4
TIMBER GRADE

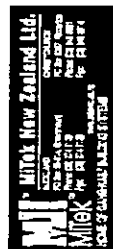
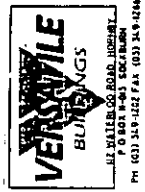
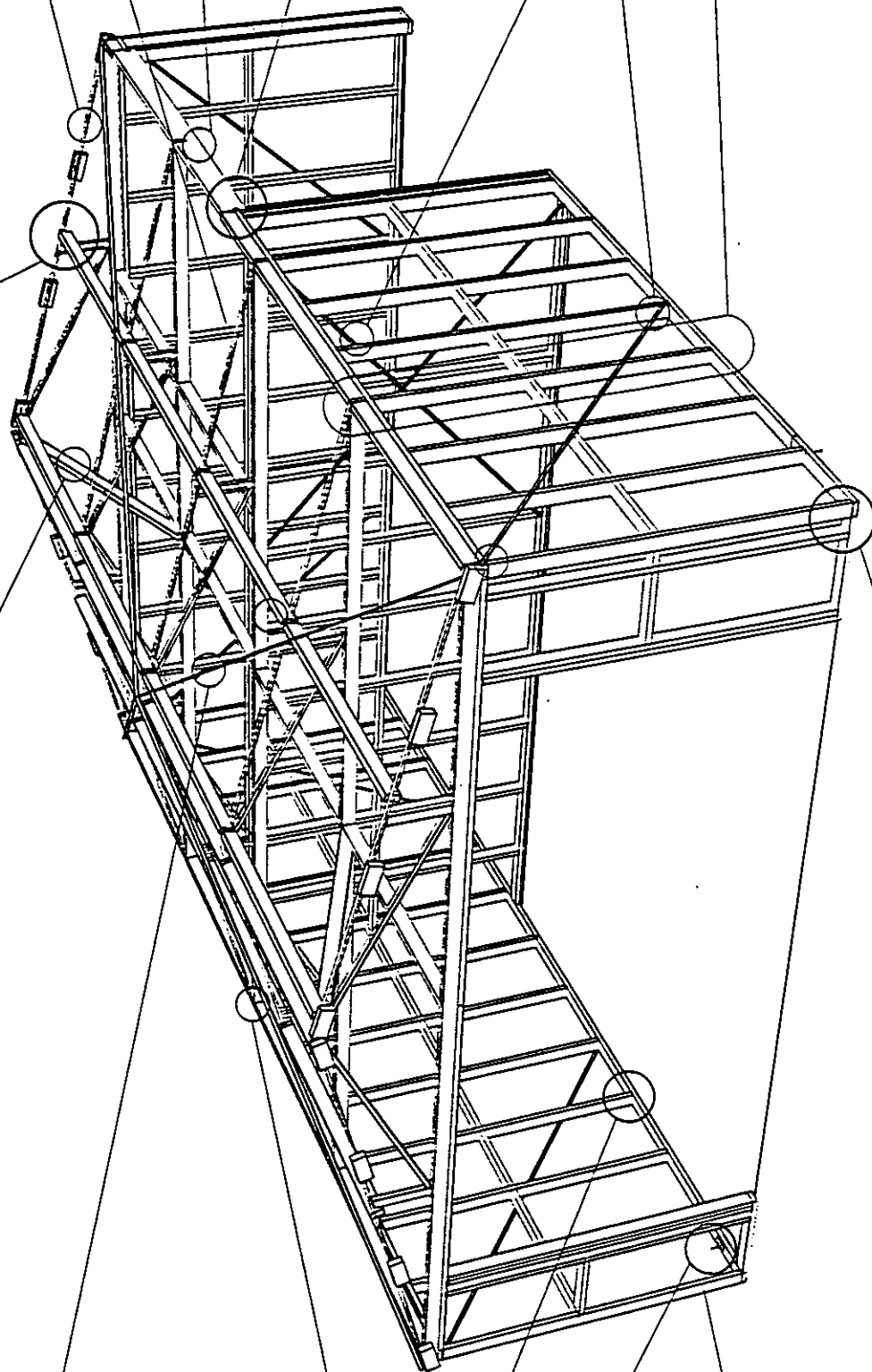
Sheet 11
PARTITION WALL BRACING

detail C Sheet 9
CORNER FIXINGS

Sheet 6 & 7
WALL BRACING DETAILS

detail F Sheet 5
TRUSS/STUD/PLATE CONNECTION

Sheet 14 & 15
TRUSS DETAILS



VERSATILE BUILDINGS LTD
Construction Details

DRAWING TITLE:
Detail Index

DESIGN: S.A. Coll
DRAWING: VB2000-3
DRAWN: VB Ltd
DATE: Jul '02

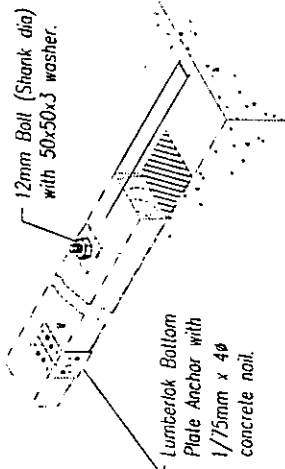
SHEET: **3**

OF SHEET: **18**

Max. Truss Span or Building Width
Wind Load Bottom Plate Anchor or M12 ϕ Bolt

Low	12000
Medium	10600
High	9600
Very High	8400

NOTE: For fastener spacing @ 900 crs, truss spans building width can be increased by 25%.

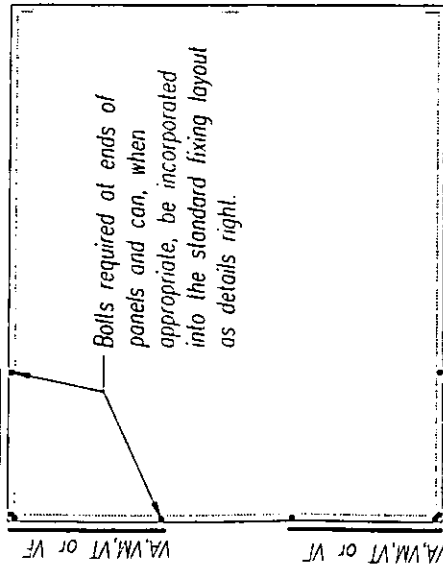


Detail A Bottom plate fixing

2.7 & 3.0m stud plate fixing

Detail C

VA, VM, VT or VF



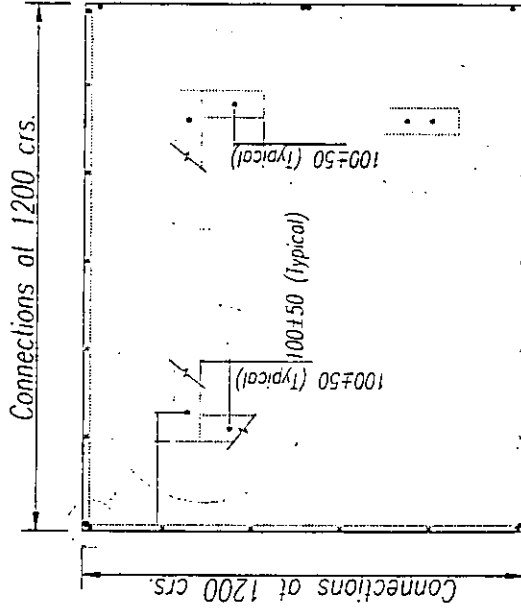
VA, VM, VT or VF

TIMBER GRADES:

LOCATION	STUD	2.1 to 3.0m stud	Low/Med.& High Wind	V.High Wind (600 series only)
90x35 STUDS (Machine Stress Graded)	MGP10	MGP10	MGP10	MGP10
90x35 PLATES (Machine Stress graded)	MGP10	MGP10	MGP10	MGP10
90x45 PURLINS (Machine Stress Graded)	MGP10	MGP10	MGP10	MGP10

Detail B Timber grades

Detail D 2.1 & 2.4m stud plate fixing



NOTE:

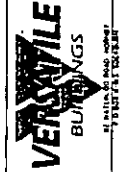
- Connections must be applied at all corners and door openings shown and then spaced, as per layout above, between these points.

Lintel charts

Detail E

VERSATILE BUILDINGS LTD
Construction Details

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SIDE ENTRY: ALUMINIUM JOINERY

2.1m stud height

Opening Width	Bldg Width	Lintel Size
865mm clear span up to 9.0m	190x45 + 90x45	
1165mm clear span up to 9.0m	190x45 + 90x45	
1765mm clear span up to 9.0m	190x45 + 90x45	
2365mm clear span up to 9.0m	190x45 + 90x45	
2.4m-3.0m stud height		

Opening Width	Bldg Width	Lintel Size
865mm clear span up to 9.0m	2x 90x45	
1165mm clear span up to 9.0m	2x 90x45	
1765mm clear span up to 9.0m	2x 140x45	
2365mm clear span up to 9.0m	190x45 + 90x45	

SIDE ENTRY: TILT-DOORS

2.7m wide opening

Bldg Width	Low/Med/High	V.High
6.0m	170x45 LVL	2x170x45 LVL
over 6.0m to 9.0m	2x170x45 LVL	2x170x45 LVL
3.0m-4.5m wide opening		

Bldg Width	Low/Med/High	V.High
6.0m	240x45 LVL	2x 240x45 LVL
over 6.0m to 9.0m	2x240x45 LVL	2x 240x45 LVL

DESIGN NOTES: Dead load: 0.20kPa
Live Load: 0.25kPa Snow Load: 0.50 kPa
Max. long term deflection: (L/300 or 15mm)max.
Wind Load in accordance with NZS 3604:1999

DESIGN: DRAWN: S.A. Coll YB Ltd
DRAWING: DATE: VB2000-4 Jul '02

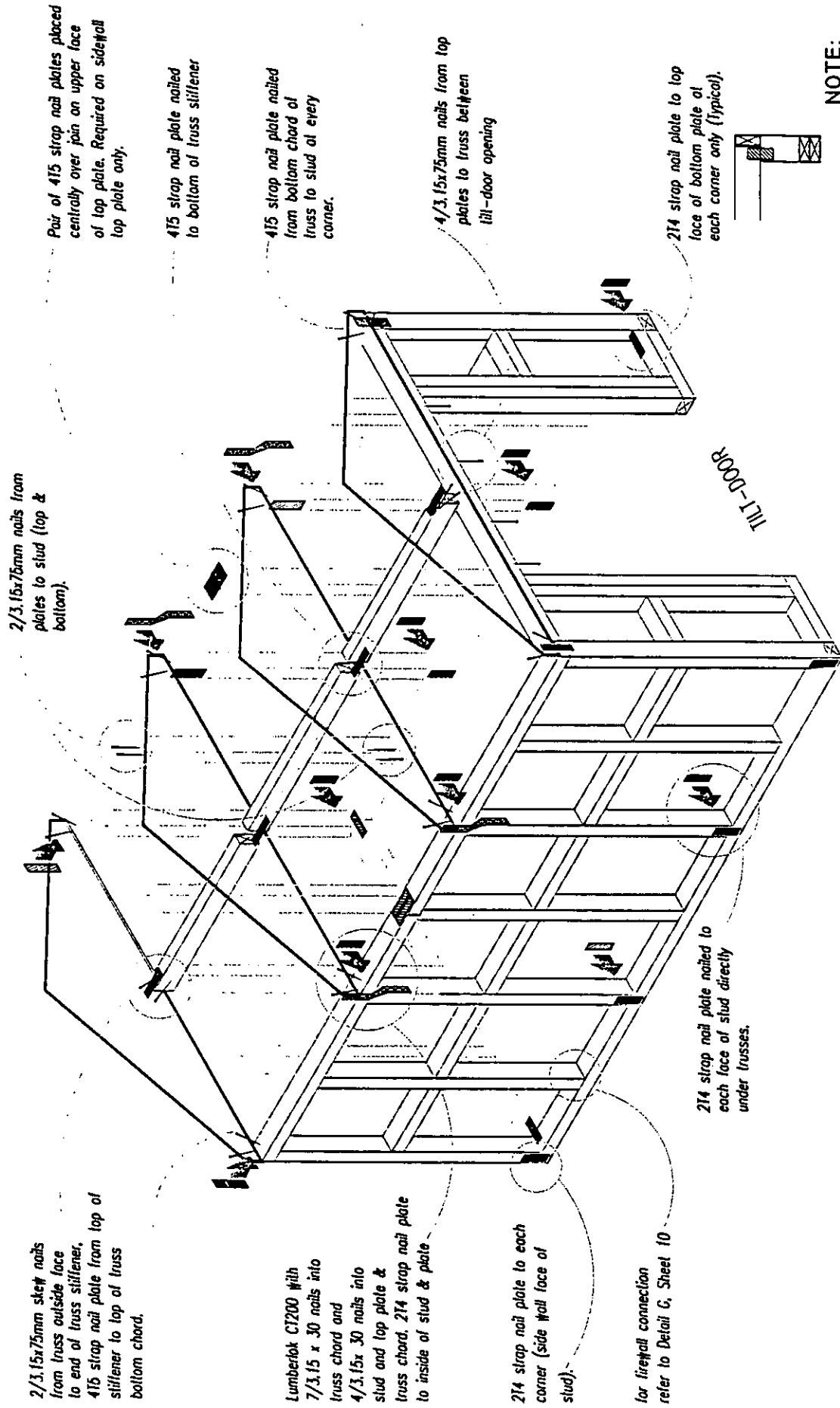
Floor Slab & Tables

DRAWING TITLE:

SHEET: **4**

OF SHEET: **18**

Detail F Hardware Fixing Locations



2/3.15x75mm nails from plates to stud (top & bottom).

2/3.15x75mm skew nails from truss outside face to end of truss stiffener.
415 strap nail plate from top of stiffener to top of truss bottom chord.

Pair of 415 strap nail plates placed centrally over join on upper face of top plate. Required on side wall top plate only.

415 strap nail plate nailed to bottom of truss stiffener

415 strap nail plate nailed from bottom chord of truss to stud at every corner.

Lumberlok C1200 with 7/3.15 x 30 nails into truss chord and 4/3.15 x 30 nails into stud and top plate & truss chord. 214 strap nail plate to inside of stud & plate

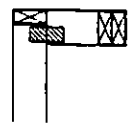
4/3.15x75mm nails from top plates to truss between tilt-door opening

214 strap nail plate to each corner (side wall face of stud).

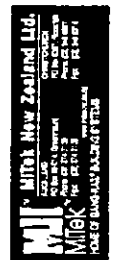
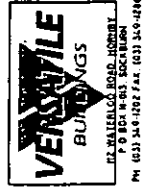
for fire/rail connection refer to Detail G, Sheet 10

214 strap nail plate to top face of bottom plate of each corner only (typical).

214 strap nail plate nailed to each face of stud directly under trusses.



NOTE:
hardware fixings apply to both 600 & 1000 series buildings.



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Construction Details
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DRAWING TITLE:
Hardware Fixing

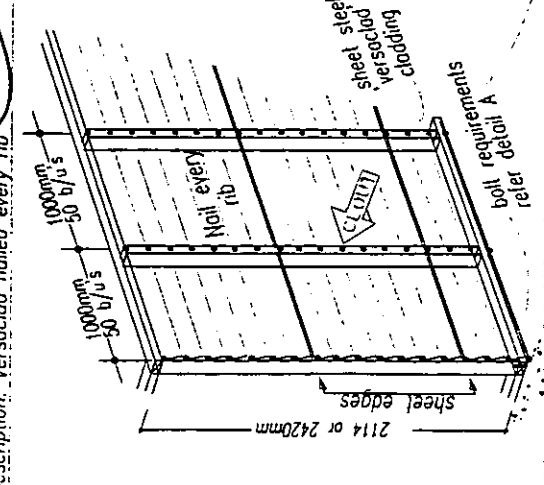
DESIGN: S.A. Coll
DRAWING: VB2000-5

DRAWN: VB L14
DATE: Jul '02

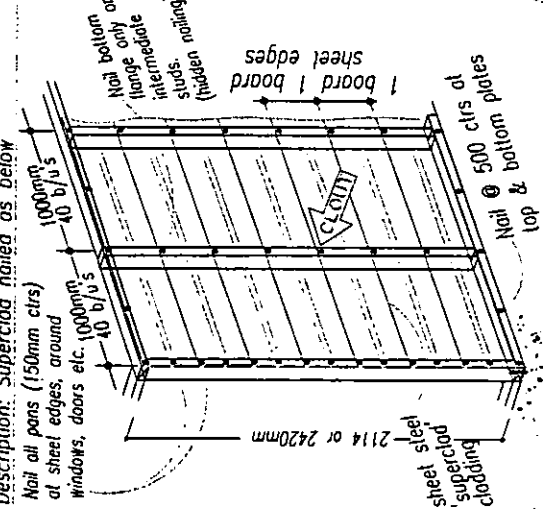
SHEET: 5

OF SHEET: 18

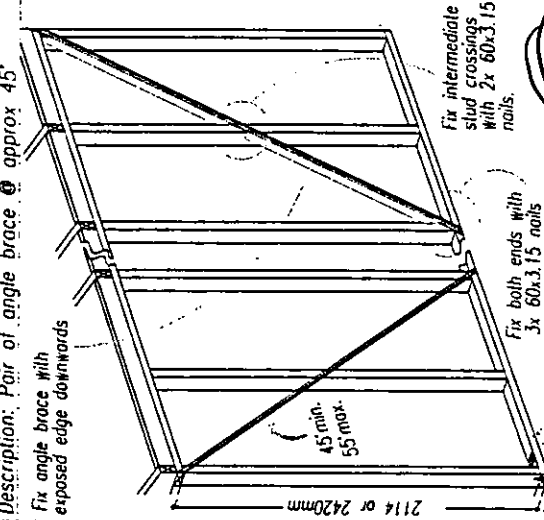
BRACING ELEMENT: VV1
Bracing units(B/U's) per/m: **50**



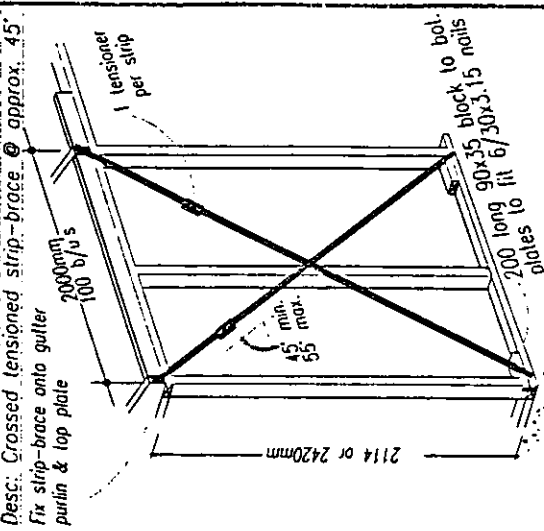
BRACING ELEMENT: VS1
Bracing units(B/U's) per/m: **40**



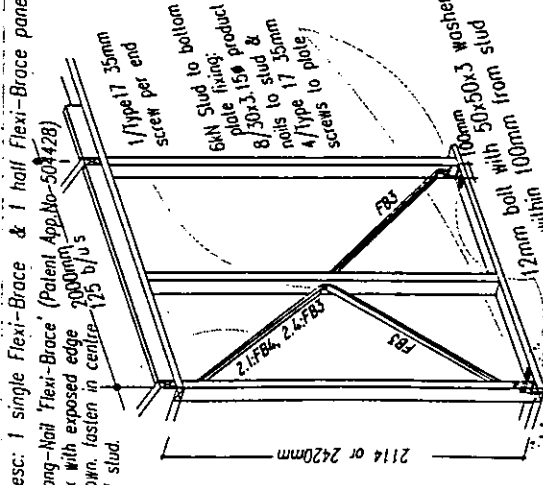
BRACING ELEMENT: VA1
Bracing units(B/U's) per pair: **70**



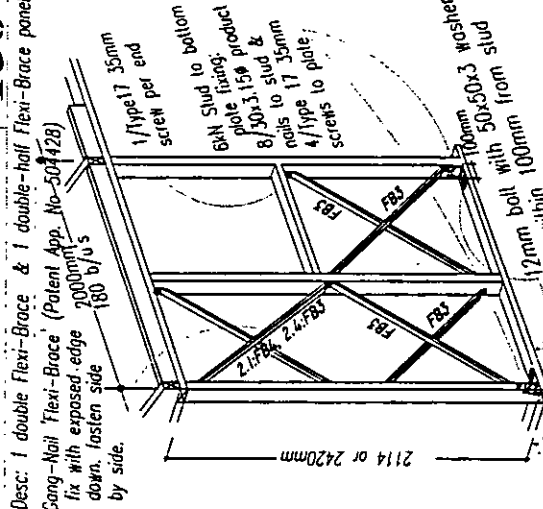
BRACING ELEMENT: VT1
Bracing units(B/U's) per unit: **70**



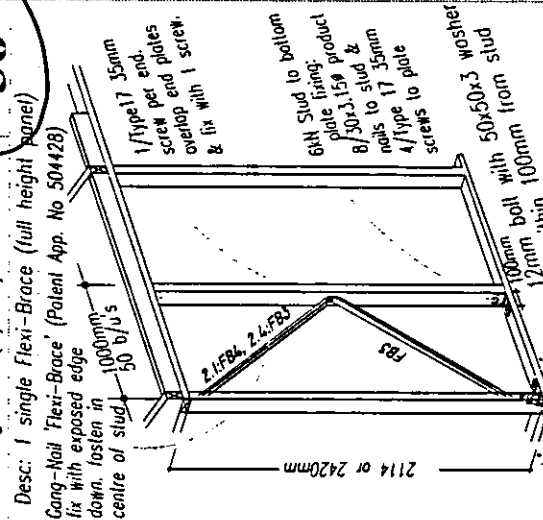
BRACING ELEMENT: VF1
Bracing units(B/U's) per unit: **125**



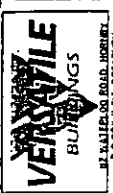
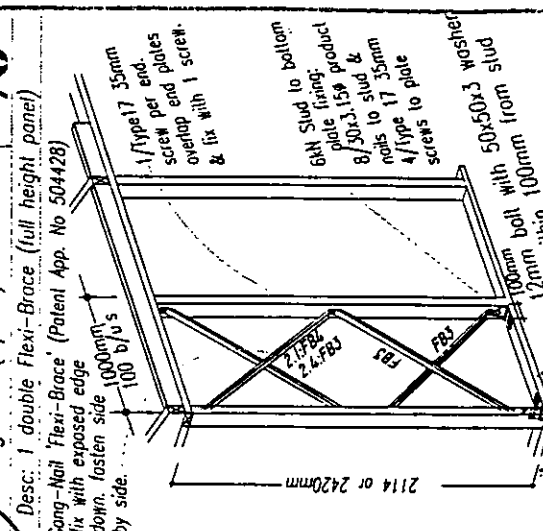
BRACING ELEMENT: VF2
Bracing units(B/U's) per unit: **150**



BRACING ELEMENT: VF3
Bracing units(B/U's) unit: **50**



BRACING ELEMENT: VF4
Bracing units(B/U's) unit: **70**



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Construction Details
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DRAWING TITLE:
1000 Series Wall Bracing

DESIGN: S.A. Coll
DRAWING: B.O'Connor
DATE: Jul '00

SHEET: 6

OF SHEET: 18

BRACING ELEMENT: VV 6
 Bracing units(B/U's) per/1200mm
 60
 per/1800mm
 90

Description: Versaclad nailed every rib

Sheet edges
 Nail alternate ribs
 sheet steel versaclad cladding
 bolt requirements refer detail A

BRACING ELEMENT: VS 6
 Bracing units(B/U's) per/1200mm
 45
 per/1800mm
 68

Nail all pans (150mm ctrs) of sheet edges, around windows, doors etc.

Nail bottom on large only intermediate (hidden) studs
 sheet steel superclad cladding
 Nail 300 ctrs of top & bottom plates
 Nail bottom on large only intermediate (hidden) studs

BRACING ELEMENT: VA 6
 Bracing units(B/U's) per pair
 70

Description: Pair of angle brace @ approx 45°

45 min. 55 max.
 Fix both ends with 3x 60x3.15 nails
 Fix intermediate stud crossings with 2x 60x3.15 nails

BRACING ELEMENT: VT 6
 Bracing units(B/U's) per unit
 100

Desc: Crossed tensioned strip-brace @ approx. 45°

2114 or 2420mm
 1/100mm multi-150 b/u's
 1/100mm multi-150 b/u's
 200 long 90x35 block to fit plates to fit 6/30x3.15 nails
 45 min. 55 max.

BRACING ELEMENT: VF 5
 Bracing units(B/U's) per unit:
 80

Desc: 1 single Flexi-Brace & 1 half Flexi-Brace panel

1/Type 17 35mm screw per end
 6xN Stud to bottom plate fixing: 8/30x3.159 product nails to stud & 4/Type to plate
 120mm bolt with 50x50x3 washer within 100mm from stud

BRACING ELEMENT: VF 6
 Bracing units(B/U's) per unit:
 105

Desc: 1 double Flexi-Brace & 1 double-half Flexi-Brace panel

1/Type 17 35mm screw per end
 6xN Stud to bottom plate fixing: 8/30x3.159 product nails to stud & 4/Type to plate
 120mm bolt with 50x50x3 washer within 100mm from stud

BRACING ELEMENT: VF 7
 Bracing units(B/U's) per/m:
 30

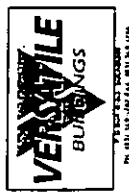
Desc: 1 single Flexi-Brace (full height panel)

1/Type 17 35mm screw per end
 6xN Stud to bottom plate fixing: 8/30x3.159 product nails to stud & 4/Type to plate
 120mm bolt with 50x50x3 washer within 100mm from stud

BRACING ELEMENT: VF 8
 Bracing units(B/U's) per/m:
 60

Desc: 1 double Flexi-Brace (full height panel)

1/Type 17 35mm screw per end
 6xN Stud to bottom plate fixing: 8/30x3.159 product nails to stud & 4/Type to plate
 120mm bolt with 50x50x3 washer within 100mm from stud



VERSATILE BUILDINGS LTD
 1082 SHAGBUSH AVENUE
 MILK PASTURE
 WILSON ROAD
 WILSON ROAD
 WILSON ROAD

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DRAWING TITLE:
600 Series Wall Bracing

DESIGN: DRAWN:
 S.A. Coll VB Ltd

DRAWING: DATE:
 VB2000-7 Jul '02

OF SHEET:
 SHEET:
7
18

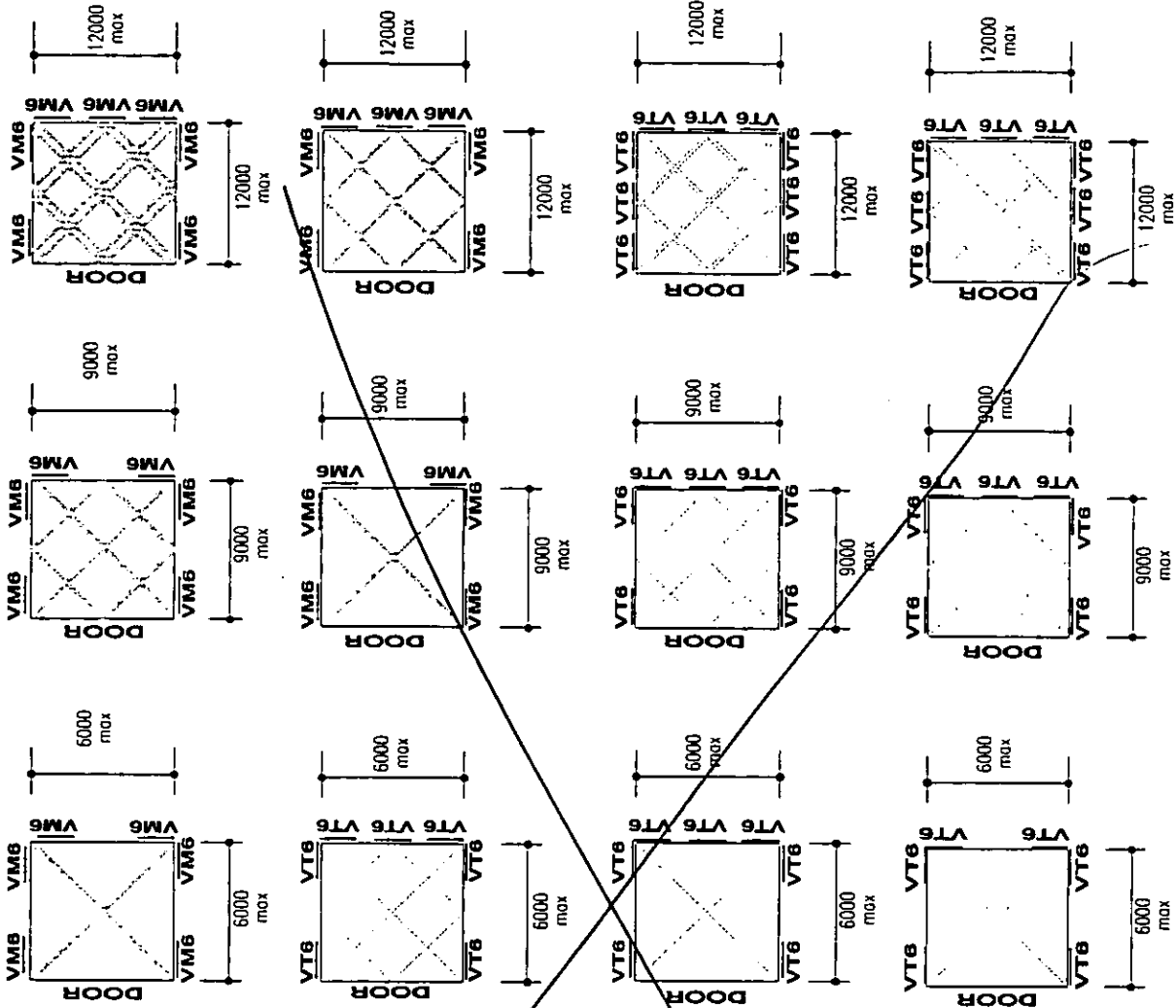
BRACING KEY:	
	Indicates double row of tensioned Multibrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	Indicates single row of tensioned Multibrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	Indicates double row of tensioned Stripbrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	Indicates single row of tensioned Stripbrace laid over Purlins. Fix at each end with 4 x 30 x 3.15 nails and 1 at each crossing.
	VM6 Indicates single crossed strip in wall @ 45° of tensioned multibrace. Fixed at top and bottom plates with 6 x 30 x 3.15 nails. Use a 12mm bolt with a 50 x 50 x 3 washer at each end of panel through bottom plate. Fixing details on page: VB2000-7
	VT6 Indicates single crossed strip in wall @ 45° of tensioned stripbrace. Fix as per multibrace except with 4 x 30 x 3.15 nails. Bolt as per multibrace. Fixing details on page: VB2000-7

VERY HIGH WIND
(max wall height 3050)

HIGH WIND
(max wall height 3050)

HIGH WIND
(max height: 2750mm)
MEDIUM WIND
(max height 3050)

LOW WIND
(max wall height 3050)



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DRAWING TITLE:
Bracing 2,7&3,0 stud

DESIGN: DRAWN:
S.A. Coll VB Ltd

SHEET: **8**

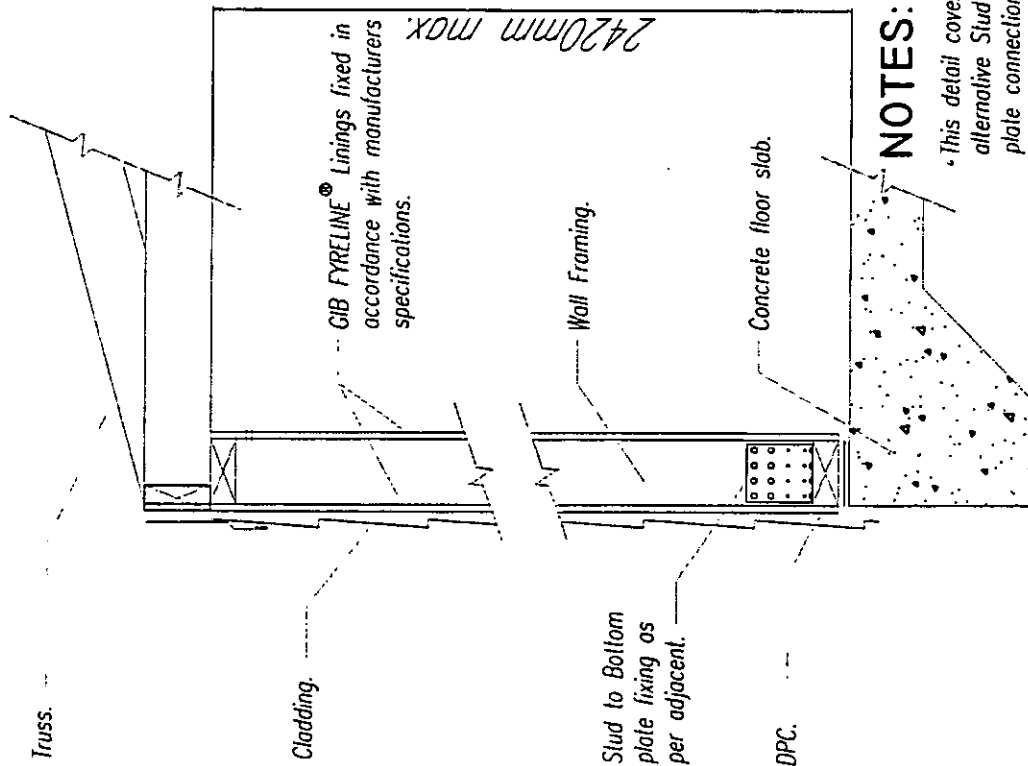
OF SHEET: **18**

DATE: Jul '02

PH: 011 741 0013 FAX: 011 741 0014

Cross section through firewall

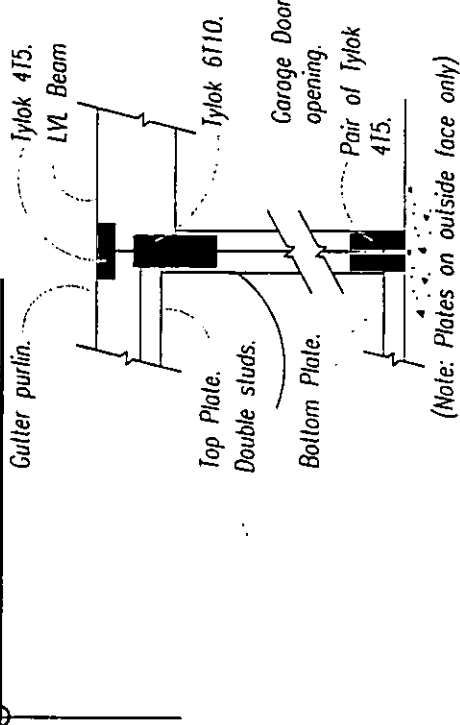
Detail G



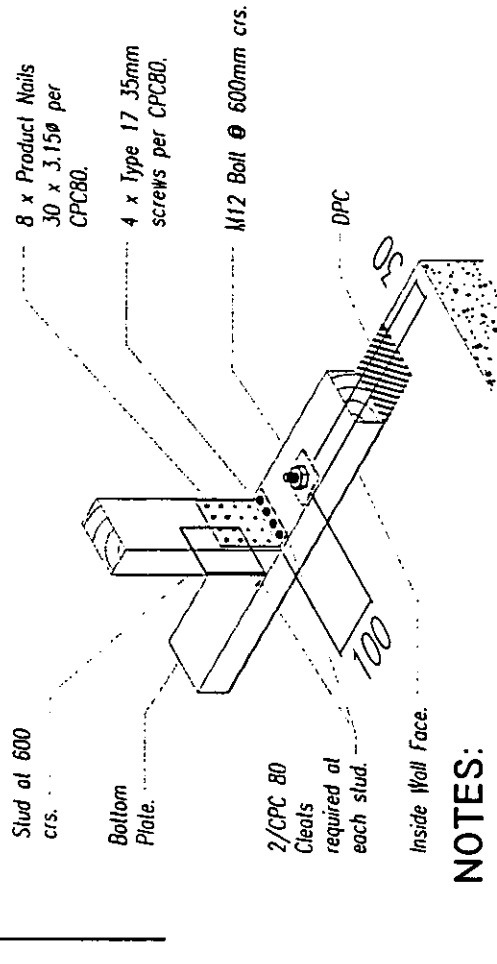
NOTES:

- This detail covers an alternative Stud to Bottom plate connection for a firewall situation.
- Firewalls are applicable for studs @ 600mm ctrs only

Detail H LVL Beam Connection

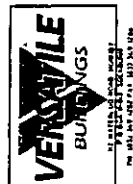


Detail I Firewall stud connection



NOTES:

- Fixing components are available in a pack, including:
 - 2 x CPC80 cleats
 - 16 Product Nails 30 x 3.15 ø Galv.
 - 8 x type 17 35mm Hex head screws Galv.
- Both faces of wall clad in fireproof lining. Not shown for clarity.



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DRAWING TITLE:
FireWall & LVL Details

DESIGN: DRAWN:
S.A. Coll VB LTA

DRAWING: DATE:
VB2000-9 Jul 02

SHEET:
9

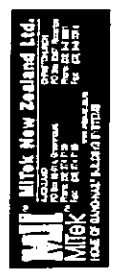
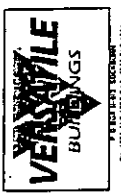
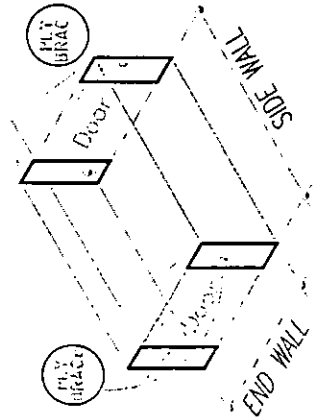
OF SHEET:
18

Detail J Ply Brace (single & double sided)

BRACING ELEMENT: Bracing units(B/U's) per pair:	VP1 135	BRACING ELEMENT: Bracing units(B/U's) per pair:	VP2 170
Desc: 7.5mm Ply panel (one face) & 1 single Flexi-Brace Gang-Nail 'Flexi-Brace' fix with exposed edge down, fasten in centre of stud. 6kN fastened to top plate and inside of truss (total 4 per truss) 500mm min. 1/Type 17 35mm screw per end double stud of each of bracing panel Construction Ply: 7.5mm construction of ply on inside of wall. Fix using 30x flat head nails 150mm centres around sheet edges & across dwang. 6kN stud anchor OR plate: Nailon plate: 2 x 80 x 150mm fix 30x 3.15φ nails 6 per member 6kN Stud to bottom plate fixing: 8/30x3.15φ product nails to stud & 4/Type 17 35mm screws to plate 12mm bolt with 50x50x3 washer within 100mm		Desc: 7.5mm Ply panel (both faces) & 1 single Flexi-Brace Gang-Nail 'Flexi-Brace' fix with exposed edge down, fasten in centre of stud. 6kN fastened to top plate and inside of truss (total 4 per truss) 500mm min. 1/Type 17 35mm screw per end double stud of each of bracing panel Construction Ply: 7.5mm construction of ply on both sides of wall. Fix using 30x flat head nails 150mm centres around sheet edges & across dwang. 6kN stud anchor OR plate: Nailon plate: 2 x 80 x 150mm fix 30x 3.15φ nails 6 per member 6kN Stud to bottom plate fixing: 8/30x3.15φ product nails to stud & 4/Type 17 35mm screws to plate 12mm bolt with 50x50x3 washer within 100mm	

NOTE:

- Ply braces (as detailed below) can be substituted for standard wall bracing, where 2 tilt-doors are located in opposite walls.
- Ply brace panels of less than 500mm wide shall require specific design.



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DRAWING TITLE:
 Ply Bracing: Front & Rear

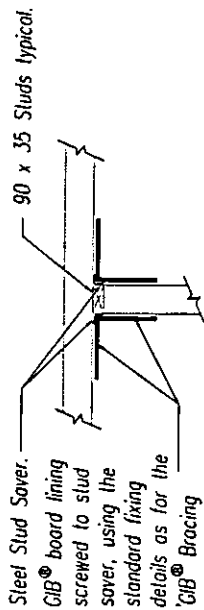
DESIGN: S.A. Coll
DRAWING: VB L14
DATE: Jul '02

SHEET: 10

OF SHEET: 18

Detail K Internal Partition

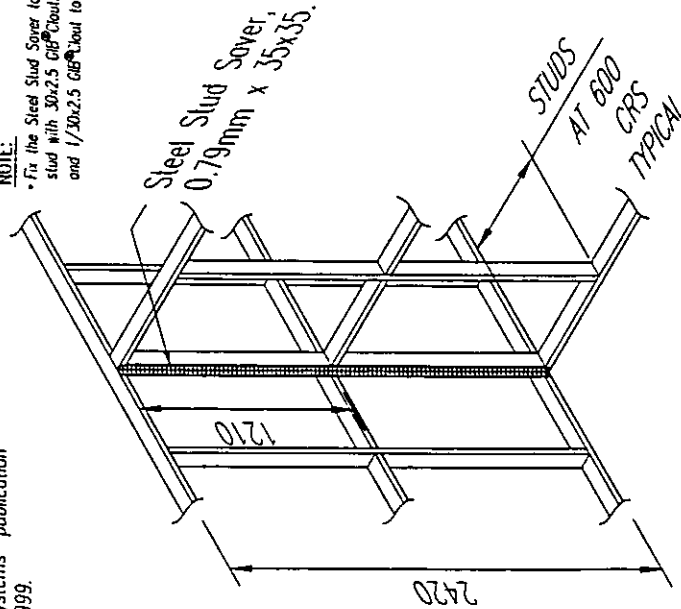
Garages (non-braced situation) & Cottages (braced situation)



Steel Stud Saver.
GIB® board lining
screwed to stud
saver, using the
standard fixing
details as for the
'GIB® Bracing
Systems' publication
1999.

NOTE:

• Fix the Steel Stud Saver to the adjacent stud with 30x2.5 GIB® Cleats at 500mm c/s. and 1/30x2.5 GIB® Cleat to each nog and plate



• NON BRACED SITUATION:

The standard building construction has its own bracing system through Angle Brace (VA), Strip Brace (VT), Multi Brace (VM), Superclad (VS), Flexibrace (VF) and or Versaclad (W) and the addition of Plaster Board internal lining, although adds significantly to the building stiffness, is not required for stability or bracing.

NOTES:

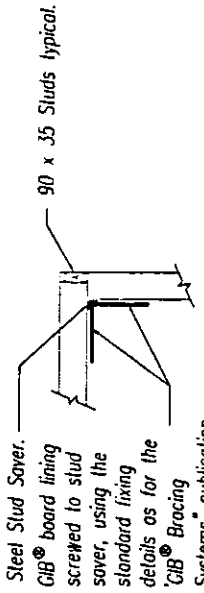
• BRACED SITUATION:
The cottage construction details use the GIB® Board lining as an integral part of the building bracing. The corner and internal partition arrangements as detailed are to be used in conjunction with the standard fixing details as for the 'GIB® Bracing Systems' publication 1999.

• TEST RESULTS:

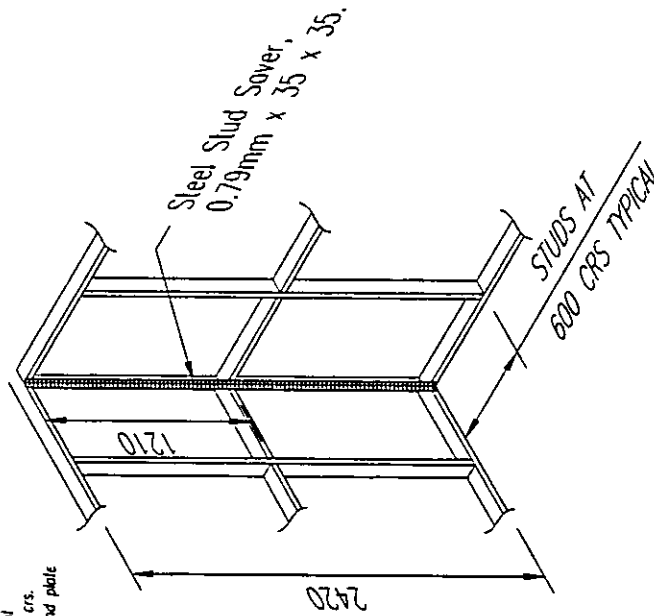
Testing of the STEEL STUD SAVER using the fixing arrangements as detailed on this sheet, has been carried out by BRANZ and their opinion verifies the acceptable performance of the system. This opinion dated 5 May 1999 is available for inspection from Gang-Nail Group Ltd, 20 Koltzias Place Christchurch.

Detail L External Corner

Garages (non-braced situation)

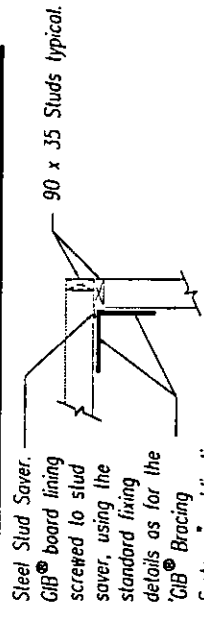


Steel Stud Saver.
GIB® board lining
screwed to stud
saver, using the
standard fixing
details as for the
'GIB® Bracing
Systems' publication
1999.

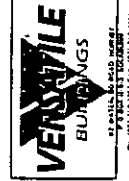
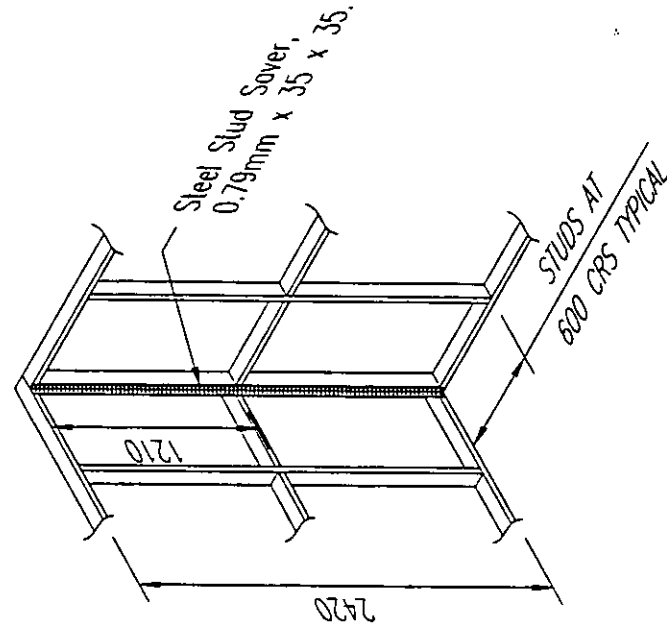


Detail M External Corner

Cottages (braced situation)



Steel Stud Saver.
GIB® board lining
screwed to stud
saver, using the
standard fixing
details as for the
'GIB® Bracing
Systems' publication
1999.



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DRAWING TITLE:
Internal Lining Details

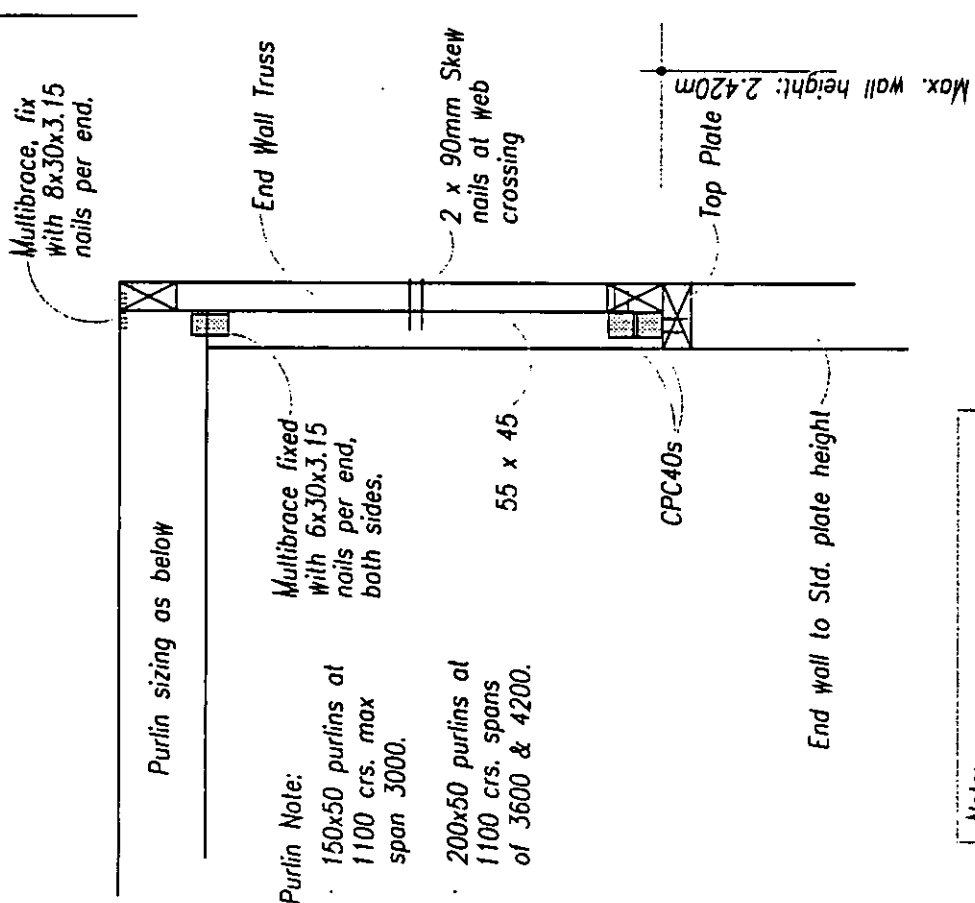
DESIGN: DRAWN:
S.A. Coll V/BLtd

DRAWING: DATE:
VB2000-12 Jul '02

SHEET:
12

OF SHEET:
18

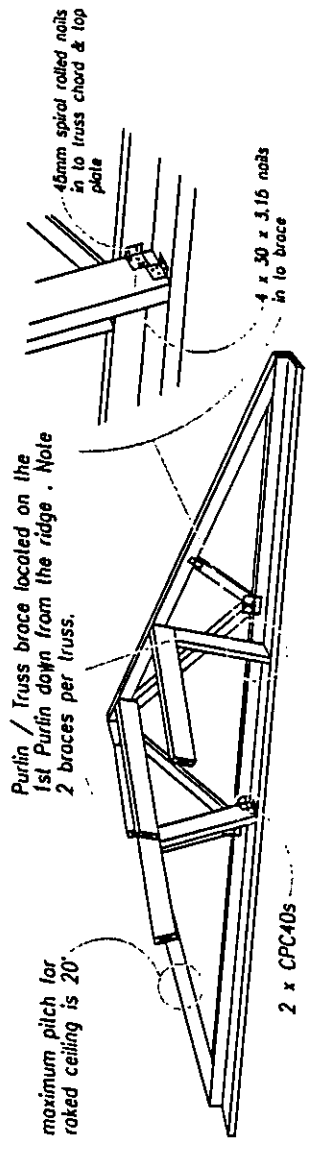
Detail N Cross section - raking ceiling end wall



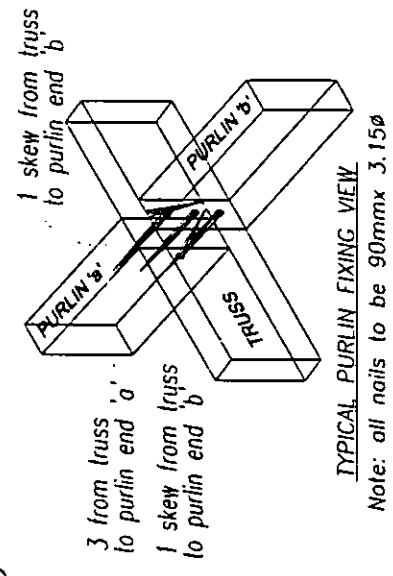
Purlin Note:
 150x50 purlins at 1100 crs. max span 3000.
 200x50 purlins at 1100 crs. spans of 3600 & 4200.

Note:
 Design covers the end wall stability at the top plate level via the Purlin brace construction.

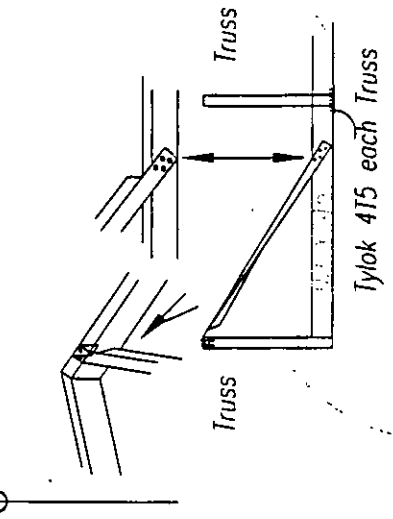
Detail O purlin / truss brace - end wall



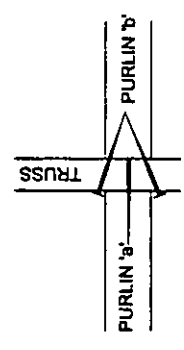
Detail P: Purlin detail



Detail Q: Ridge brace

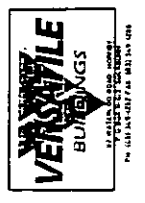


1500 long Angle brace cropped at each end to allow nailing to truss chord and bottom chord runner. 4x30x3.15 nails each end.



TYPICAL PURLIN FIXING PLAN VIEW

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DRAWING TITLE: Roof details

DESIGN: S.A. Coll
 DRAWING: VB2000-13
 DRAWN: YB L14
 DATE: Jul '02

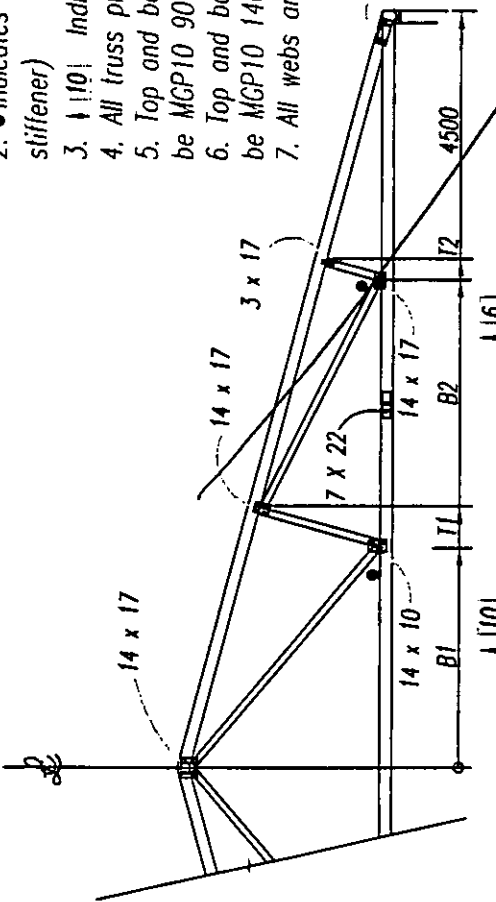
OF SHEET: 18

SHEET: 13

NOTE:

1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. ● Indicates location of Bottom Chord Brace (truss stiffener)

3. ↓ |10| Indicates the Truss Camber (typical)
4. All truss plates are Gang-Nail GN10 type
5. Top and bottom chords for 8.4 & 9.0m span are to be MCP10 90 x 35 Radiata Pine
6. Top and bottom chords for 9.6 & 10.2m span are to be MCP10 140 x 35 Radiata Pine
7. All webs are to be min. F4 70 x 35 Radiata Pine

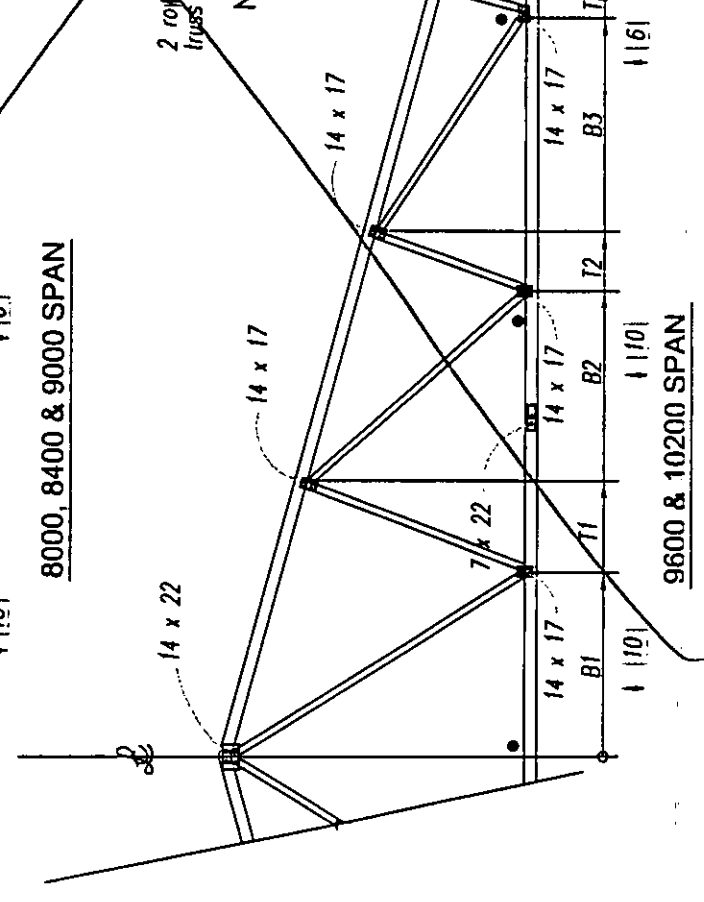


8000, 8400 & 9000 SPAN



2 rows of ridge braces
2 rows of truss stiffeners

NOTE: Use 2 Ridge braces per row(s) of stiffeners



9600 & 10200 SPAN

Specification trusses

SPAN AND LOAD CHART

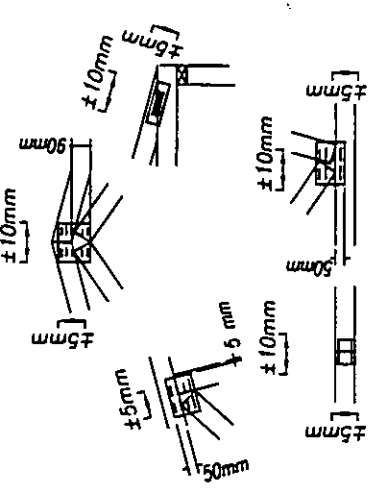
Live Load = 0.20kPa (Distr)
1.0kN (Conc)
Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200cs only
Wind Load Cpi = 0.50 max
Cpe = 0.80 max
Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD (Kpa)
2000	High	0.60
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

The specification of timber shall be as follows:
Grading: MSC Radiata Pine to F4 or MCP10 grade as noted.
Treatment: To NZMP 3640 : 1992
Moisture Content: Dry

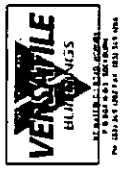
MANUFACTURING TOLERANCES.



Typical positioning tolerances for plates

NOTE:

1. Plates are to be fully pressed home on both sides of joints.
The plate axis must be located in the specified or indicated direction.



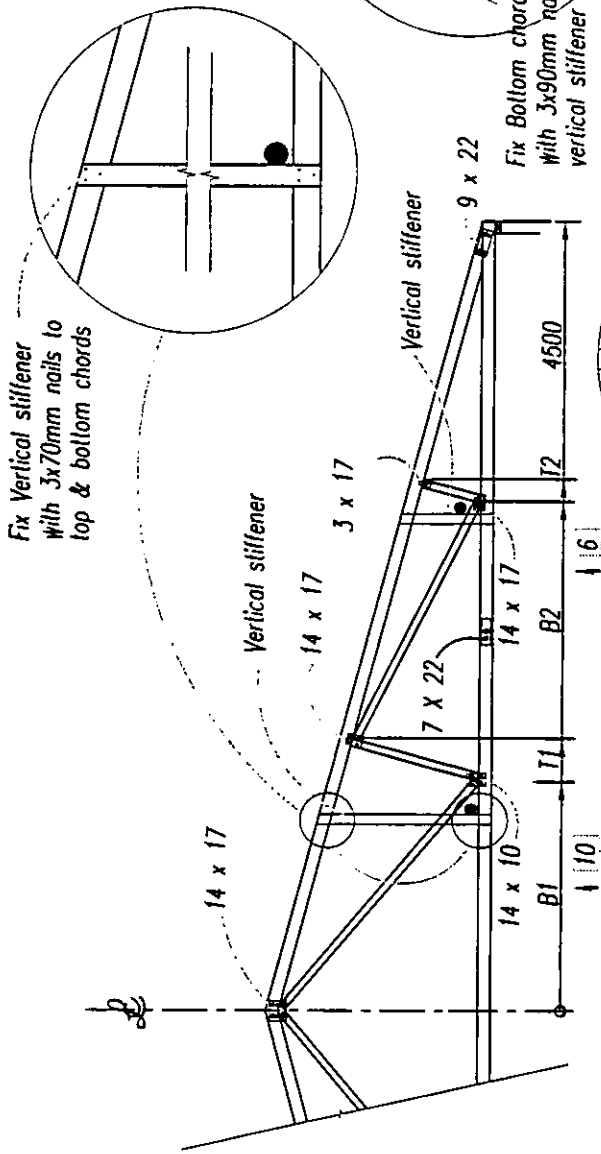
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DRAWING TITLE:
Truss Details

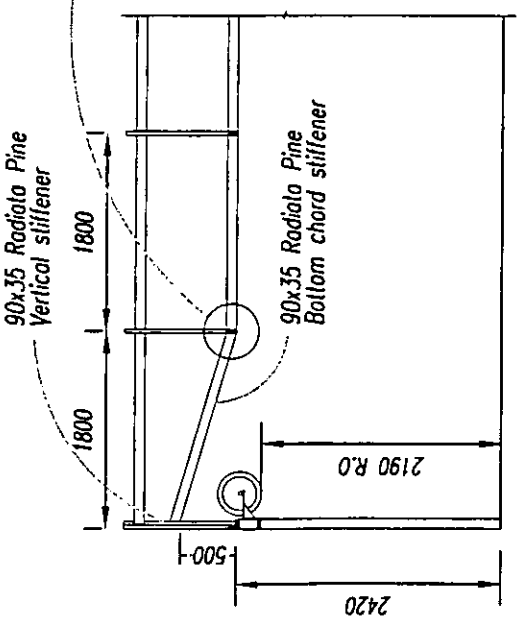
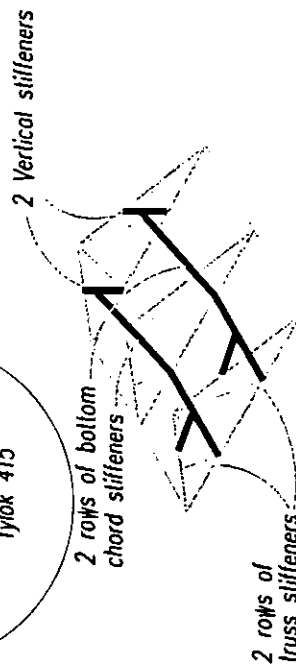
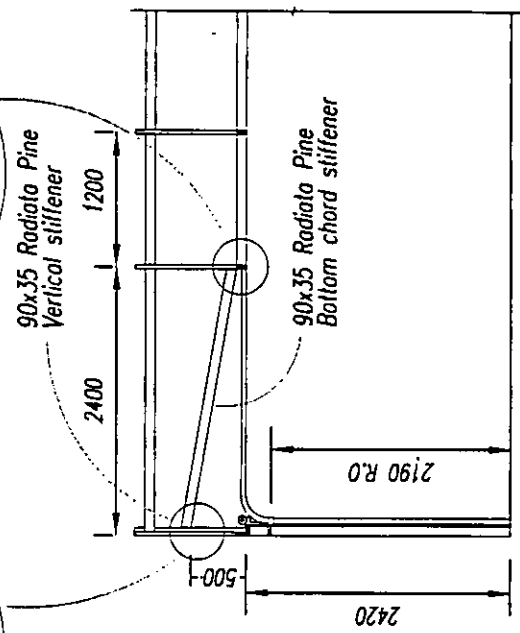
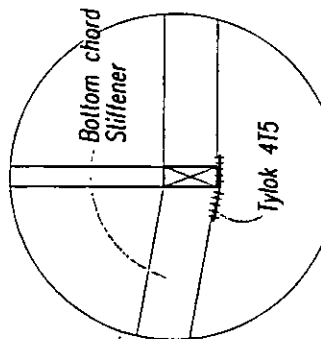
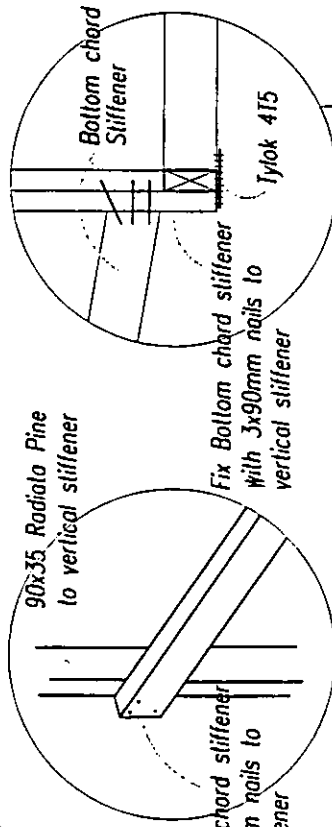
DESIGN: S.A. Coll
DRAWING: YB Ltd
DATE: Jul 02
VP2000-15

SHEET: **15**
OF SHEET: **18**



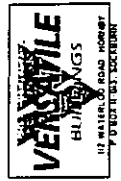
NOTE:

1. Truss top chord pitch range is 15°, 20°, 25°, 30°
2. ● Indicates location of Bottom Chord Brace.
3. ↓ 10↓ Indicates the Truss Camber (typical)
4. All truss plates are Gang-Nail CN10 type



Roller Door Section - Bottom Chord Stiffener @ 1.8 ctrs on 600 Series

Sectional Door Section - Bottom Chord Stiffener @ 2.4 ctrs



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DRAWING TITLE:
 Alternative Truss Stiffener Details

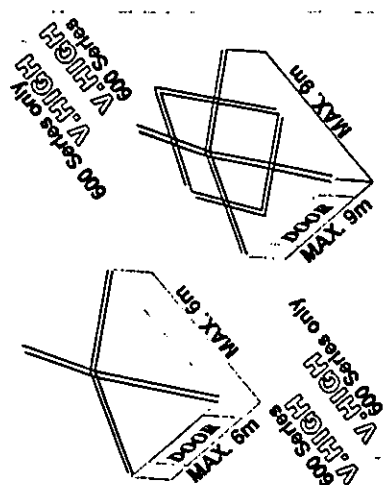
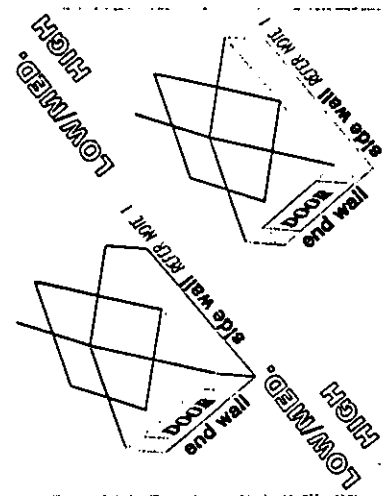
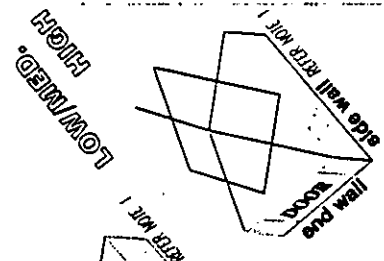
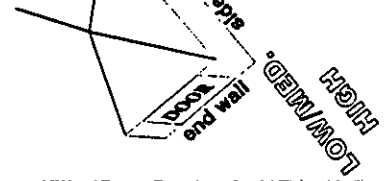
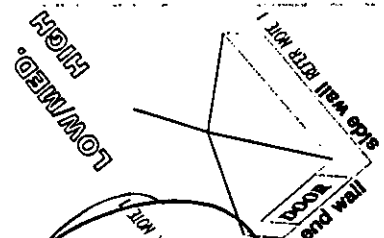
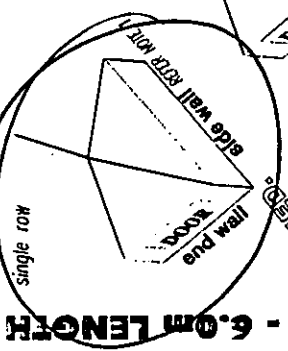
DESIGN: S.A. Coll VBLtd
DRAWING DATE: VB2000-16 Jul '02

SHEET: 16

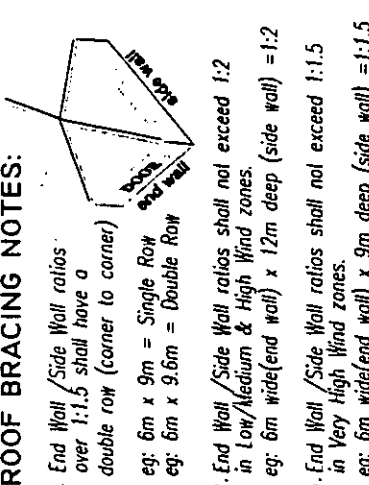
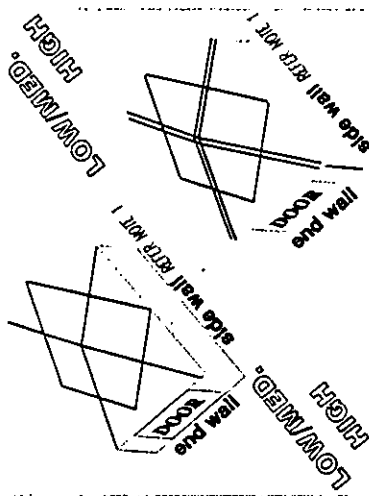
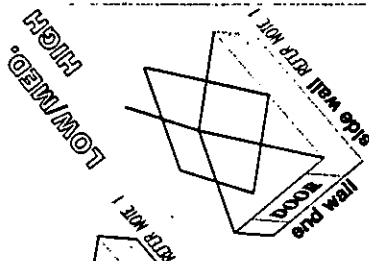
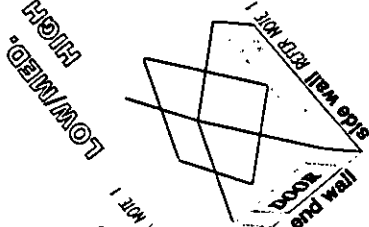
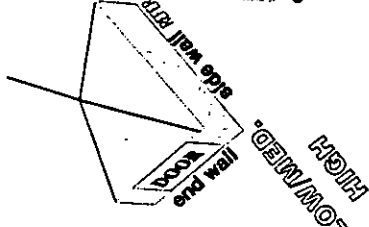
OF SHEET: 18

BUILDING WIDTH 6.6m - 9.0m WIDTH 9.6m - 12.0m WIDTH VERY HIGH WIND

600 Series only

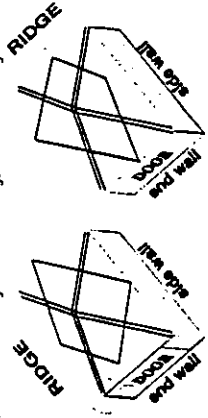


BUILDING LENGTH 2.4m - 6.0m LENGTH 6.6-9.0m LENGTH 9.6-12.0m LENGTH

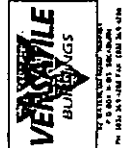


ROOF BRACING NOTES:

1. End Wall / Side Wall ratios over 1:1.5 shall have a double row (corner to corner)
eg: 6m x 9m = Single Row
eg: 6m x 9.6m = Double Row
2. End Wall / Side Wall ratios shall not exceed 1:2 in Low/Medium & High Wind zones
eg: 6m wide(end wall) x 12m deep (side wall) = 1:2
3. End Wall / Side Wall ratios shall not exceed 1:1.5 in Very High Wind zones.
eg: 6m wide(end wall) x 9m deep (side wall) = 1:1.5
4. Maximum stud height is 2.420m. Refer to sheet 9 for 2.7m & 3.0m stud heights.
5. The ridge can run along or across the end wall, without affecting roof bracing, refer to diagram below:



6. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3x 30x3.15φ nails (typical)



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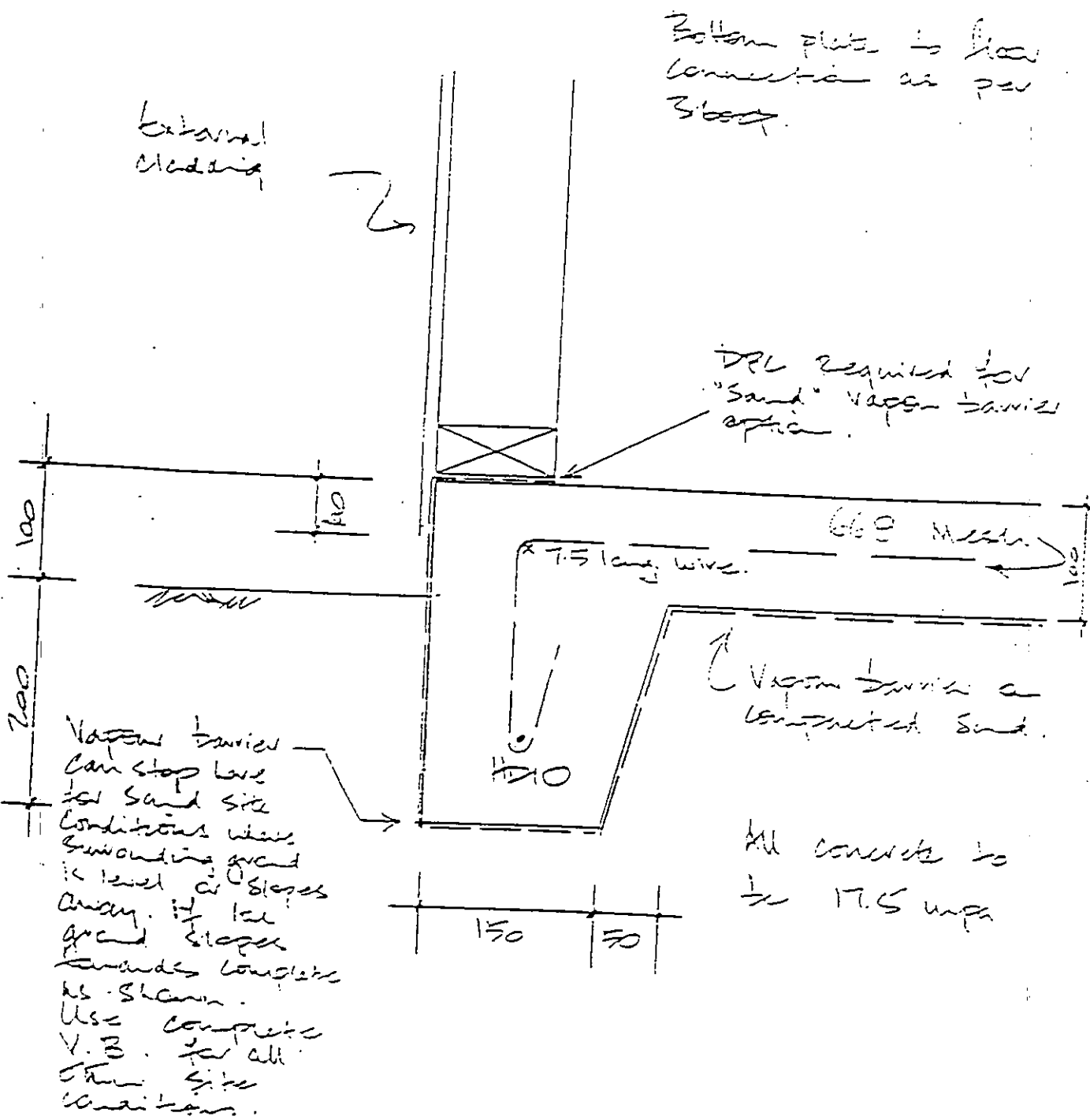
Roof Bracing

DESIGN: S.A. Coll
DRAWING: YB2000-17

SHEET: 17

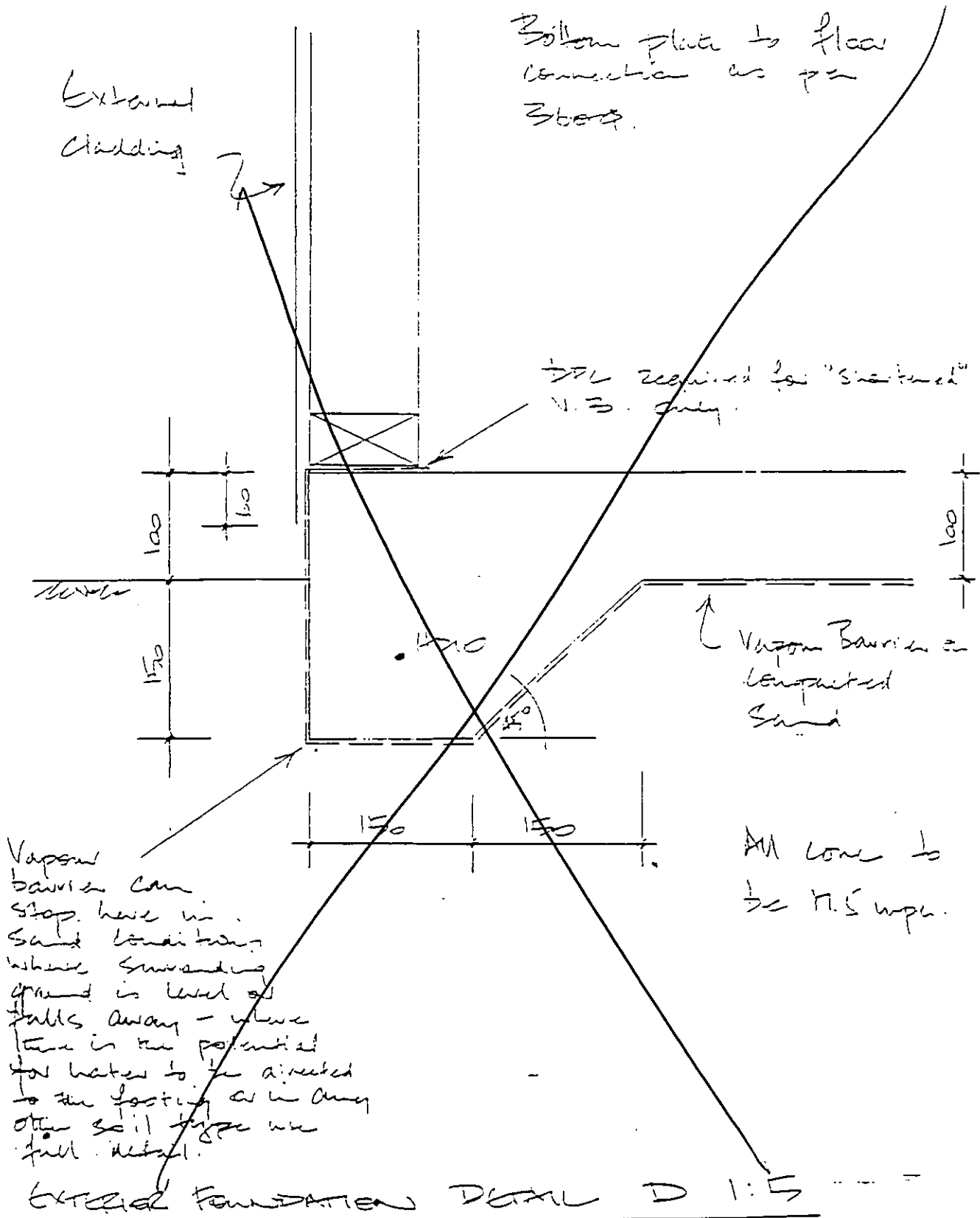
OF SHEET: 18

BY APPOINTMENT TO THE GOVERNMENT OF NEW ZEALAND



Concrete Foundation Detail C 1:5

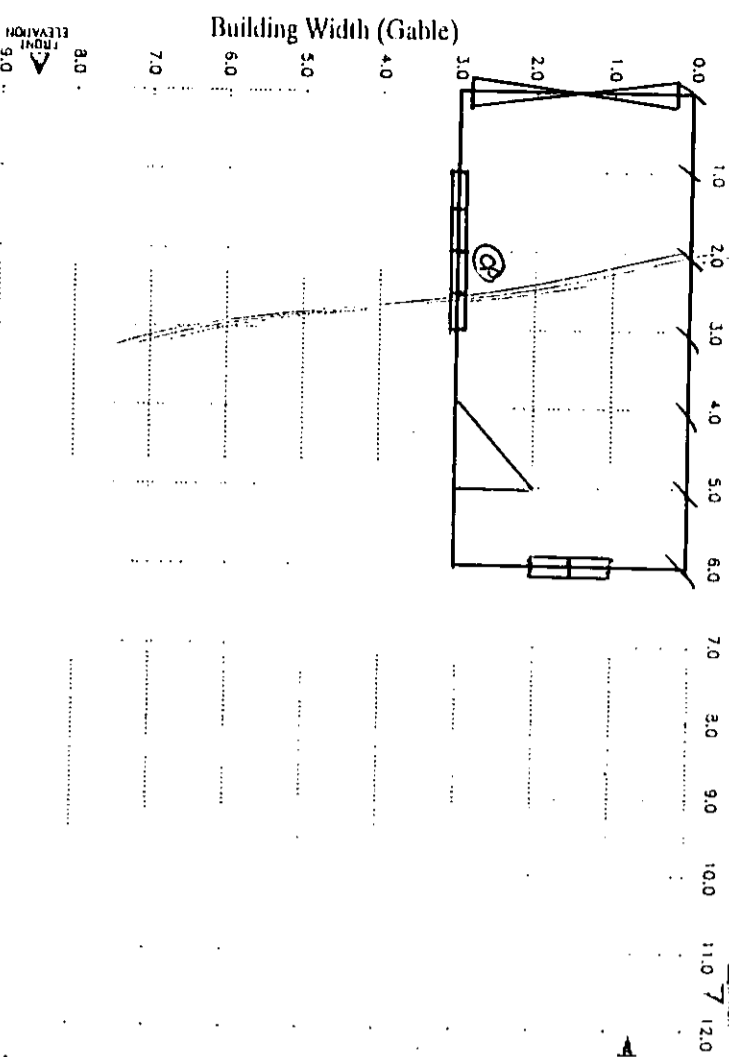
Intended use: Games rooms, hobby, Studio Studios etc.



For beds - garages etc.

FLOOR PLAN

Building Length (Ridge Line)



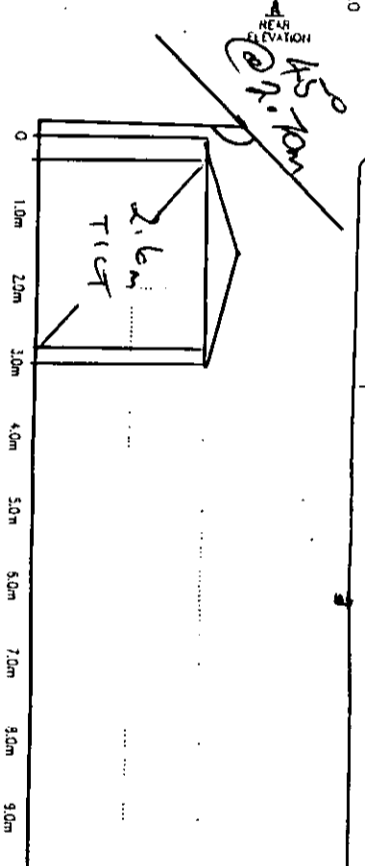
LEGEND Plan

- TILT FLOOR
- FIXED WINDOWS
- SIDE DOOR
- ROOF BRACING
- 3C = steel brace
MB = multi brace

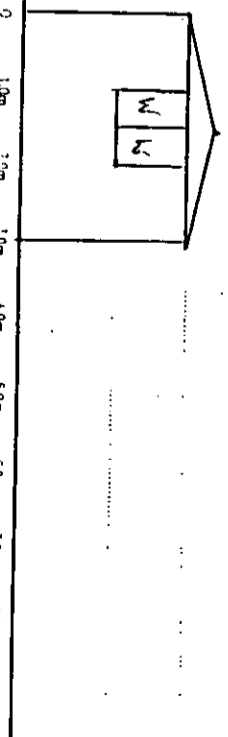
LEGEND Elevation

- TILT DOOR
- FIXED WINDOWS
- SIDE DOOR

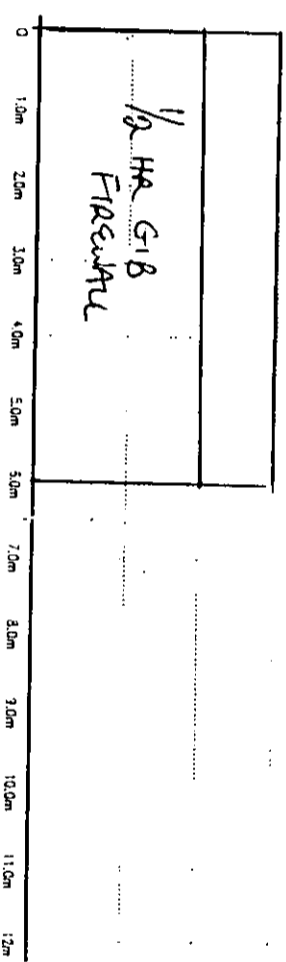
Front Elevation



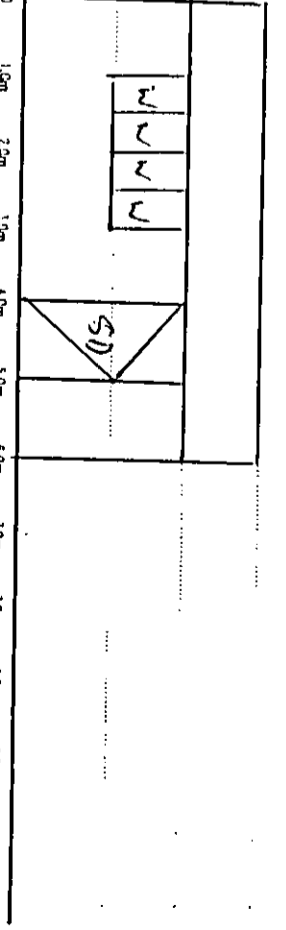
Rear Elevation



Left Elevation



Right Elevation



BUILDING DATA

Length	6 m	Width	3 m	Area	18 m ²
STUD HEIGHT	2.1m	2.4m			
CLADDING	Versatile	Standard	Other		
WIND ZONE	Low	Med	High		
FLOOR	Concrete	Timber			
ROOF PITCH	15°	20°	25°	other	

NOTES:

Construction to comply with NZS3604:1999 and the New Zealand Building Code. Refer to Producer Statement VB2000. Copyright: These drawings must not be reproduced without express permission of Versatile Buildings Ltd.

SPECIFICATIONS

GENERAL
All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Versatile Buildings Ltd/Gang-Nail Producer Statement for Design VB2000 Series Durability requirements for wall cladding detailed in Producer Statement-Durability, Producer Statement VB2000, Sheet 2

FOUNDATIONS
Concrete floor shall be 17.5 MPa, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 1000 ctrs and housed into plates. LAY 'Superclad', D.P.C. under all plates. Refer Producer Statement VB2000 Sheet 4 for timber grade options and specification.

ROOF FRAMING
Fix trussware in accordance with Producer Statement VB2000 Sheets 4 & 5.

Purlins shall be 90mm x 45mm on edge at 1500 max. ctrs fixed to Gang-nail trusses at 2000mm centers. Fix purlins and ridge braces as detailed in Producer Statement VB2000, Sheet 13. Gang-nail Truss specifications detailed in Producer Statement VB2000, Sheets 14 & 15. For raking ceiling (skillion roof) refer VB2000 page 13.

SIDE ENTRY OPENING LINTELS
LVL Beams size/span as per Producer statement VB2000 Sheet 4. Fixing details VB2000 Sheet 9

ROOFING
Shall be Steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on ultraviolet fast lashing.

WALL CLADDING
Fix in accordance with Producer Statement Design VB2000, Sheet 6

ROOF BRACING
For all buildings fix Lumberlok roof plane strap bracing in accordance VB2000 Producer Statement, Sheet 16

WALL BRACING
Fix Bracing per VB2000 Sheet 8. Bracing Panel locations and fixing refer attached: 'Wall Bracing: 1000 Series, Ver 1.1'



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PROJECT TITLE

Active Prefabes

PROJ. NAME

Construction Details, 1000 Series VERSATILE BUILDING

HABITABLE ROOM - LINED

SCALE: 1:100

DATE: July '00

SHEET: 1

DR: B. O'Connor

PL: VG-131A

CR:

PH: (03) 349-2555

FAX: (03) 349-1286

HEAD OFFICE: 112 WATERLOO ROAD

112 WATERLOO ROAD

PH: (03) 349-2555

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FERGUSSON DRIVE

CONNECTION TO MAIN TO BE MADE BY COUNCIL APPROVED CONTRACTOR

NEW WATER CONNECTION WITH KENT MANIFOLD AND WATER METER BOX

EX. TOBY TO BE UPGRADED WITH KENT MANIFOLD AND WATER METER BOX

STORMWATER FROM EXISTING DWELLING DRAINS TO SOAKPIT

SOAKPIT TEST SITE NEW SOAKPIT TO BE CONSTRUCTED IN ACCORDANCE WITH UHCC STD 5904

B.C. 2020 335
 BUILDING CONSENT ISSUED
 BUILDING INSPECTOR
 DATE 22/05/03

UPPER HILLS COUNCIL
 PLANNING APPROVAL
 DATE 27-05-03 Mm

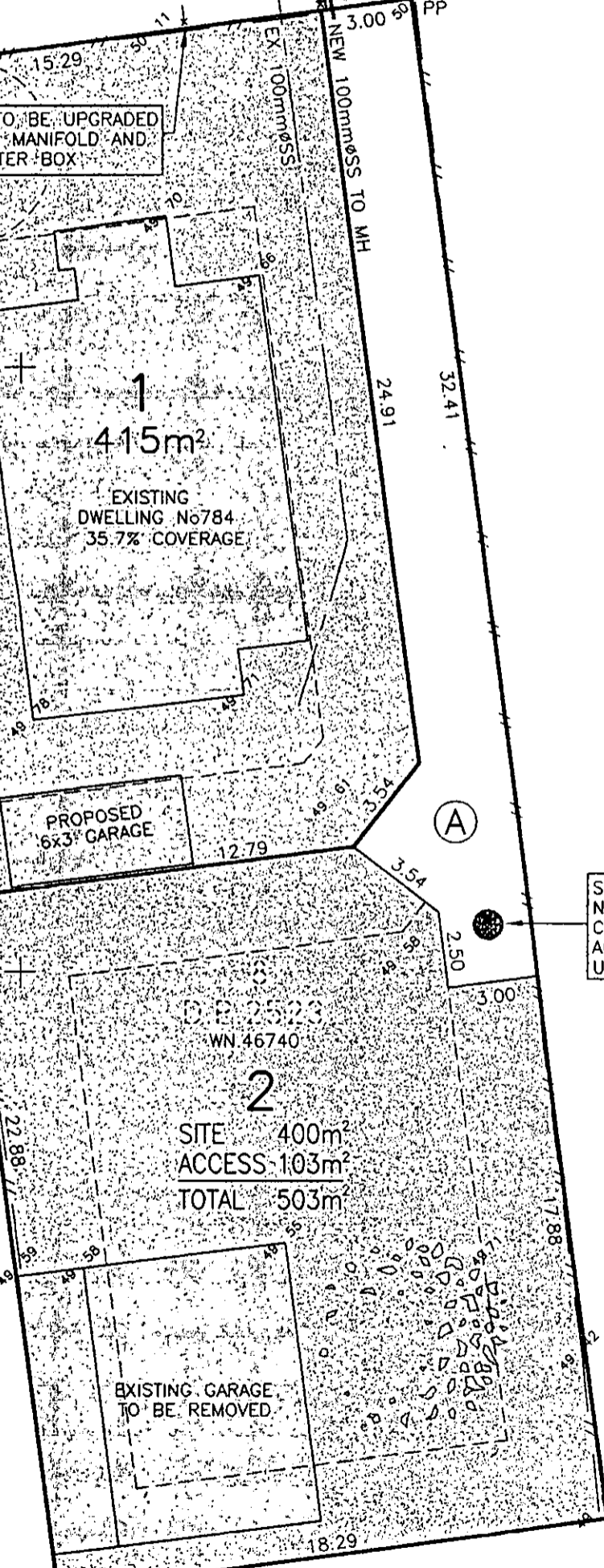
9
 D.P.2523

7
 D.P.2523

D.P. 2523
 WN 46740

SITE 400m²
 ACCESS 103m²
 TOTAL 503m²

EXISTING GARAGE TO BE REMOVED



12
 D.P.2523

13
 D.P.2523

14
 D.P.2523

PROPOSED E.	
PURPOSE	SHOWN
RIGHT OF WAY	(A)
WATER SUPPLY	
TELECOMMUNICATIONS	
SEWAGE DRAINAGE	
WATER DRAINAGE	
ELECTRICITY SUPPLY	
GAS SUPPLY	