



Sections 31 Building Act 1991

**Project Information Memorandum****No: 031756**

<i>Owner</i>	<i>Project</i>
Name: <b>Cannon, John Joseph and Amy Claire</b>  Address: <b>122 Scott Street BLENHEIM 7301</b>	Use(s): <b>Conservatory</b>  Life: <b>Indefinite, but not less than 50 years</b> Stage: <b>1</b> Of: <b>1</b> Nature of consent: <b>3</b> <b>HA</b> Estimated Value <b>\$13,000.00</b>
<i>Site</i>	<i>Legal Description</i>
Address: <b>122 Scott Street BLENHEIM 7301</b>	Property no: <b>352380</b> Legal Description: <b>Lot 7 DP 1273</b>  Valuation Roll No: <b>20530 22300</b>

**This Project Memorandum is:**

- This PIM has been issued stating compliance with the Plans (Proposed Marlborough Sounds Resource Management Plan, Proposed Wairau Awatere Resource Management Plan and the Transitional Marlborough District Plan) and the Resource Management Act. Work on this project may not start until such time as the Building Consent has been issued.

Signed for and on behalf of the Council :

Name:  .....Position: **BUILDING ADMINISTRATION OFFICER**Date: **29-Sep-03**

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## *Time Per Job Reference*

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<i>JobName</i>	<i>Name</i>	<i>Minutes</i>	<i>Date</i>	<i>\$</i>	<i>Comments</i>
<hr/>					
BC031756					
Jenny Folster	Application	15	29/09/2003	\$19.68	
<hr/>					
	<i>Job Total (hrs):</i>		0.25		\$19.68

***Total Costs***

**\$19.68**



**Roading**

Notes:

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PIM Comments:

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Signed: \_\_\_\_\_

Date: \_\_\_\_\_

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**Rivers**

Notes:

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PIM Comments:

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Signed: \_\_\_\_\_

Date: \_\_\_\_\_

**Environmental Health**

Notes:

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PIM Comments:

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Signed: \_\_\_\_\_

Date: \_\_\_\_\_



**Marlborough District Council**

Consent No: 031756 Lot No: 7 DP No: 1273 Date: 29-09-03

Name: J. & A. Cannon

Address: 122 Scott Street, Blin.

Proposed Building: Conservatory

**PLANNING PROMPT SHEET - RESIDENTIAL**

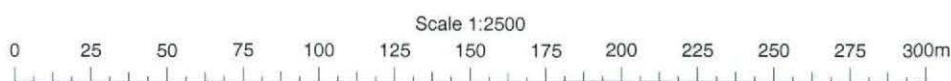
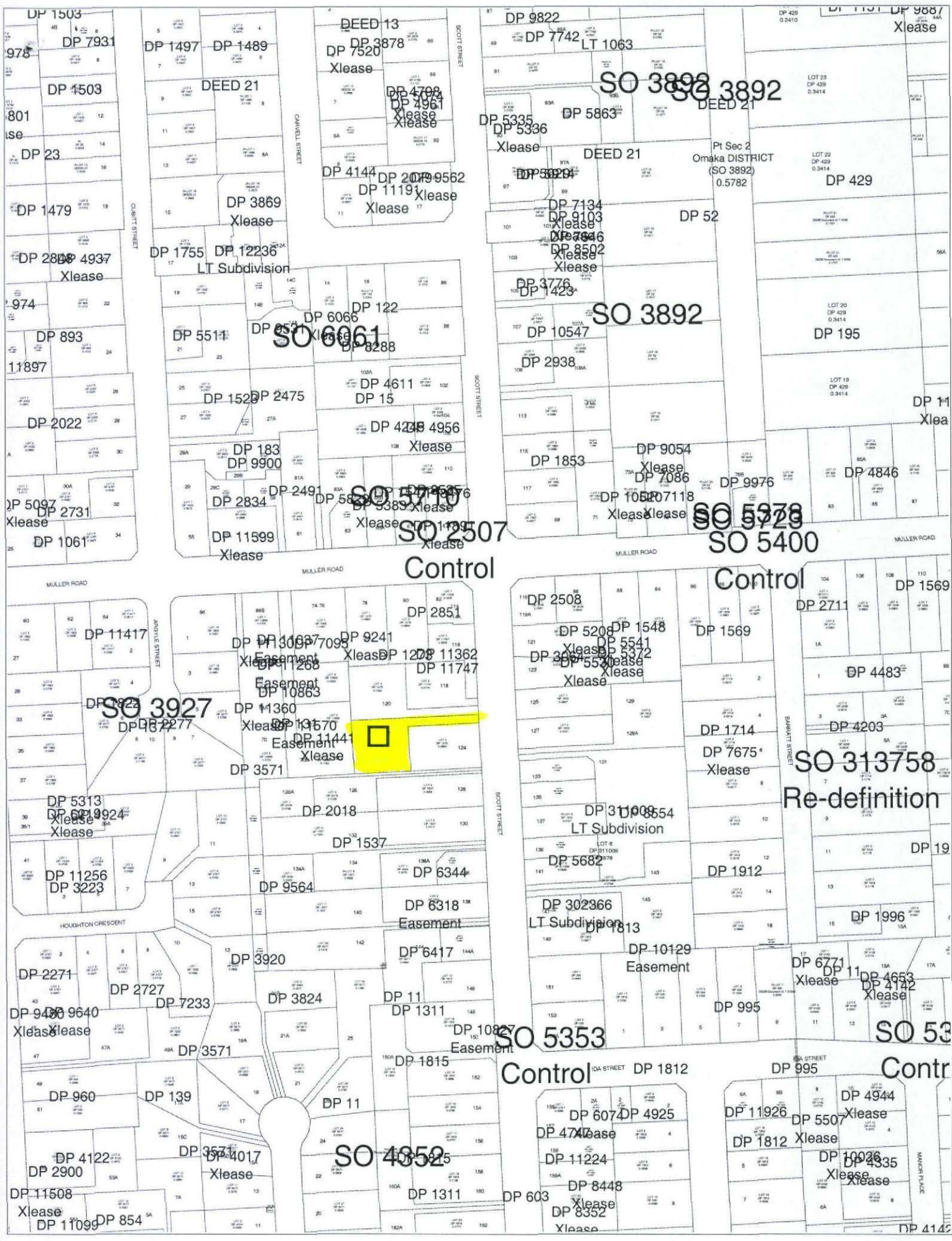
Proposed Plan:	Marlborough Sounds	Wairau/Awatere
Zoning: <u>Urban Residential 2</u>	(Sheet No: <u>8</u> )	
Activity: <u>Permitted</u>		
Residential Site Density	-	
Open Space/Site Coverage	-	
Maximum Height	<u>3.30m</u>	
Daylight Admission Control	<u>3ac</u>	
-garage exception		
Garage Setback	-	
Parking	-	
Noise	-	
Vehicle Access (provision, gradient, cuts, stream crossings)	-	
8m from stream/river	-	
Excavations (20m <sup>3</sup> , Hazard area, 8m from stream)	-	
Ecological/cultural sites - check maps	-	
Plan Scheduled Historic Site - check maps	-	
NZHP Registered Historic Site	-	
Hazard Site - Plan Maps	<u>JWA</u>	
- Hazard Register		
Effluent Disposal - Distances - Hazard area	-	
Stormwater	-	
Water Supply - New Bore or intake structure	-	
Development Levies (in standard requirements)	-	
Potable Water (Deferred Township Res)	-	
Yards (Sounds Residential over 4000m <sup>2</sup> only)	-	
Transitional Plan	Marlborough	Awatere
	Wairau Plains	Blenheim
Zoning		
Use		
Site Coverage		
Maximum Height		
Type of Site		
Yards (check eaves) Front		
Side		
Rear		
Off Street Parking		
Site Over 15° (Marlborough Section only)		
Development Levy		

Accessory Buildings
Maximum height
Coverage/Total Floor Area
Distance from front boundary/Accessway
Length along yard (Blenheim only)
Other buildings on site (Blenheim only)
BLENHEIM ONLY:
Density
Daylight Admission Control
Living and Service Courts
Apartmenthouses
Rental or Crosslease
Spacing between Blocks or 3 or more new units 2 or more additional units
Maximum attached units
Length in relation to side yard
Storage facilities
Access Width
Additional requirements for churches
External appearance of Building

- PIM only
- PIM/BC issued - Permitted Activity
- PIM/BC issued - Resource Consent Issued
- PIM/BC issued - Section 35 Form 4(A) Certificate Issued

Signed: J Felste Date 29/9/03

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To: The Chief Executive  
Marlborough District Council  
Seymour Square  
PO Box 443  
BLENHEIM

## APPLICATION FOR BUILDING CONSENT

0 3 1 7 5 6

### Applicant Details (refer terms & conditions note 2)

John e Amy Cannon  
Full Name  
122 Scott Street  
Postal Address  
BLENHEIM

03 578 3361  
Contact Telephone number  
Fax number  
Email address

### Agent Details (if applicable)

Name  
Address  
Contact Telephone number  
Fax Number  
Email address

### Project Location

122 Scott Street BLENHEIM  
Site address

1024 m<sup>2</sup>  
Total Land area  
Domestic  
Current land use of property (eg: domestic, sheep farming, motel etc)

### Project Details

I am applying for a: (tick one)

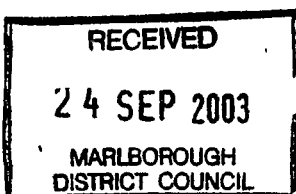
- Building Consent and a Project Information Memorandum
- Building Consent only in accordance with Project Information Memorandum no.....issued.../.../...

Describe project New conservatory  
(Dwelling, alterations, garage, demolition etc)

Being stage ..... of an intended ..... stages.

Number of dwelling units being built ..... Number of floors (if multi-storied building) .....

Total Floor area of building work ...1178...m<sup>2</sup>



Please turn over 

# Building Consent Check Sheet

BC No

0	3	1	7	5	6
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**CSO's TO COMPLETE**

ISO 9002  
Form Ref CI513

Property number ..... 352380

Legal description ..... Lot 7 DP 1273

Valuation number ..... 20530 22300

PI name ..... Amy Cannon

PI number ..... 14935 (Name No)

Grid Reference E ..... 2589835

N ..... 5964415

	Copies	Rec'd	To Come	Comments
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Application form completed / signed

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Site Plans

3

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Floor Plans and Elevations

4

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Specifications

3

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Cross Section

2

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Bracing Schedule

2

<input type="checkbox"/>	<input type="checkbox"/>
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N/A

Truss Layout Plan / Statement

2

<input type="checkbox"/>	<input type="checkbox"/>
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N/A

Producer Statements (Engineer)

2

<input type="checkbox"/>	<input type="checkbox"/>
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N/A

Site Reports (Engineer)

3

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Smoke Alarm location and information

2

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Water Requirements (Private / Council) ..... existing

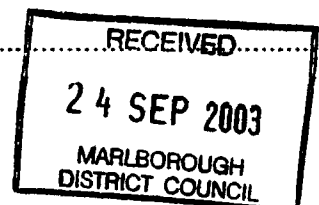
Septic Tanks / Engineer ..... "

Compliance Schedule (Commercial) ..... "

Services (Stormwater, Water and Sewer) ..... "

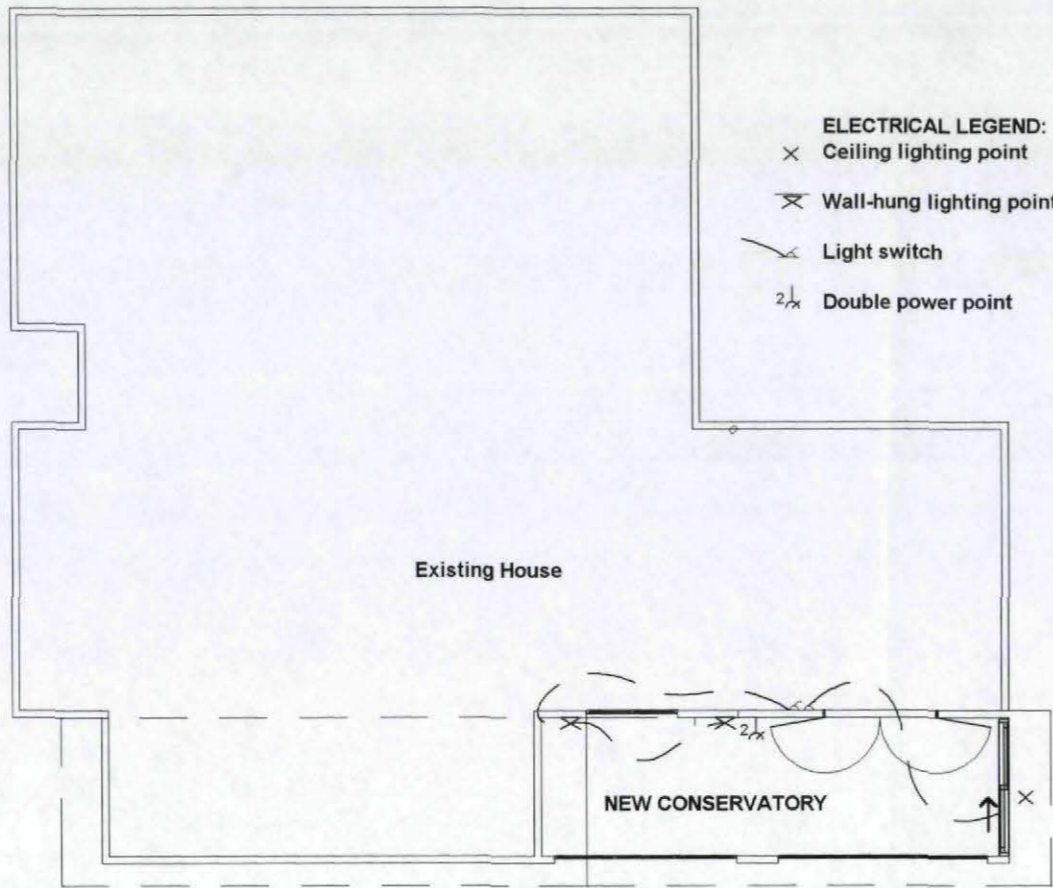
Vehicle Crossing ..... "

CSO Initials ..... Shi



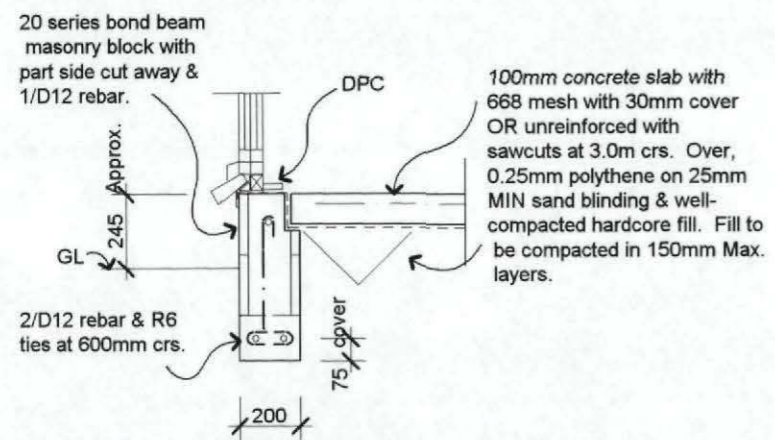


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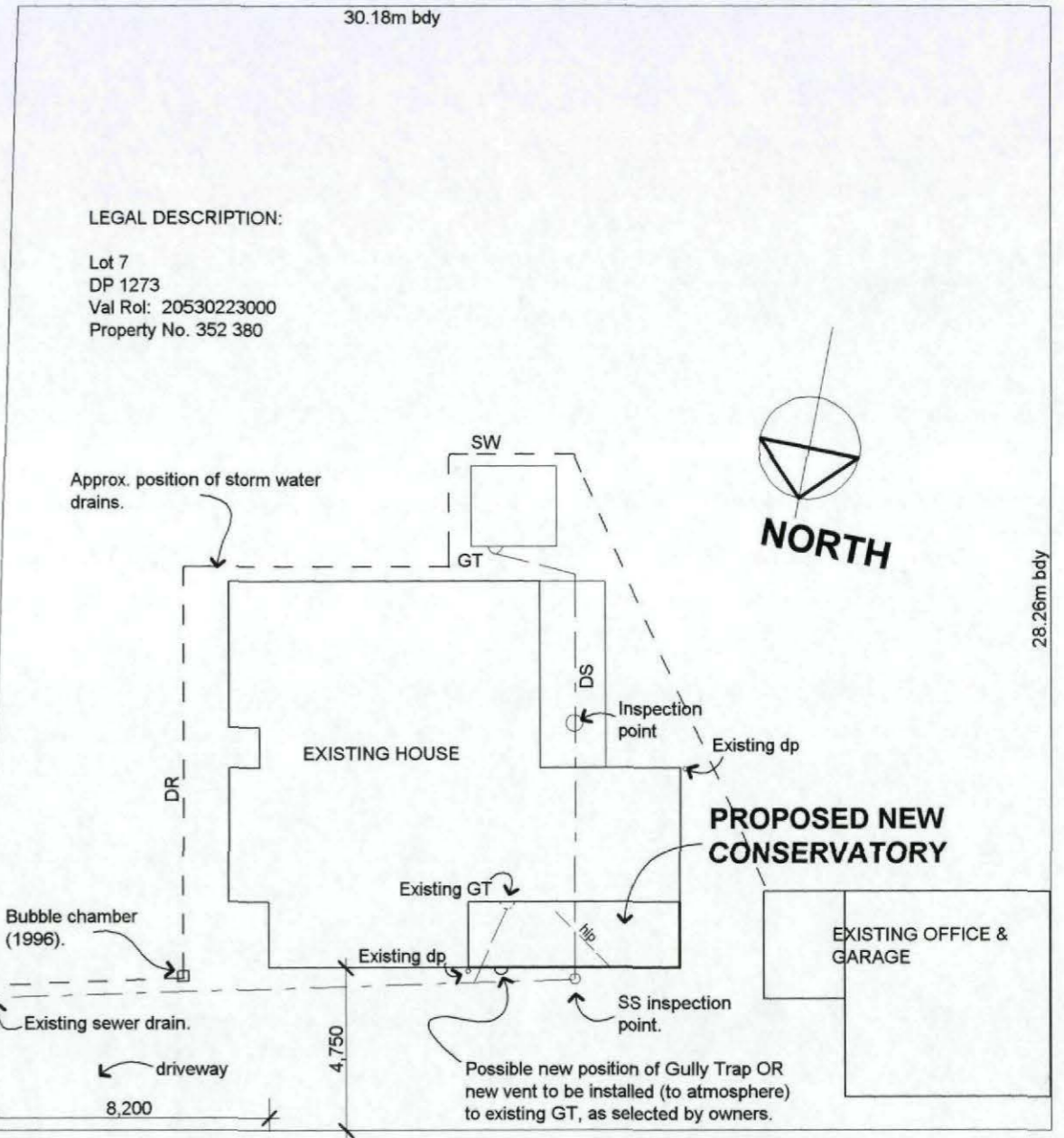


**ELECTRICAL LEGEND:**  
 x Ceiling lighting point  
 X Wall-hung lighting point  
 [switch symbol] Light switch  
 2x Double power point

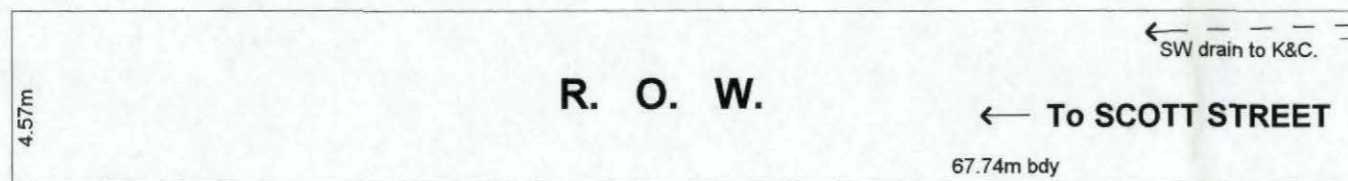
**ELECTRICAL LAYOUT** NTS



**DETAIL C** 1:25  
 NOTES: Ground supporting foundations shall have a soil bearing capacity of greater than 300 kPa as per NZS 3604 1999 3.1.2.  
 17.5 MPa concrete slab, footing & blockfill.



**SITE LAYOUT** 1:200

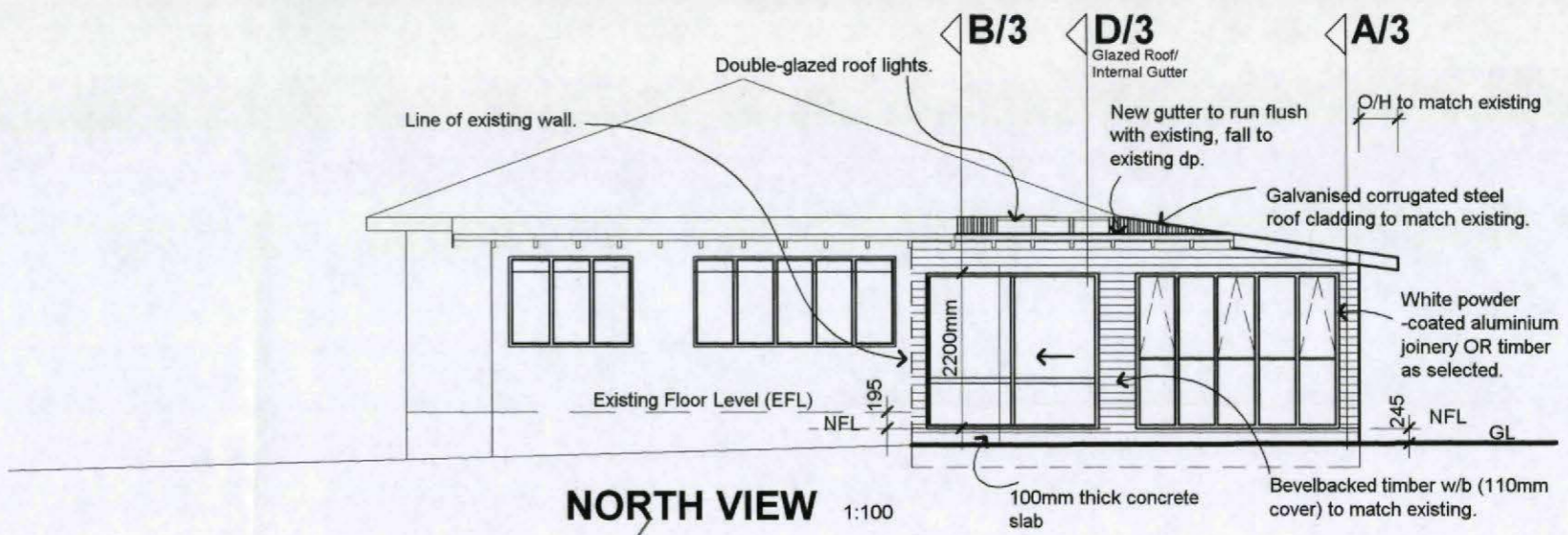


NOTES: New gutters to fall to existing down pipes.  
 Check position of power cables, telephone line & drains before commencing any work.

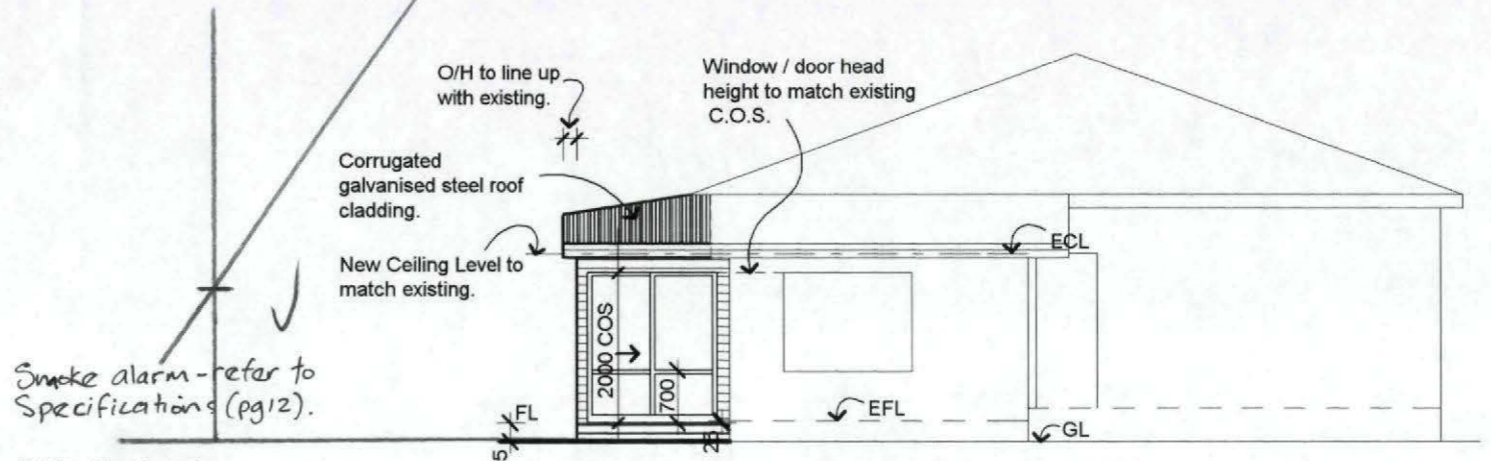
**FINAL**  
 12 AUG 2003  
**PROPOSED NEW CONSERVATORY for**  
**JOHN & AMY CANNON at 122 SCOTT STREET**

<b>Steingrimsson Associates Ltd</b> ARCHITECTURAL DESIGN Sandra Steingrimsson NZCD (Arch)		CONTACT: Mobile: 025 828 030 Ph: 03 577 8558 Fax: 03 577 5558 email: steingrimsson@ihug.co.nz	JOB NO: <b>C03 003</b> DATE: <b>June 2003</b>	SHEET NO: <b>1</b> OF SHEETS:
		DRAWN: SIS		

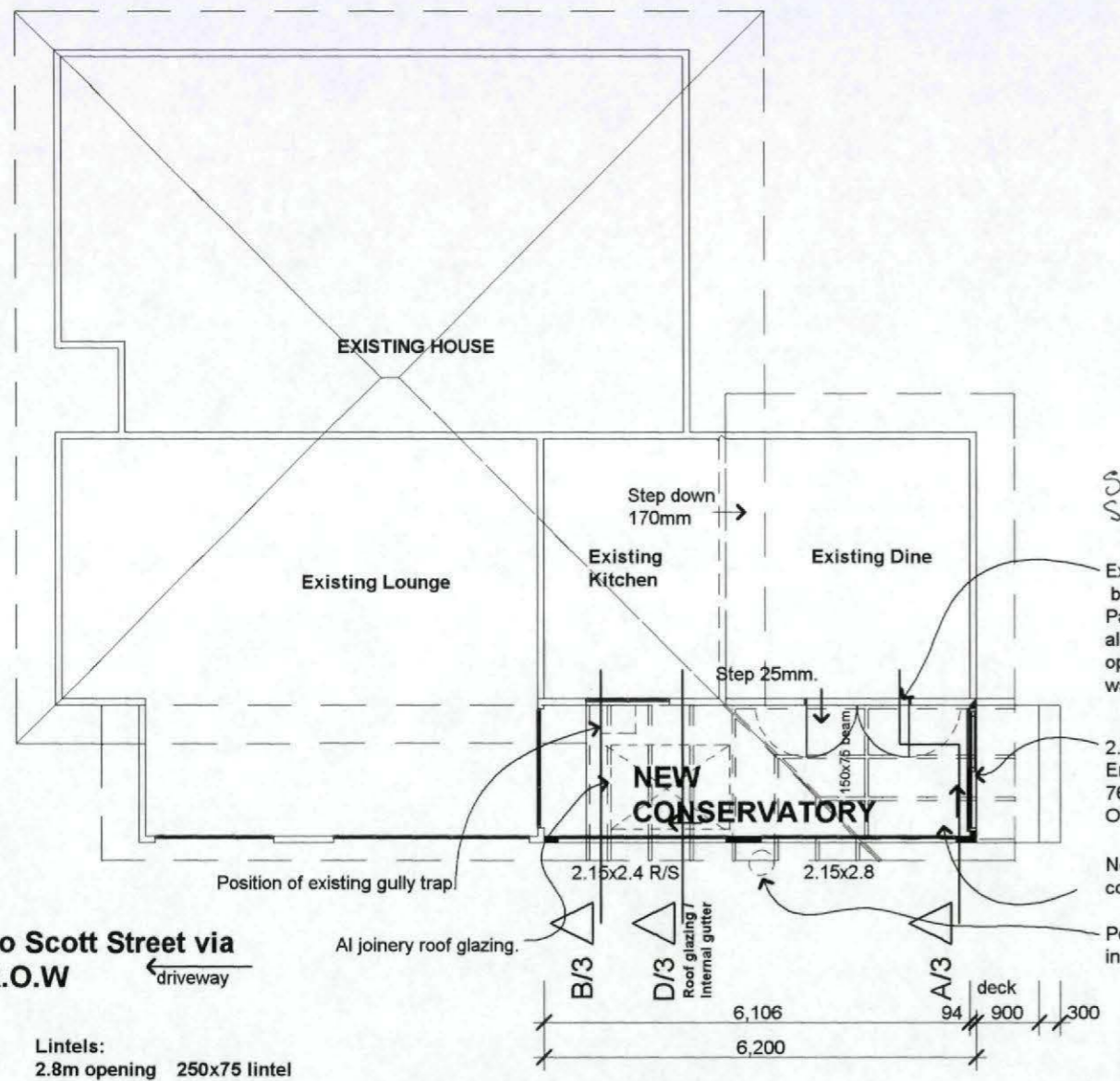




**NORTH VIEW** 1:100



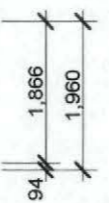
**WEST VIEW** 1:100



**FLOOR LAYOUT** 1:100

Check all measurements on site before commencing construction.  
Measure window openings on site before commencing manufacturing - CHECK existing head height (west). CHECK ON SITE new lintels allow head height as shown.

- Existing French drs to be fitted with Parliament hinges to allow doors to be opened back against wall CHECK on site.
- 2.15x 1.8 R/S C.O.S. Ensure clear opening 760mm MIN. Otherwise hinged dr.
- New 100mm thick concrete slab
- Position of existing SS inspection chamber.



AREA:  
Conservatory 11.8m<sup>2</sup>

- Lintels:
- 2.8m opening 250x75 lintel
  - 2.4m opening 200x75 lintel
  - 1.8m opening 150x75 lintel

**FINAL**

12 AUG 2003

**PROPOSED NEW CONSERVATORY for JOHN & AMY CANNON at 122 SCOTT STREET**

Contractors to check all dimensions, levels, angles, etc. on site prior to construction. Construction to comply with NZS 3604- and N.Z. Building Code, unless otherwise specified.



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		Mobile: 025 828 030 Ph: 03 577 8558 Fax: 03 577 5558 email: steingrimsson@ihug.co.nz	C03 003	2
		DATE	DRAWN	OF SHEETS
		June 2003	SS	2



Purlins 75x50 at 900mm crs (allow to line roof up with existing) to be fixed to rafters with 2/100x3.75 skewed nails & 2/Type 17 bugle-head, 14 gauge x 100mm purlin screws, as per NZS 3604 1999 Tbl.10.9 for high wind uplift areas.

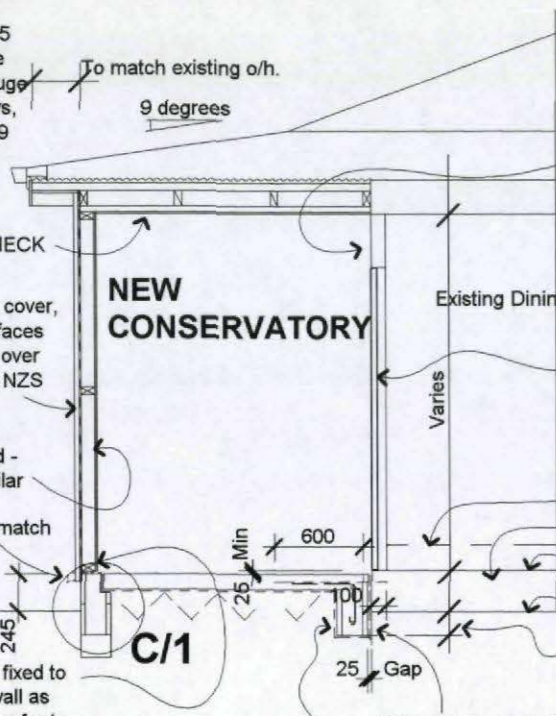
Ceiling lining (& bldg paper) as selected CHECK with owners.

Timber w/b's, 110mm cover, pre-primed on all surfaces & two finishing coats, over building paper, as per NZS 3604 1999 11.5.2.6.

Wall lining as selected - 6mm Hardiflex or similar

Timber sill beyond to match existing.

H3 bottom plate to be fixed to concrete foundation wall as per NZS 3604 1999 - refer to specification.



**SECTION A** 1:50

NOTES: Refer to Specification for fixing types & capacity. Wall & ceiling linings as selected, shall be fixed in accordance with manufacturers specifications.

0.25mm black polythene vapour barrier to wrap around non-loadbearing footing & up between existing house & footing. Connect new floor slab to existing foundation wall with 1/D12 (galv.) rebar drilled & epoxy grouted 100mm into existing slab, & cast 600mm into new floor slab. Connecting rebars at 600mm crs.

Existing w/b's to remain.  
Existing doors to be rehung to swing back against wall (parliament hinges or similar).  
Step up to existing kitchen.  
Existing concrete floor slab.  
To firm ground.

**NOTES/SPECIFICATIONS**

0.40 BMT galv. steel (to match existing) fixed in accordance with manufacturers specification, on L/W building paper on galv. netting, on 75x50 R/S purlins at 1.4m crs ( check roofing manufacturers spec's for max span). Fixings as per drawings - refer to NZS 3604 1999 10.9-10 and fig 16-17.

Roof framing as per NZS 3604 1999 - refer to specifications. Rafters to be fixed to plate (NZS 3604 10.2.1.3.7 for rafters directly supporting ceiling lining) with Lumberlok CPC40S - 1 ea side or alternative fixing capacity 4.7kN (Tbl.10.12 & 10.13).

Fascia/gutter to match existing, pre-prime H3 fascia (timber).

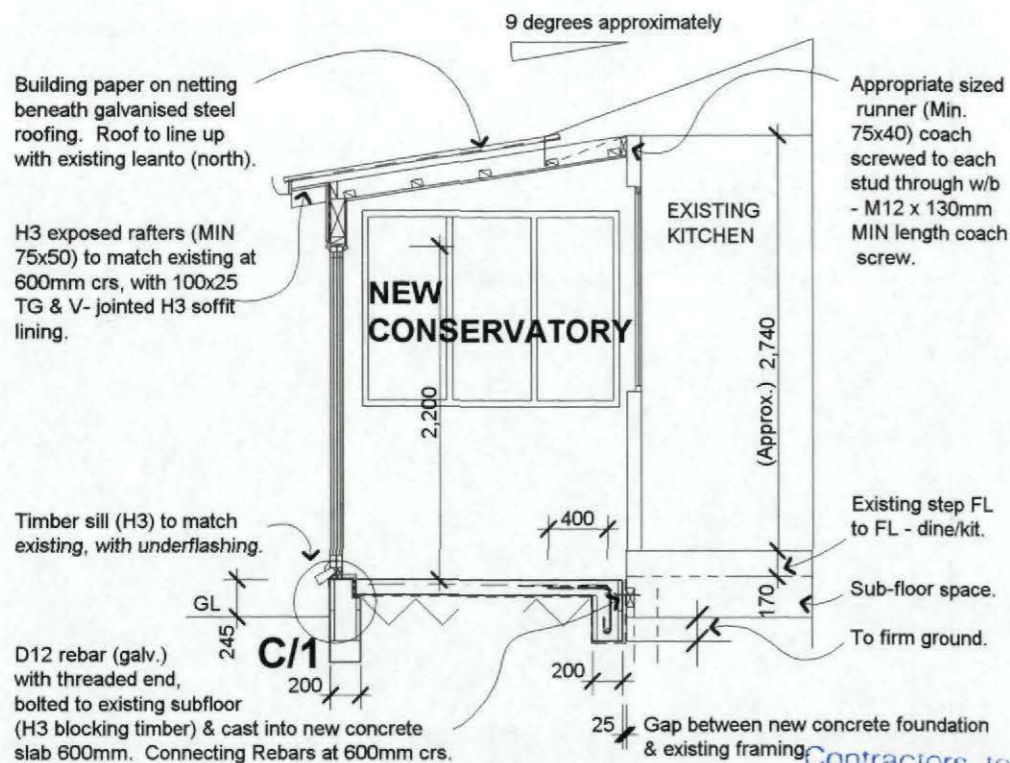
Timber w/b to match existing, to comply with NZS 3617 and NZS 3604 1999 11.5.2 for fixing, over L/W building paper (breather paper) as per AS 4200. Refer to specifications.

100x50 No 1, H1 framing to NZS 3604 1999, studs at 600crs, nogs at max 1350mm crs. DPC under bottom plate & between any other concrete & timber surfaces. Top plate to stud fixing (NZS 3604 Tbl. 8.18) - 2/100x3.75 skewed nails plus 1 wire dog (2.7kN). Bottom plate to stud fixing (NZS 3604 Tbl. 8.19) - 4/ 75x3.06 power driven nails (skew nailed).

Lintels (size as per NZS 3604 Tbl.8.8 - 8.13) shall be secured against uplift (NZS 3604 Tbl. 8.14). Refer to specifications.

Windows shall comply with the strength, deflection & water leakage requirements of Section 10 & 12 of NZS 4211.

Refer to separate Specification sheets.



**SECTION B** 1:50

Building paper on netting beneath galvanised steel roofing. Roof to line up with existing leanto (north).

H3 exposed rafters (MIN 75x50) to match existing at 600mm crs, with 100x25 TG & V-jointed H3 soffit lining.

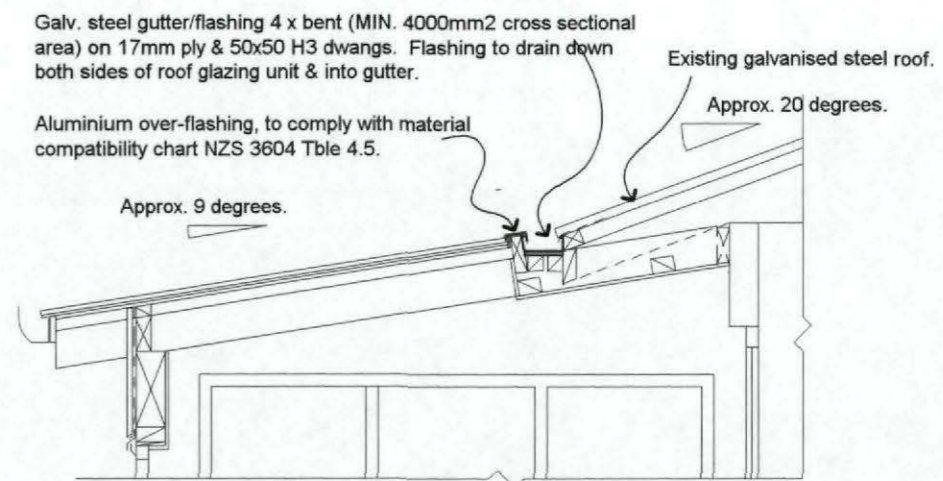
Timber sill (H3) to match existing, with underflashing.

D12 rebar (galv.) with threaded end, bolted to existing subfloor (H3 blocking timber) & cast into new concrete slab 600mm. Connecting Rebars at 600mm crs.

Appropriate sized runner (Min. 75x40) coach screwed to each stud through w/b - M12 x 130mm MIN length coach screw.

Existing step FL to FL - dine/kit.  
Sub-floor space.  
To firm ground.

Gap between new concrete foundation & existing framing.



**DETAIL D-Internal Gutter/Flashing** 1:25

NOTE: Aluminium joiner is to check existing roof glazing position before manufacturing, to ensure compatibility of materials & heights of framing allow roof glazing to drain into gutter as shown, & in order to provide a warrantee for unit in position. Joiner is to provide owner with a written maintenance specification.

Builder is to work in with Aluminium joiner, providing a framework for roof glazing to fit into - NOTE: Min. rafter size 75x50 allows some height adjustment. Internal gutter & flashing each side to be constructed in a good workmanshiplike manner, providing a weather & waterproof connection.

**FINAL**

12 AUG 2003

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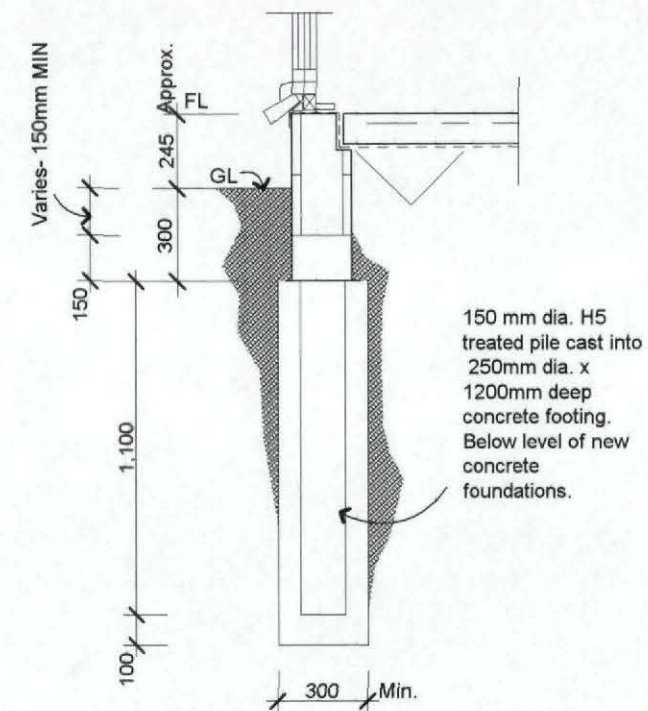
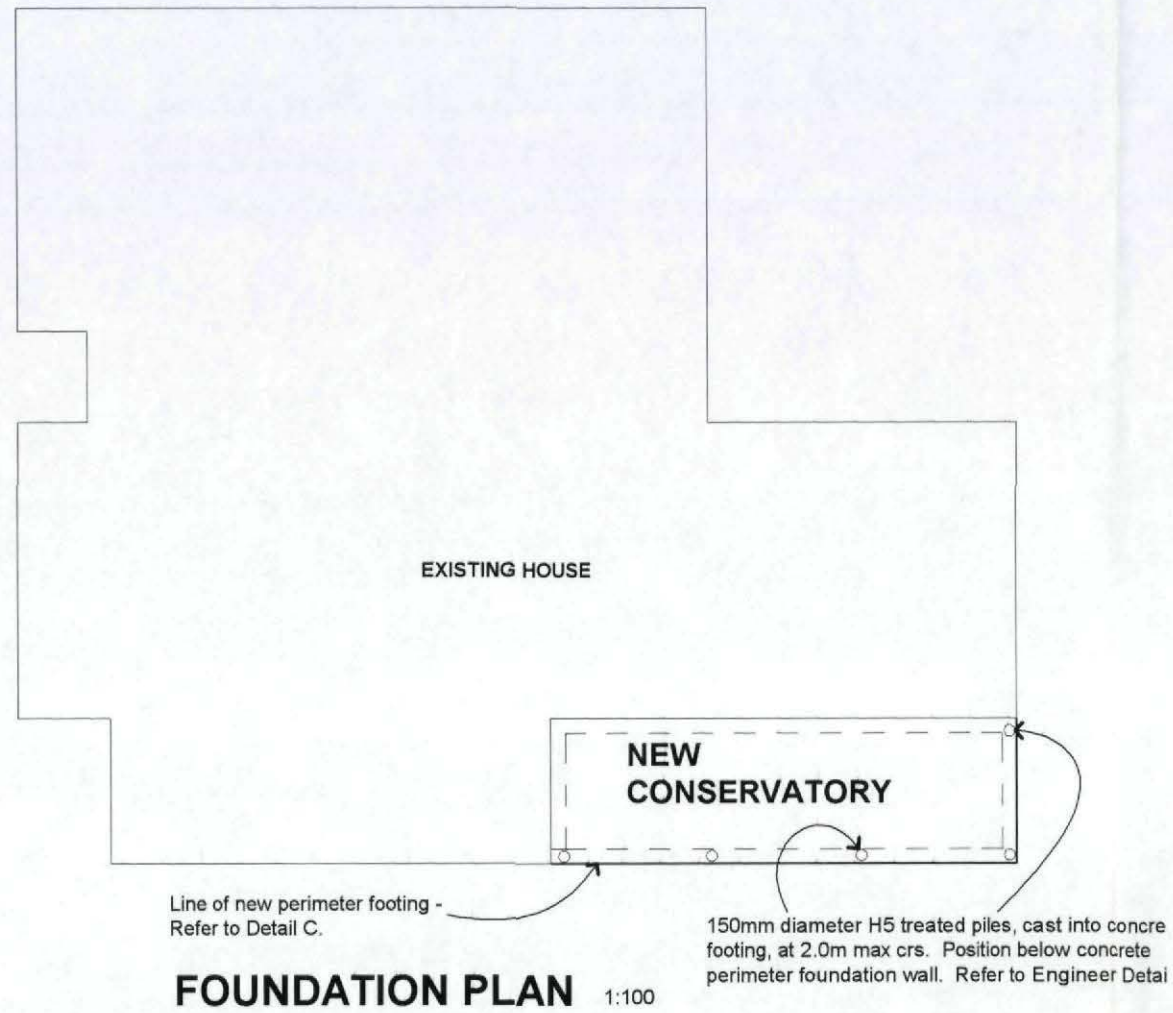
**PROPOSED NEW CONSERVATORY for  
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CONTACT:	MOBILE: 025 828 030 PH: 03 577 8558 FAX: 03 577 5558 EMAIL: steingrimsson@ihug.co.nz	JOB NO: <b>C03 003</b>	SHEET NO: <b>3</b>
		DATE: <b>June 2003</b>	OF SHEETS:
		DRAWN: <b>SK</b>	





**ENGINEER DESIGNED PILE DETAIL** 1:25

NOTES: Ground supporting foundations shall have a soil bearing capacity of greater than 300 kPa as per NZS 3604 1999 3.1.2.  
17.5 MPa concrete slab, footing & blockfill.

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CONTACT	Mobile: 025 828 030 Ph: 03 577 8558 Fax: 03 577 5558 email: steingrimsson@ihug.co.nz	JOB NO. C03 003	SHEET NO. 4
DATE	August 2003	DRAWN	OF SHEETS
	SJS		



