

PLEASE ENSURE YOU MAKE AN APPOINTMENT

OFFICE USE ONLY

Application Number: 2337/2002
 Valuation Number: 04184-13110-B



Hamilton City Council Application for:

Project information memorandum and building consent together
 Project information memorandum only
 Building consent only (in accordance with project information memorandum) Number _____

Project location: para 1 2015
 Street Number 18A Street Name BRECKONS AVE
New InBuilt S/F Heater

LOT(S) 5

SITE AREA _____ ha / _____ m²
Flat B 01589572

DPS 9804 - Flat B

INTENDED LIFE:
 Indefinite but not less than 50 years
 Specified as 5 years

PROJECT: _____ Floor area (m²) _____
 New building _____
 Alteration/addition _____
 Relocation _____
 Demolition _____
 Other Heating

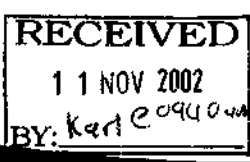
Description of work: Replacement of solid fuel fire
 Intended uses: Heating
 Estimated value (incl GST): \$ 2,800

OWNER
 Name BISH Ltd
 Postal Address 19 Houhere Place
HAMILTON
 Phone (daytime) _____
 Cellphone _____
 Fax _____
 Email _____

CONTACT (if not owner):
 Name HEATING + CONTROLS Ltd
 Postal Address Box 5652
HAMILTON
 Phone (daytime) 847-1179
 Cellphone 027 439-0255
 Fax 846-1159
 Email sales@heatingcontrols.co.nz

DECLARATION: Signed for or on behalf of the owner
 Print name Graham Signature [Signature] Date 11-11-02

COPY



Hamilton City Council

Building Unit, Ground Floor, Hamilton City Council Offices, Golden Place
 Private Bag 3010, Hamilton
 Telephone 07-838-6685 Fax 07-838-6684
 Email Building_unit_admin@hcc.govt.nz

See Note

FOR OFFICE USE ONLY

FEES PAYABLE:

	\$	
31 Building Consent		70.00
38 Project Information Memorandum		15.00
34 Code Compliance Certificate		15.00
BRANZ Levy		
BIA Levy		
Photocopying		
33 Microfilming		25.00
Structural Check		
External Consultants Check		
Crossing Administration		
Planning Bond		
Reserves Contribution (Residential)		
Reserves Contribution (Commercial)		
Water Main Connection		
Water Connection (Nearside)		
Water Connection (Farside)		
Water Connection (Rural)		
Water Disconnection		
Backflow Device		
Backflow Inspect/Permit Fee		
Sanitary Connection		
Stormwater Connection		
Sanitary Disconnection		
Stormwater Disconnection		
CCTV Survey Sanitary		
CCTV Survey Stormwater		
Kerb & Channel Connection		
Cellar Indemnity		
Compliance Schedule		

Total Fees (including GST).

\$ 125-

BUILDER:

[Empty box for BUILDER name]

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

PLUMBER:

[Empty box for PLUMBER name]

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

Reg # _____

DRAINLAYER:

[Empty box for DRAINLAYER name]

Address: _____

Fax: _____

Phone - day: _____

Cellphone: _____

Reg # _____

OFFICE USE ONLY

Receipt # 411575 - 5125-00-11/11/02

Date of issue 11/11/2002

Authorised by [Signature]

Date authorised 11/11/2002

REFERRALS:

	Sent	Returned
Structural		

CONFIDENTIALITY

You have the option to request confidentiality for reasons of building security and copyright. Please ask the Building Review Officer you are dealing with for further information.



CORRESPONDENCE

I/we, the applicant, acknowledge that all correspondence is to be directed to:

Myself/ourselves

My/our agent whose responsibility it is to

forward all council documentation as received as appropriate.

Consent Reference:
2337/2002

Project Address:
18A Breckons Avenue

Issue Date:
11 November 2002

Owner: Bish Limited

Builder: Heating & Controls Ltd
wk 07 847 1179

Description of Work: New Inbuilt Solid Fuel Heater
Property Reference: Flat B & Shed B DP S89572

TR /

BUILDING INSPECTIONS

PLUMBING & DRAINAGE INSPECTIONS

	SIGN	APPROVED		DATE		SIGN	APPROVED		DATE
		Yes	No				Yes	No	
Siting									
Foundation									
Bond Beam									
Concrete Floor									
Tilt Slab									
Prelining									
Fire protection									
Crossing									
Crossing Final									
Other									

Producer Statement	Requested	Received
Driven Piles		
Engineers		
Automatic Sprinklers		
Fire Alarm		
Emergency Lighting		
Lifts, Escalators		
Mechanical Ventilation		

Producer Statement	Requested	Received
Pressure Test		
As Laid Drainage Plan		
Back Flow Prevention Device		

DRAINLAYER:

PLUMBER:
Scanlan & Jones

INTERIM CODE COMPLIANCE CERT. ISSUED
YES NO

COMPLETION
SIGN *A.W. Waldorf* DATE 18.11.02

COMPLETION
SIGN _____ DATE _____

COMMENTS:

COMMENTS:

COMMENTS:



Hamilton City Council

Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hcc.govt.nz

Code Compliance Certificate

No 2002/2337

Section 35, Building Act 1991

Issued by Hamilton City Council

Date: 28 November 2002

Applicant: Bish Limited
Mailing Address: 19 Houhere Pl
HAMILTON

Application Lodged: 11/11/2002

Project:
Application Description: New Inbuilt Solid Fuel Heater
Intended Use: Detached Dwelling - Live As A Family
Work Type: New Construction

Intended Life: 5 years
Value of Work: \$2800

Property:
Address: 18A Breckons Avenue HAMILTON 2001
Property Reference: FLT: B DP: S89572

This is:

- (X) A final code compliance certificate issued in respect of the building work under the above building consent.
- () An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- () This Certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No. 2002/2337" (being this certificate)

Signed for and on behalf of the Hamilton City Council: *P. Martens*

Name: PETER MARTENS
NZCIB
REGISTERED BUILDING INSPECTOR *RP 11/1 2002*
CC-0
Position: Authorised Officer

Building Control Unit

Building

PROPERTY ADDRESS: 18 A Brekons Av Ham
Flat B
LOT: 5 DP/S: 9804 CONSENT NO: 2337-2002

<input checked="" type="checkbox"/> Approved Building Consent documents on site <input checked="" type="checkbox"/> Check conditions <input checked="" type="checkbox"/> Check street number on letter box	<input checked="" type="checkbox"/> Liner spacing <input type="checkbox"/> Flue copped
HEATER FREESTANDING <input type="checkbox"/> Hearth size / thickness <input type="checkbox"/> Clearances from walls and drops <input type="checkbox"/> Heater fixed down <input type="checkbox"/> Clearances in roof space <input type="checkbox"/> Flue support	HEATER INBUILT <input checked="" type="checkbox"/> Check existing chimney condition <input checked="" type="checkbox"/> Fire place condition <input type="checkbox"/> Hearth size / thickness <input type="checkbox"/> Mantel clearances <input type="checkbox"/> Timber in fireplace <input type="checkbox"/> Full length liner

COMMENTS: Scanland & Jones
Designer Fires

① Blank off Plumbing to
HWC

② Mortar up hole in back of
concrete fire surround

③ Fit deflector shield
(timber mantel within 460mm
all the above completed.

<input type="checkbox"/> Further Inspection Required	<input checked="" type="checkbox"/> Approved
Inspector: <u>[Signature]</u>	Date: <u>18.11.02</u>

Building



Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6999

info@hcc.govt.nz
www.hcc.govt.nz

11 November, 2002

Heating & Controls Ltd
P O Box 5632
HAMILTON
2001

Dear Sir/Madam

Consent Number: 2337/2002
Project: New Inbuilt Solid Fuel Heater
Project Address: 18A Breckons Avenue

Thank you for the application for building consent. We are pleased to advise that this consent has been processed and is now ready for collection.


Your next steps are:

1. Please arrange for the payment and collection of the consent documents (If this has been pre-paid, then these will be sent to you). Please bring your invoice in with you when you pay. Your approved documentation must be kept on site for the building inspector to view.
2. Read carefully the Project Information Memorandum comments on page 2 of this letter. This information may be important to you during the construction process.
3. This Building Consent is issued subject to the conditions outlined on page 4. In particular please note the requirements for inspections. The phone number to arrange inspections is 838 6677 available from 8:00 am to 11:00 pm.
4. Your final step after the completion of the project, is to apply for the issue of a Code Compliance Certificate. Please fill out the "Advise of Completion of Building Work" form attached (page 5) and we will contact you to arrange a suitable time. We have found that many people do not complete this last task with the result that legal difficulties can arise at the time of sale or with insurance companies.

It is also a legal requirement of the Building Act, therefore the keeping and processing of the Advise of Completion is very important to both yourself and Council.

Good luck with your building project and we look forward to our staff assisting you with this and any future building work.

Yours faithfully



Mr KH Hjelmstrom
Private Bag 3010
HAMILTON
2001
Work: 07 838 6685



Hamilton City Council

Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hcc.govt.nz

Building Consent:

Project Information Memorandum Comments

This is your Project Information Memorandum

This describes (if relevant) any special features of the land, Information of other Acts relating to the land or buildings, Details of waste and storm water systems and confirmation that the works will comply with the Building Act subject to the requirements of the building consent.

* Planning

*

* Solid Fuel Heaters

* Heater to be installed in compliance with Manufacturers Installation instructions, which must be on site at the time of inspection.

* Curtains to be 1 metre away from the firebox/flue.

* Health

* Please see attached information sheet "Correct Operation of Solid Fuel Space Heaters" (EC 1/3d) as a guide to efficient burning. This will assist you in minimising any adverse environmental effect as required by the Resource Management Act 1991.

Project Information Memorandum

No: 2337/2002

**Section 43(3), Building Act 1991
Issued by the Hamilton City Council**



Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hcc.govt.nz

Date: 11 November 2002

Applicant: Bish Limited

Mailing Address: 19 Houhere Pl
HAMILTON
2001

Application Lodged: 11 November 2002

Project
Application Description: New Inbuilt Solid Fuel Heater

Stage:

Intended Use: Residential
Work Type: New Construction
Intended Life: 5 years
Value of Work: \$ 2,800.00

Property

Address: 18A Breckons Avenue
Property Reference Flat B & Shed B DP S89572
LOT 5 DP 9804

This is:

Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

Not yet applied for.

No.: 2337/2002 attached.

Not yet issued.

Or

Notification that other authorisations must be obtained before a building consent will be issued.

Or

Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

This project information memorandum includes (cross each applicable box, attach relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):

Information identifying relevant special features of the land concerned.

Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.

Details of relevant utility systems.

Details of authorisations which have been granted.

Details of authorisations which must be obtained before a building consent will be issued.

Details of authorisations which have been refused.

Signed for and on behalf of the Hamilton City Council:

Name: _____ 11/11/02
Position: Authorised Officer
Building Control Unit



Hamilton City Council

Te kaunihera o Kiriikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hcc.govt.nz

These are your Building Consent Conditions.

Please read these carefully

- * Building
- * Please quote building consent number when requesting an inspection.
- * Completion inspection required prior to issue of interim or final code compliance certificate. Please make application on the appropriate form, that is included in Building Consent.
- * Solid Fuel Heaters
- * Call for a completion inspection before you light the appliance. (Manufacturers installation instructions to be on site). Please provide 24 hours notice.
- * Inspection of prepared fireplace and chimney is required prior to heater installation. Please provide 24 hours notice.
- * Freestanding and inbuilt heaters to be bolted to the floor.

Important Notes:

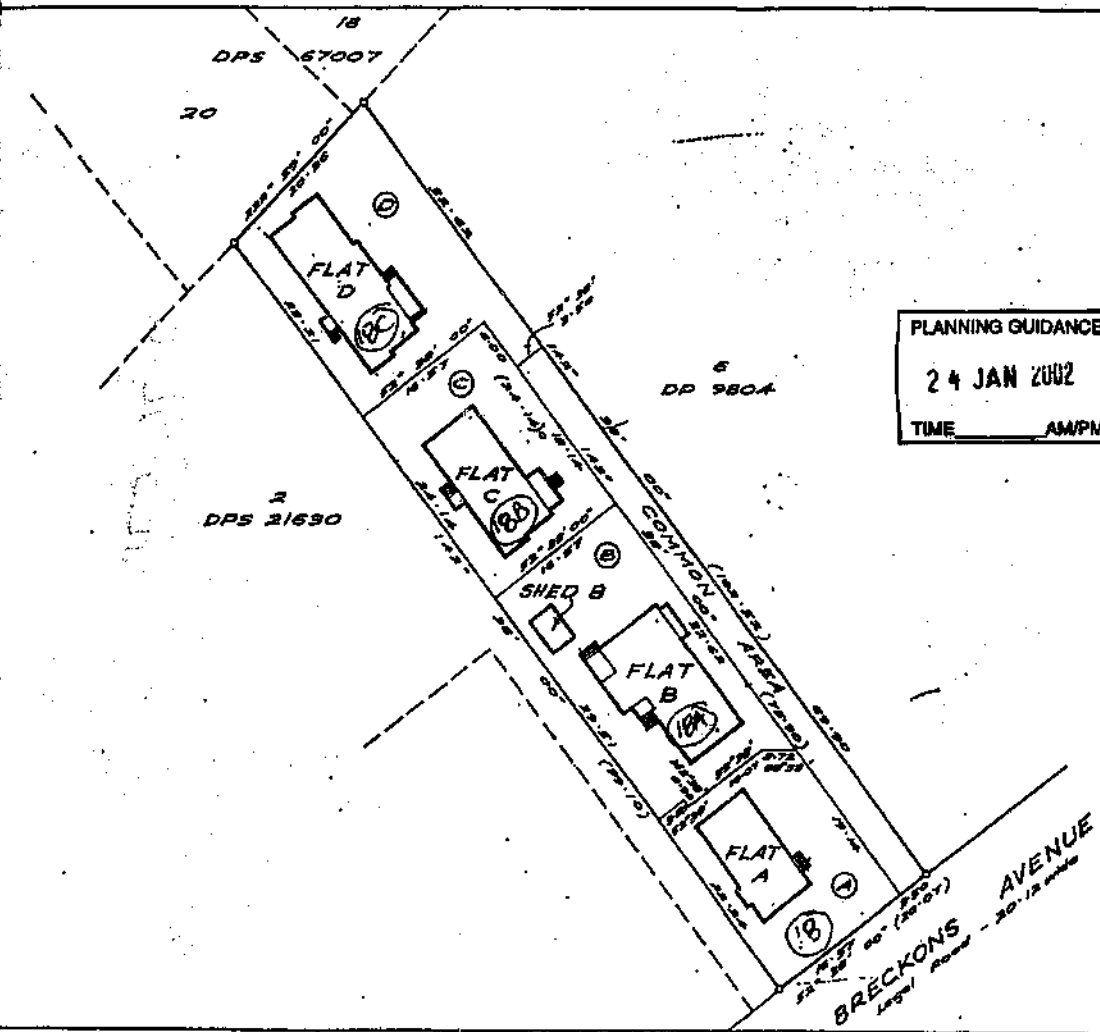
1. If the work has not commenced within 6 months or if there is a lack of reasonable progress within 12 months then your building consent may lapse. Please contact the processing officer if you feel you may exceed these times and we can discuss extending the time frames.
2. The Project Information Memorandum lapses if a building Consent for the work concerned has not been issued within 24 months after the date of the issue of the Project information Memorandum.
3. Please check with your local Network Utilities Operator as to where your services are located, i.e. Telecom, WeE Energy and Gas.

BUILDING CONSENT / PIM ACTION SHEET / CONSENT No. 2337 /2002

Yes No		w/held	issue																						
Health <input type="checkbox"/> <input checked="" type="checkbox"/> contaminated site 81																									
Roads & Traffic																									
Water <input type="checkbox"/> <input type="checkbox"/> water connection <input type="checkbox"/> <input type="checkbox"/> water disconnection <input type="checkbox"/> <input type="checkbox"/> backflow device <input type="checkbox"/> <input type="checkbox"/> green sheet sent																									
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Plumbing & Drainage																									
Building <input type="checkbox"/> <input type="checkbox"/> Soils checked 1, 9, 29, 30, 32 pim: 31, 33																									

u/1/02

48/1/B/188 - 589572



PLANNING GUIDANCE
 24 JAN 2002
 TIME _____ AM/PM



Approved

Report for Authority (Hamilton) Ltd
 I hereby certify that this plan was approved by the Hamilton City Council pursuant to Section 222 of the Resource Management Act 1991 on the _____ day of _____ 2002 for the purposes of Section 222(5) of the Resource Management Act 1991 that none of the conditions of the subdivision shown have been changed since to the satisfaction of the local Council and that a current notice has been issued in respect of these conditions that have not been completed and are referred to section 222(5) of the Resource Management Act 1991. I hereby certify that the Hamilton City Council is satisfied on reasonable grounds that every existing building shown on this plan complies with the provisions of the building regulations in section 222(5) of the Building Act 1991.

Planning Guidance Manager
 Authorised Officer
 Date 20/1/02

Area marked A-D are subject to land easements

Lot	City Approved
1	20/1/02
2	20/1/02
3	20/1/02
4	20/1/02

Total Area 2022 m²

Completed in 2002

I, Christine A. Smith Registrar
 Registered Surveyor and holder of an exempt practice certificate for the purposes of section 222 of the Resource Management Act 1991 hereby certify that this plan has been made in compliance with the provisions of the Resource Management Act 1991 and that every existing building shown on this plan complies with the provisions of the building regulations in section 222(5) of the Building Act 1991. I hereby certify that the Hamilton City Council is satisfied on reasonable grounds that every existing building shown on this plan complies with the provisions of the building regulations in section 222(5) of the Building Act 1991.

Field No. 1
 Release No. 10/1/02
 Gender: _____

Approved as to Survey
 _____ Chief Surveyor

Deposited this _____ day of _____ 2002

For Registrar's Record of Land
 No. 18/1/02
 Index Number: 589572

AND DISTRICT SOUTH AUCKLAND
 SURVEY BLK. & DIST. XIII Korohareu
 NZMS 261 SHT RECORD MAP No _____

FLATS ON LOT 5 DP 9804

TERRITORIAL AUTHORITY Hamilton City
 Surveyed by: Matthews & Cochrane Ltd
 Scale: 1:500 Date August 2000

QUALITY ASSURANCE CHECKLIST

Solid Fuel Heater

Certificate of Title

This is an important document that identifies which piece of land the project is to be built on and **must** be supplied with all applications

This can be obtained from Land Information New Zealand

Fees

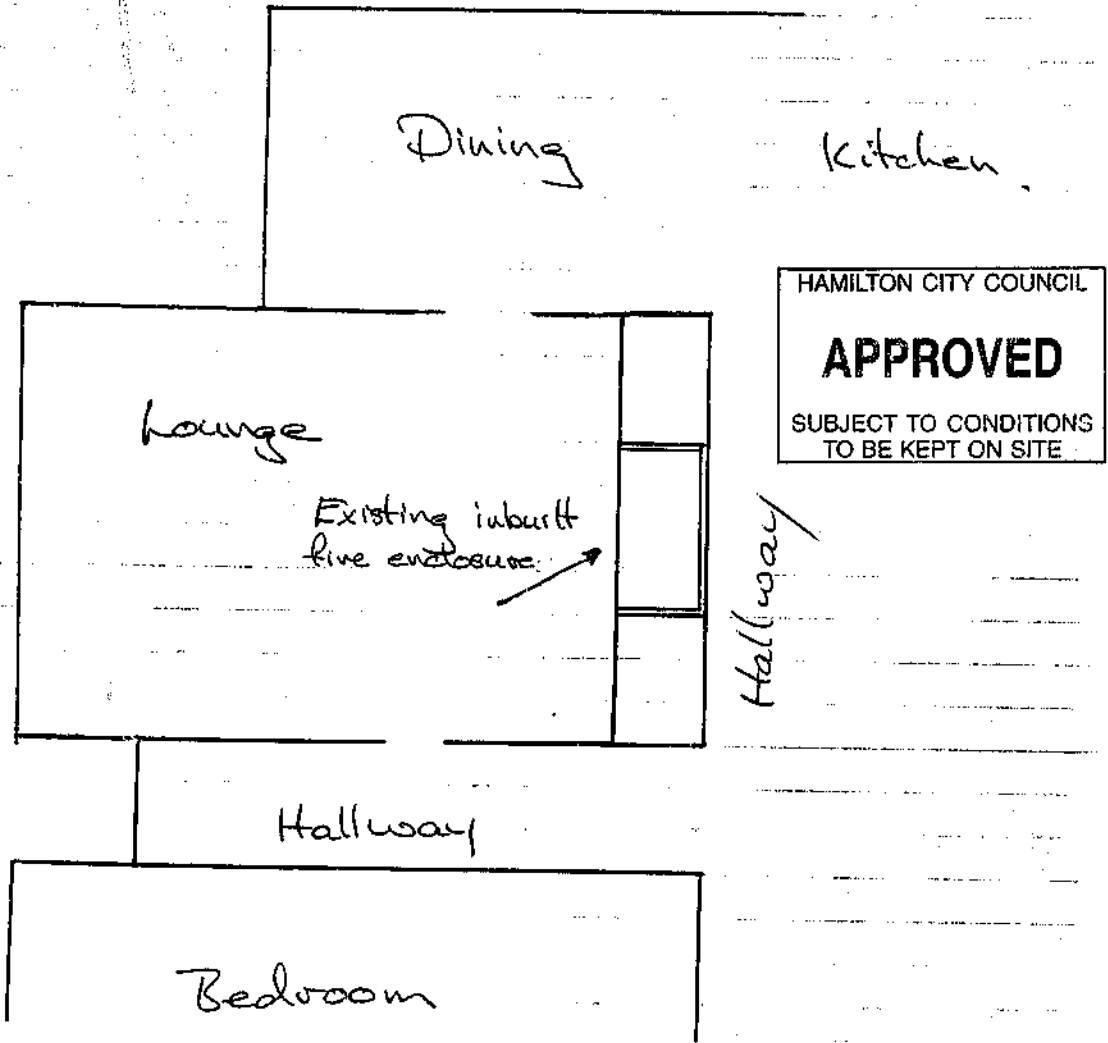
A full fee will be required as part of the application for consent. Please check our fees and charges booklet to see what your fee is. Payment options are cash, cheque or Epos.

	Yes	No	Office Use
<u>Floor Plan (two copies)</u> A single line drawing of the room showing the position of the proposed heater. Please include distances from windows and doors.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Specifications</u> Manufacturers heater specifications included ➤ Usually found in the heater brochure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Heating Engineers Report</u> To be provided if the heater is a second hand one.	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/>
This application is accompanied by (cross each applicable box, attach relevant documents in duplicate)			
➤ Building certificates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
➤ Producer statements	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
➤ Reference to accreditation certificates issued by the Building Industry Authority	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
➤ References to determinations issued by the Building Industry Authority	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Signed By Applicant.....  Date 11-11-02

Authorised by Review Officer.....  11/11/02

18A BRECKONS AVE
Flat 2 Lot 5 DPS 9804
Proposed new Inbuilt fire location



NOT TO SCALE

HEARTH REQUIREMENTS

Metro inserts are designed to be installed direct onto a concrete base. A hearth is required to project in front of the Metro and must extend a minimum of 200mm to each side of the door opening, making the minimum hearth width 825mm. The minimum hearth projection forward of the Metro is dependent on the height of the insert above the combustible floor. The following schedule of hearth projections is measured from behind the Metro fascia, being the total hearth depth as shown in diagram 4 below. Note: the heights specified above the combustible floor can be achieved by:-

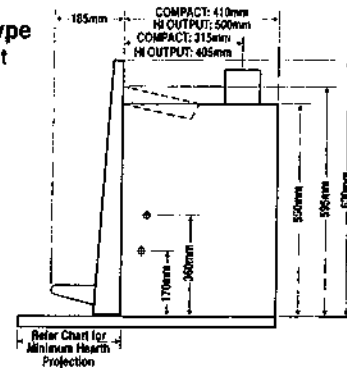
- Adjusting the thickness of the hearth
- Raising the insert
- A combination of the two

Insert Raised Minimum Hearth projection and Type

Insert Raised	Metro Compact	Metro High Output
10mm	439mm insulated	455mm insulated
15mm	425mm insulated	445mm insulated
20mm	417mm insulated	436mm insulated
25mm	403mm insulated	424mm insulated
30mm	392mm insulated	408mm insulated
35mm	381mm insulated	396mm insulated
40mm	367mm insulated	366mm insulated
41mm & above	N/A	260mm ash hearth
45mm	356mm insulated	
50mm & above	260mm insulated	

DIAGRAM 4

Firebox Insert 560mm wide
Fascia 810mm wide



WETBACKS

WETBACKS - Both Metro inserts can be fitted with either of Pioneer's 3kW or 4kW wetback option. Only Pioneer's cast jacket wetback system as illustrated on page 2 (reverse side of this manual) should be fitted to a Metro; alternative wetbacks will void the Metro's emission approvals and may seriously affect the performance of the appliance and void the owner's warranty

Both 3kW and 4kW wetback options can be fitted to either side of the firebox, with the connection pipe heights illustrated in diagram 4 above. Please note:-

- It is recommended the return pipe has a minimum rise of 1 in 12; performance will reduce as the distance to the storage cylinder increases.
- The wetback must be connected to a vented system. To fit the wetback proceed as follows:
 1. Remove the brick from the inside of the firebox (from the side to which the wetback is to be fitted).
 2. Expose the holes in the firebox through which the connection pipes will pass.
 - The high output model has 3mm pressed washers covering these two openings and two 6mm bolts which are fitted inside the firebox near the connection holes; remove these also.
 - The compact has a 6mm cover plate secured by four 6mm bolts on the outside of the firebox.
 3. Using a hole saw or snips, prepare the cabinet for the connection pipes. Note: these holes should be a neat fit or have any excess gap covered or filled with high temperature insulation.
 4. Using the tube of sealant supplied with the wetback, apply a liberal bead of sealant around both connection holes on the inside of the firebox. On the rear face of the wetback casting apply the remaining contents of the tube equally around both connection pipes.
 5. Fit the wetback into the firebox and position the connection pipes through the connection holes in the firebox. For the "Compact" model only: lift the end of the wetback at the rear of the firebox over and behind the supporting lug which was previously locating the side brick.
 6. Fit two bolts through the slots provided in the wetback. Align the wetback so its front edge is parallel to the door opening and secure the bolts. The wetback is ready for connection to the storage cylinder by a registered plumber.

IN:

Pos rear bas-taki

1.

2.

3.

4.

5.

6.

7.

8.

9.

10.

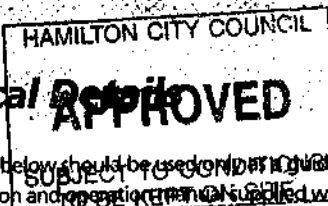
The if pc of k

F

MAI P.O. New Pho Fax Em: Wel

METRO

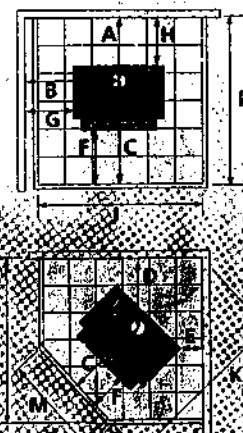
Technical **APPROVED**



All Metro woodfires are tested to NZS-7421 and AS-2918. Specifications and clearances detailed below apply to both standard and Ef Series Metros. Specifications may alter and

those detailed below should be used on a case by case basis. Refer to the installation and operation manual supplied with every Metro, or if in doubt, consult your Metro retailer.

SPECIFICATIONS	Width	Depth	Height	kW(1)	kW(2)
TINY-TRAD	490	530	665	N.A	11.0
PIONEER & PIONEER TRAD	590	530	665	14.6	14.4
PIONEER REAR OUTLET	590	530	660	N.A	N.A
X-TREME & X-TREME TRAD	670	575	715	17.7	14.2
ASPIRE & ASPIRE TRAD	670	575	715	19.8*	15.6
WEE-RAD	607	530	665	14.6	14.4
RAD	750	575	745	17.7	14.6
HI-OUTPUT INSERT FIREBOX	560	500	550	16kW estimated	
COMPACT INSERT FIREBOX	560	410	550	13kW estimated	
TRADITIONAL FASCIA	900	195	685	*Denotes tested with fan option	
V.E. & H.T. FASCIA	810	170	650		



CLEARANCE CHART		A	B	C	D	E	F*	G	H	I	J	K*	L	M
TINY-TRAD	With Flueshield	225	445	480*	305	25	100*	200	75	705*	650	920*	660	
	Without Flueshield	605	545		595	315		350	455	1085*		1320*	940	660
PIONEER & PIONEER TRAD	With Flueshield	200	595	480*	400	85	100*	300	50	680*	825	1045*	950	660
	Without Flueshield	530	595		595	280		300	430	1060*		1320*	1145	
PIONEER REAR OUTLET		N/A	565	N/A	N/A	100	100*	270	60	690*	825	1070*	965	660
X-TREME & X-TREME TRAD	With Flueshield	230	575	525*	455	110	100*	240	80	755*	905	1165*	1065	740
	Without Flueshield	800	575		595	250		240	650	1325*		1365*	1205	
ASPIRE & ASPIRE TRAD	With Flueshield	230	575	525*	455	110	100*	240	80	755*	905	1165*	1065	740
	Without Flueshield	600	575		595	250		240	650	1325*		1365*	1205	
WEE-RAD	With Flueshield	200	555	480*	400	80	100*	250	50	680*	825	1045*	950	660
	Without Flueshield	580	555		600	280		250	430	1060*		1320*	1145	
RAD	With Flueshield	230	575	525*	455	80	100*	200	80	755*	905	1165*	1065	740
	Without Flueshield	800	575		625	250		200	650	1325*		1365*	1205	

*To comply with AS2918:1990 add 100mm to hearth projection measurements C, E, I and K.
 Note: With Flueshield, clearances are tested with Pioneer's double flueshield.

Pioneer Manufacturing Limited
 Mamaku Street, PO Box 11,
 Inglewood, New Zealand
 Phone 06 756 6520 Fax 06 756 6540
 www.woodfire.co.nz
 email info@woodfire.co.nz



Heating & Controls Limited
 12 Hall Lane (off Norton Rd)
 Frankton, HAMILTON
 Ph 847-1179 fax 846-1159

PLEASE ENSURE YOU MAKE AN APPOINTMENT

Bl. X

OFFICE USE ONLY

APPLICATION NUMBER:

2000 / 425

PROPERTY ID:

Parcel 12434

VALUATION No:

Hamilton City Council



APPLICATION
For a building consent or
Project information memorandum or
For building consent only

(in accordance with
project information memorandum #

CITY
OF
HAMILTON

Project location:

Street Number 18 B Street Name Breckons Avenue

LOT(S)

5

Flat C

SITE AREA

400

m²

DP\$

9804 89572

PROJECT:

floor area (m²)

New building

12330

Alteration/addition

Relocation

Demolition

Other _____

Intended life:

Indefinite but not less than 50 years

Specified as _____

years

Description of work:

New Dwelling
4 Bedrooms

Intended uses:

Residential

Estimated value (incl GST): \$ 65,000

OWNER:

Name

Habitat for Humanity

Postal address

P.O. Box 8075

Hamilton

Phone day:

843-4999

night _____

Cellphone

025 200 1860

Fax 843-4999

CONTACT (if not owner):

Name

Marilyn Pemberton

Postal address

P.O. Box 8075

Hamilton

Phone day:

843-4999

night _____

Cellphone

025 200 1860

Fax 843-4999

DECLARATION:

Signed for or on behalf of the owner

Print Name

M. Cunningham

Signature

[Signature]

Date

13/12/2000



Hamilton City Council

Municipal Offices, Garden Place, Private Bag 3010, Hamilton
Tel 07-838-6444. Fax 07-838-6684



1415



FOR OFFICE USE ONLY

FEES PAYABLE:

Building Consent	\$ 819 819
Project Information Memorandum	55
Code Compliance Certificate	55
BRANZ Levy	65
BIA Levy	42.25
Photocopying	49.45
Microfilming	40
Structural Check	
External Consultants Check	
Crossing Administration	
Planning Bond	
Reserves Contribution (Residential)	
Reserves Contribution (Commercial)	
Water Main Connection	
Water Connection (A)	
Water Connection (B)	
Water Connection (C)	
Water Disconnection	
Backflow Device	
Backflow Inspect/Permit Fee	
Sanitary Connection	
Stormwater Connection	
Sanitary Disconnection	
Stormwater Disconnection	
CCTV Survey Sanitary	
CCTV Survey Stormwater	
Kerb & Channel Connection	
Cellar Indemnity	

Total Fees (including GST). \$ 1175.70

BUILDER:

 Address: _____

 Fax _____
 Phone - day: _____
 - night _____
 Reg # _____

PLUMBER:

 Address: _____

 Fax _____
 Phone - day: _____
 - night _____
 Reg # _____

DRAINLAYER:

 Address: _____

 Fax _____
 Phone - day: _____
 - night _____
 Reg # _____

CONSENT ISSUE AUTHORITY:

Receipt # 334007
 Date of issue 20/3/00
 Authorised by *[Signature]*
 Date authorised 20/3/2000

REFERRALS:

	Sent	Returned
Structural		

CONFIDENTIALITY

You have the option to request confidentiality for reasons of building security and copyright. Please ask the Building Review Officer you are dealing with for further information.



CORRESPONDENCE

I/we, the applicant, acknowledge that all correspondence is to be directed to:
 myself/ourselves
 my/our agent whose responsibility it is to forward all council documentation as received as appropriate.

BUILDING CONSENT 2000/425
EXTERNAL REF: 425/2000

18~~9~~ Breckons Avenue
18b - Flat C.

A CD ACCOMPANIED THIS APPLICATION FOR

CCTV INSPECTION OF SEWER AND STORMWATER 18C & D BRECKON
AVE

*Need to
check CD to see if relates to
this consent*

PLUMBER:- CF REESE

C.D FILED IN STRONGROOM WITH C.D'S SCANNED IMAGES

(C/S?)

INSPECTIONS AMENDMENT

20 May 1997

PROPERTY ADDRESS: 186 C BRECKON AVENUE 18 B HW	CONSENT NUMBER: 425 186 2000
--	---

COMPLETED

LEGAL DESCRIPTION: LOT 5 DPS 9804	DATE ISSUED: 20/3/00
--------------------------------------	-------------------------

OWNER: Habitat For Humanity 025 200 1840	BUILDER:	DESCRIPTION OF WORK: New 1/2 Bedroom Dwelling
--	----------	---

BUILDING INSPECTIONS					PLUMBING & DRAINAGE INSPECTIONS				
	IGN	DATE	APPROVE	DATE		IGN	DATE	APPROVE	DATE
Siting	<i>[Signature]</i>	12.7.02	<i>[Signature]</i>		Concrete Floor				
Foundation	<i>[Signature]</i>	12.7.02	<i>[Signature]</i>		Pre-lining	<i>[Signature]</i>	4/4/00	<i>[Signature]</i>	
Bond Beam					Waste & Soil	<i>[Signature]</i>	8/2/00		
Concrete Floor					AP Int		8/18/00	<i>[Signature]</i>	
Pre-lining	<i>[Signature]</i>	4/4/00		4/4/00	Foulwater				
Fire Protection	<i>[Signature]</i>	02.04.2000		04/08	Stormwater	<i>[Signature]</i>	27/05/00	<i>[Signature]</i>	
Other (Specify)					Heater				
Crossing					Other (Specify)				
Crossing Final					Completion	<i>[Signature]</i>	23/12/00	<i>[Signature]</i>	
Footpath Damage					DRAINLAYER:				
Completion	<i>[Signature]</i>	23/12/00	<i>[Signature]</i>		PLUMBER:				
COMMENTS					COMMENTS				
Walls and ceiling insulation to be provided. No windows fitted at time of inspection 1/11/2000					No state requirement				
CCC inspecting Refer check list LAW 19.11.02					* Main S/Water line only.				



Hamilton City Council

Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hcc.govt.nz

**Code Compliance Certificate
No 2000/425**

Section 43(3), Building Act 1991

Issued by **Hamilton City Council**

Building Consent ref: 2000/425

Historic ref: 425/2000

Date: 04 January 2006

Applicant: Habitat for Humanity Waikato Ltd
Mailing Address: P O Box 5775
HAMILTON 2031

Application Lodged: 01/03/2000

Project:
Application Description: New 4 bedroom Dwelling
Intended Use: Detached Dwelling - Live As A Family
Work Type: New Construction
Intended Life: >50 years
Value of Work: \$65000

Property:
Address: 18 Breckons Avenue HAMILTON 2001
Property Reference: LOT: 5 DP: 9804

This is:

- A final code compliance certificate issued in respect of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This Certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No. 2000/425" (being this certificate)

Signed for and on behalf of the Hamilton City Council: *M. Carter*

.....
MARTENS

Name: *S. L. 2006*

Position: Authorised Officer

Building Control Unit

Building

PROPERTY ADDRESS: 18 B Breckons Ave
LOT: 5 DP/S: 9804 CONSENT NO: 425-2000

Approved Building Consent documents on site
 Check sheet number on letter box

EXTERIOR

External envelope complete and weatherproof
 Flashings/sealants complete
 Wet area/kitchen vents
 Safety glass
 Ground/paving heights
 Crossing and footpath for damage
 Brick veneer weep and ventilation holes
 Exterior decorated
 Weathering of penetrations
 Construction of decks/steps/handrails etc
 Barrier heights and construction
 Sub floor access/ponding/ventilation/insulation
 Roof cladding/flushing fixings/roof penetrations
 Landscaping complete
 Roof pitch for cladding used
 Wall cladding fixings/soakers/scribers etc
 Fire ratings

INTERIOR

Ceiling and wall insulation in place
 Ceiling insulation clear of light fittings
 Fire ratings stopped
 Correct installation of shower/bath linings, splash boards etc
 Safety glass
 Shower curtain/screen
 Wet areas completed, walls, ceilings, timber floors sealed
 Bathroom, ensuite, wc, laundry, kitchen vents ducted to exterior
 Heights of window sashes
 Heights of barriers and handrails/details
 All inspections have been completed
 All producer statements have been received

COMMERCIAL

Surface finishes, smoke development and spread of flame for ceilings, walls, floor coverings
 Stopping of fire walls and penetrations
 Penetrations/light fittings/fire collars etc
 Means of escape, door hardware, signage
 Fire ratings
 Fire and smoke doors: hardware, tags, self closers/magnetic hold open device and signage
 Signage: fire alarm
 Check off Compliance Schedule checklist in consent jobcard and request Producer Statements for all features

ACCESSIBILITY

ACCESSIBLE CARPARK easy to see, marked out, close to entrance, surfaces non slip
 FOOTPATH/RAMPS non slip, width, length, upstands, handrails, kerb ramps 1000 wide
 ENTRANCE signage, threshold, width, floor surfaces
 PUBLIC RECEPTION counters or desks
 LIFT sizes, controls, handrails, lobby width
 STAIRS width, handrails, landings, treads, nosings
 DOORWAYS/CORRIDORS Clear width, glazing, colour contrasted, projections into corridor
 ALERTING DEVICES audible and visual signal
 TOILET size, controls, doors, wash hand basin, tops
 SHOWERS size, controls, door/s
 LAUNDRERING size and turning circle
 SIGNAGE entrance floors, information board and facilities signage
 SURFACE FINISHES stable firm and non slip
 PLACE OF ASSEMBLY spaces, sound system, stage podium access, listening system (more than 250 persons)
 SIGNAGE for listening system
 ACCESSIBLE ROUTE car parks, identifiable route from street to and through building, surface finishes stable firm and non slip

COMMENTS: ① Bear Joist connections
② seal pipework penetrations at Sac H W unit
③ Raise gully traps As laid drainage
Plan No sewer inspections
Larry Still drainage Bob Frager Plumber

Further Inspection Required Approved

Inspector: [Signature] Date: 19.11.02

Building

 **Hamilton City Council**
Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand
Phone 07 838 6699
www.hcc.govt.nz

20 March, 2000

Merilyn Pemberton
PO Box 8075
Hamilton

Dear Sir/Madam

PROJECT INFORMATION MEMORANDUM (PIM) AND CONDITIONS OF BUILDING CONSENT APPLICATION 425/2000, FOR THE PROPOSED CONSTRUCTION OF A NEW DWELLING, AT 18C BREKONS AVE, HAMILTON.

Please note that because you have applied for a Project Information Memorandum (see Part A) and a Building Consent (see Part B) together, all the information will appear in this letter.

I wish to advise that the above project information memorandum/building consent has been approved and upon receipt of fees and charges itemised on the attached tax invoice, a building consent will be issued. If you have any queries or problems please contact Bryce Keogh on 838 6509.

Please Note: Approved plans must be uplifted from Council **WITHIN 1 MONTH FROM THE DATE OF THIS NOTICE**. If you do not uplift your plans within 1 month your application will be cancelled and the plans returned to you.

**FOR ALL INSPECTIONS PHONE 838 6677, 8.00AM - 5.00PM
APPROVED CONSENT DOCUMENTS ARE TO BE ON SITE AT ALL TIMES DURING
CONSTRUCTION**

Yours faithfully


Bryce Keogh
Building Review Officer

Municipal Offices
Garden Place, Hamilton
Phone (07) 838 6444
Fax (07) 838 6684

PART A

PROJECT INFORMATION MEMORANDUM COMMENTS

PLANNING

LEGAL DESCRIPTION: Lot: 5 DPS: 9804
ZONE: Residential Low
UNDERLYING ZONE:
ACTIVITY TYPE:
PLANNING APPLICATION: Not required
FILE NO:

COMMENTS: Condition of resource consent 1999/75 apply on a continual basis.

HEALTH

- No known information on record that will affect this building project.

ROADS & TRAFFIC

- Any damage to the Council grassed verge outside your property resulting from construction works, that is a repair cost to Council, will be charged to the person responsible or the property owner.

WATER SUPPLY

- Please find attached logs showing the size and position of watermain

DRAINAGE

- Please find attached logs showing the size and position of drains.

PLUMBING & DRAINAGE

- All foulwater and stormwater drains to be laid in accordance with the New Zealand Building Code Documents E1 and/or G13 and/or AS/NZS 3500.
- Please ensure compliance with G12 and H1 of the Building Code Hot Water Supplies.

BUILDING

- Please ensure boundary pegs and boundary lines are clearly defined to check siting of building.
- All work to comply with the New Zealand Building Code.
- Wind Zone is rated as Low
- The Earthquake Zone for your area is designated as B.

STRUCTURAL

- No known information on record that will affect this building project.

PROJECT INFORMATION MEMORANDUM NO: 425/2000
Section 31, Building Act 1991

ISSUED BY HAMILTON CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents.)

<p>OWNER Habitat for Humanity PO Box 8075 Hamilton</p>	<p>PROJECT New Intended Use(s) (in detail): Residential\</p>
<p>PROJECT LOCATION 18C Breckons Ave HAMILTON</p>	<p>This is: Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.</p> <p>Not yet applied for No: 425/2000 attached Not yet issued <input type="checkbox"/></p>
<p>LEGAL DESCRIPTION Lot: 5 DPS: 9804</p> <p>Property ID Number: Valuation Number:</p> <p>Intended Life: Indefinite, but not less than 50 years</p>	<p>Or: <input type="checkbox"/> Notification that other authorisations must be obtained before a building consent will be issued.</p> <p>Or: <input type="checkbox"/> Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.</p>
<p>This project information memorandum includes <i>(cross each applicable box, attach relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings):</i></p> <ul style="list-style-type: none"> <input type="checkbox"/> Information identifying relevant special features of the land concerned. <input type="checkbox"/> Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings. <input type="checkbox"/> Details of relevant utility systems. <input type="checkbox"/> Details of authorisations which have been granted. <input type="checkbox"/> Details of authorisations which must be obtained before a building consent will be issued. <input type="checkbox"/> Details of authorisations which have been refused 	

Signed for and on behalf of the Council:

Name: 

Date: 20 March, 2000

Please note that the Project Information Memorandum lapses if a Building Consent for the work concerned has not been issued within 24 months after the date of the issue of the Project Information Memorandum.

Please check with your Local Network Utilities Operator as to where your services are located, i.e. Telecom, WEL Energy and the Gas Centre.

PART B

BUILDING CONSENT CONDITIONS

ROADS & TRAFFIC

- Crossing to be constructed to a minimum residential crossing specification.
- Please call for inspection of prepared base for crossing. Please give 24 hours notice.
- Please note that the final inspection for crossing will be carried out at code compliance certificate time.

PLUMBING & DRAINAGE

- Inspection of foulwater drains required. Please provide 24 hours notice.
- Inspection of stormwater drains required. Please provide 24 hours notice.
- Pre line inspection of plumbing installation required. Please give 24 hours notice.

BUILDING

- Please quote Building Consent number when requesting an inspection.
- A foundation/siting inspection required. Please provide 48 hours notice.
- All driving of piles to be overseen by a registered engineer.
- A pre-lining inspection required. Please provide 24 hours notice.
- From boundary to building, on site plan, are to be taken from the edge of the guttering system, for internal gutters and the fascia board for external guttering systems.
- Ground levels to comply with NZS 3604 appendix E 2.1.
- Completion inspection required prior to issue of interim or final code compliance certificate. Please make application of inspection on the appropriate form, included in your Building Consent.

Please note that if the work has not commenced within 6 months or if there is a lack of reasonable progress within 12 months then your building consent will lapse.



**Habitat for
Humanity
Waikato**

12th December 2005

Mr P Martens
Co-ordinator Building Inspector
Hamilton City Council
Private Bag 3010
Hamilton

REC

14 DEC 2005

HAMILTON CITY COUNCIL

Dear Peter

Re: Building Consent 425/2000

On 23rd August 2005 you sent a letter to our office requesting that the following items were outstanding on this building consent for 18C Breckons Avenue, Hamilton
F.H.C.

1. Require bearer joist connections
2. Seal pipe work penetrations to gas hot water unit
3. Raise gully traps

I wish to advise that the work has now been completed and request that a final inspection is done by your staff so that the Certificate of Compliance can be issued.

I apologise for the time that this has taken us to complete the required tasks and thank you for your patience.

Yours faithfully

Shirley Bennett
Family Support

 **Hamilton City Council**

Te kaunihera o Kirikiriroa

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
Fax 07 838 6599

info@hcc.govt.nz
www.hcc.govt.nz

23 August 2005

Habitat for Humanity Waikato
C/- Wayne Cunningham
P O Box 5775
Hamilton

Dear Wayne

18 A, 18 C, 18 D BRECKONS AVENUE HAMILTON

Thank you for the additional information you have provided on the above dwellings. We can advise that our records show that the following items still need to be addressed before we can issue the Code Compliance Certificate on each dwelling:

18 A Breckons Avenue - Building Consent 1697/2000

1. Raise two gully traps.

18 C Breckons Avenue - Building Consent 425/2000

1. Require bearer joist connections.
2. Seal pipe work penetrations to gas hot water unit.
3. Raise gully traps.

18 D Breckons Avenue - Building Consent 424/2000

1. Confirm safety glass to bathroom.
2. No pre-line building inspection called for.

Once you have completed or addressed the above issues, please phone our call centre on: 838 6677 and arrange a recall final inspection. Should you have any queries in regard to the above, please feel free to contact the writer.

Yours faithfully



Peter Martens
Co-ordinator Building Inspector

Municipal Offices
Garden Place, Hamilton
Phone 07 838 6687 / Mobile: 021 751 505
Fax 07 838 6684
Email martenp@hcc.govt.nz

RECEIVED

Building



Te kaunihera o Kirikiriroa

9 March, 2000

Private Bag 3010
Hamilton
New Zealand

Phone 07 838 6699
www.hcc.govt.nz

Habitat For Humanity (Ham) Ltd
P O Box 8075
HAMILTON
2015

Dear Sir/Madam

Building Consent / Project Information Memorandum (PIM) Application Number 425/2000, For The Proposed Construction Of A New 5 Bedroom Dwelling, At 18 Breckons Avenue Hamilton.

Request For Further Information

In reference to the above application, further processing can only be carried out when the following information is supplied in duplicate or amended on the plans held at Council. If you have any problems or queries please contact the under signed.

PLEASE NOTE: If you do respond as requested within 1 month from the date of this notice your application will be cancelled and your application returned to you.

Building

Please confirm the invert levels for the proposed sewer drain and provide a longitudinal drainage plan.

Please provide a registered engineers producer statement and letter of observation for the sub-floor foundations.

Yours faithfully

A handwritten signature in black ink, appearing to read 'BJ Keogh'.

Mr BJ Keogh
Private Bag 3010
HAMILTON
2001
07 838 6509

BUILDING CONSENT / PIM SHEET / CONSENT NO _____ /2000		w/hel	Issue														
YES NO HEALTH <input type="checkbox"/> <input checked="" type="checkbox"/> contaminated site			✓														
ROADS AND TRAFFIC P79			✓														
WATER <input checked="" type="checkbox"/> <input type="checkbox"/> water connection <input type="checkbox"/> <input checked="" type="checkbox"/> water disconnection <input type="checkbox"/> <input checked="" type="checkbox"/> backflow device <input checked="" type="checkbox"/> <input type="checkbox"/> green sheet sent			✓														
DRAINAGE <table border="0"> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> TV Required</td> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Disconnections</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> drainage contacted</td> <td><input type="checkbox"/> <input checked="" type="checkbox"/> foulwater</td> </tr> <tr> <td></td> <td><input type="checkbox"/> <input checked="" type="checkbox"/> stormwater</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Connections</td> <td><input checked="" type="checkbox"/> green sheet sent</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> foulwater</td> <td></td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> stormwater</td> <td><input type="checkbox"/> <input checked="" type="checkbox"/> K & C connection</td> </tr> <tr> <td><input type="checkbox"/> <input checked="" type="checkbox"/> Green sheet sent</td> <td><input checked="" type="checkbox"/> green sheet sent</td> </tr> </table>		<input type="checkbox"/> <input checked="" type="checkbox"/> TV Required	<input type="checkbox"/> <input checked="" type="checkbox"/> Disconnections	<input type="checkbox"/> <input checked="" type="checkbox"/> drainage contacted	<input type="checkbox"/> <input checked="" type="checkbox"/> foulwater		<input type="checkbox"/> <input checked="" type="checkbox"/> stormwater	<input type="checkbox"/> <input checked="" type="checkbox"/> Connections	<input checked="" type="checkbox"/> green sheet sent	<input type="checkbox"/> <input checked="" type="checkbox"/> foulwater		<input type="checkbox"/> <input checked="" type="checkbox"/> stormwater	<input type="checkbox"/> <input checked="" type="checkbox"/> K & C connection	<input type="checkbox"/> <input checked="" type="checkbox"/> Green sheet sent	<input checked="" type="checkbox"/> green sheet sent		✓
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<input type="checkbox"/> <input checked="" type="checkbox"/> stormwater	<input type="checkbox"/> <input checked="" type="checkbox"/> K & C connection																
<input type="checkbox"/> <input checked="" type="checkbox"/> Green sheet sent	<input checked="" type="checkbox"/> green sheet sent																
PLUMBING 16, 17, 18 P20, 21. <i>Please provide long section drainage</i>			✓														
BUILDING <input type="checkbox"/> <input checked="" type="checkbox"/> soils checked <input type="checkbox"/> <input checked="" type="checkbox"/> account invoices sent to finance 1, 2, 5, 7, 9, 15 P6, 13, 15e, 15f <i>Engineer to supervise all piling</i> <i>Please supply engineer design.</i>			[Signature] 20/3/2000 21/3/2000														

(Land and Deeds - L)

NEW ZEALAND

PUBLIC LAND OFFICE

Vol. 315, folio 123
Strata No. 371097
Application No.
Order for H/O No.



Register Book
Vol. 016, folio 102.

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

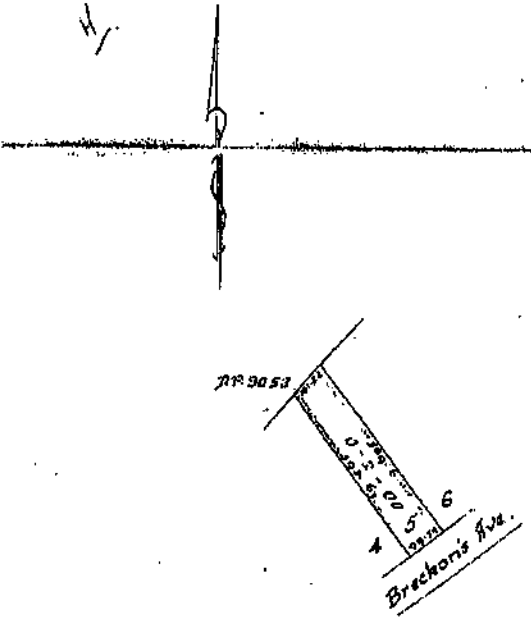
This Certificate, dated the twentieth day of July 1972 one thousand nine hundred and forty-four
under the hand and seal of the District Land Registrar of the Land Registration District of AMPTON that
JOHN RICHARD WIDDLETON of Frankton Junction, Labourer,

is holder of an estate in fee simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial under written
or endorsed hereon; subject also to any existing right of the Crown to take and lay off roads under the provisions of any Act of the General Assembly
of New Zealand) in the land hereinafter described, to the same is delineated by the plan hereon bordered green in the several subdivisions
a little more or less, that is to say: All that parcel of land containing two roods four poles or less being lot five (5) on a plan
deposited in the Land Registry Office at Auckland on No. 9001 (Town of Hamilton, Extension No. 37) and being portion
of Allotment 62 of the Parish of Rukohu.



Assistant District Land Registrar

The provisions of sections 16 and 17 of the Land Act
1908, are applicable to the above-described land.



Scale - 2 Chains to an Inch.
S.S.P. Div.
R.

2. 0.7.19. Memorandum to Land Registrar
Ampton, Hamilton, under and before
District Land Registrar, Auckland
Planning Officer, Council of Hamilton
Hamilton 20.2.20

Transfer of land to
Joseph Thomas, William Patrick McCallister
and Mary Mary Helen & Peter Henry
children of William, Builder - produce
20.3.1972 at 11.30 am

Transfer of land to
Violet Mary White to
Narcissus Allatt of Hamilton, Trades
Mechanics, produce at 11.9.46 at 10.30 am

Transfer of land to
Lester Mary Margaret & Frances
daughters of William, produce
20.10.37 at 11.30 am

Mortgage 30917
Narcissus Allatt to
Lester Mary Margaret & Frances
produce at 11.9.46 at 10.30 am

5.574724 Transfer to Joyce May Ken of Hamilton married
woman produced 25.10.1972 at 11.30 am

[Handwritten signature]

(1034)

5.970225 Mortgage to [unclear] produced
25.10.1972 at 11.00 o/c
D.501659 Transfer to Eileen Vera Shadbolt of
Hamilton school teacher produced 1.3.1973 at 12.00
o/c

5.593606 Mortgage to The [unclear] Bank
produced 1.3.1973 at 12.00 o/c
H.055914 Mortgage to [unclear] Corporation of New
Zealand produced 1.3.1973 at 1.50 o/c

R.201300 Evidence of the marriage of Eileen Vera Shadbolt to
Vernon Edward Miller of Hamilton cabinetmaker entered 19.10.1978
at 11.07 o/c

H.108107.2 Mortgage to [unclear] Bank produced 26.7.1981 at
2.33 o/c

R.201202 Transfer to Vernon Edward Miller retired and Eileen
Vera Miller married women both of Shells Beach - 20.8.1980 at
1.11 o/c

M.4002.1 Transfer to Donald Ross Nicholson, Susan Gregory
and Ernest Ross Hedden

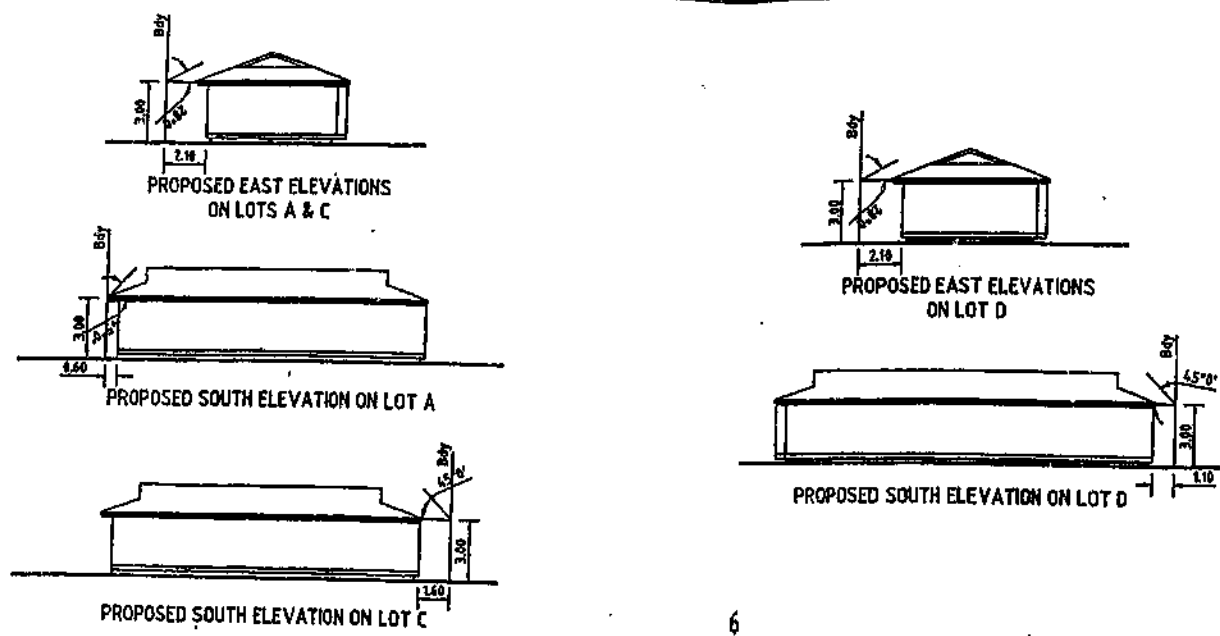
M.4002.2 Mortgage to Westpac Banking Corporation
at 10.6.1980 at 1.24

M.50454.2 Transfer to Habitat for Humanity (Hamilton) Limited

M.50454.1 Mortgage to ANZ Banking Group (New Zealand) Limited

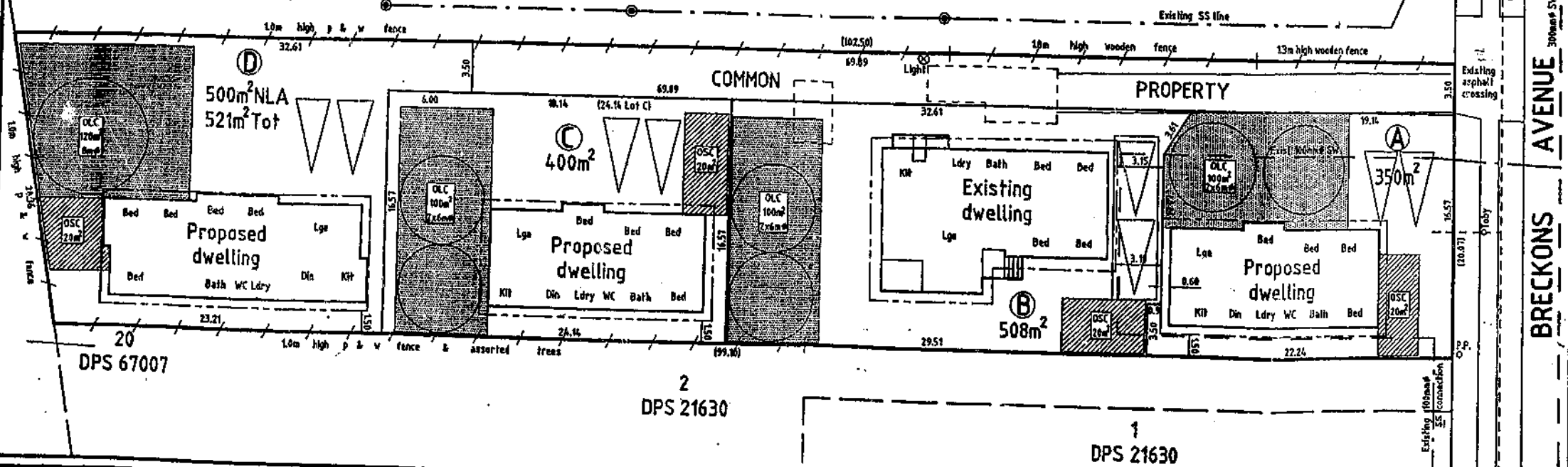
M.1 9.7.1999 at 17.72

SHO 2 E
10/10/73
10/10/73



KEY:
 Existing buildings to be removed.

6
 DP 41014



COPYRIGHT
 The information on this plan is the property of McPherson Goodwin Ltd (MGL). MGL acknowledges the supply of some base data from the relevant Local Authorities and L.I.M.Z. in the preparation of this plan.

NOTES:
 1. Areas and distances are subject to survey.
 2. Total CT area: 2023m²

PROPOSED SUBDIVISION AND LAND USE OF LOT 5 DP 9804
 Comprised in C.T. 818/102

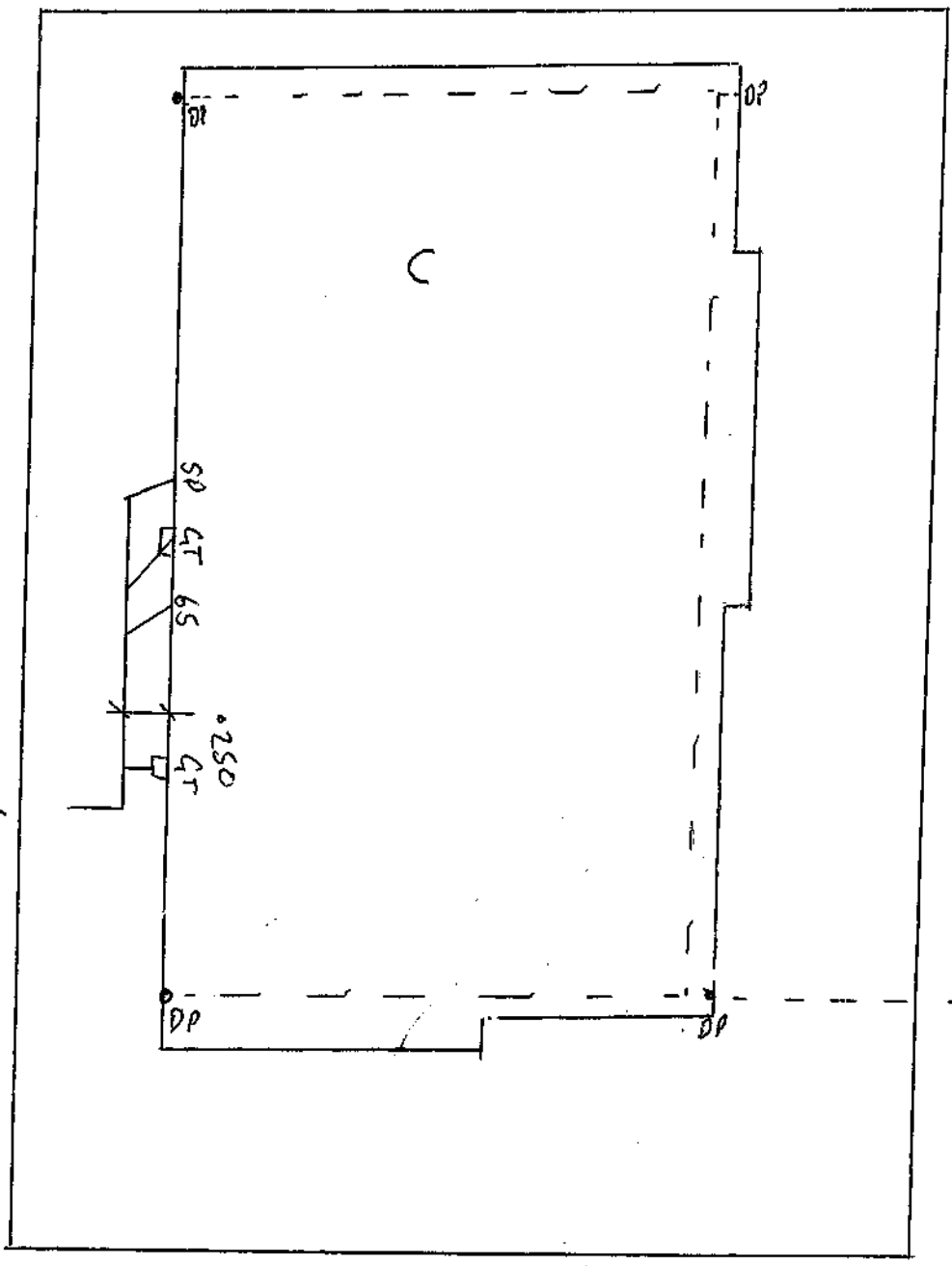
Prepared for: Habitat for Humanity Address: 18 Breckons Avenue, Hamilton

McPHERSON GOODWIN LTD.
 Surveyors - Land Engineers - Land Development, Resource Management and Town Planning Consultants
 7 HARDLEY STREET - HAMILTON - NEW ZEALAND P.O. BOX 9379
 Tel: (07) 839 1335 Fax: (07) 839 1292

Designer: D. J. Mackay Checked: H. J. Duncley
 Drawn: D. J. M. & H. S. Date: September, 1999 Scale: 1:200 Sheet 1 of 1
 Ref: 12719

McPherson Goodwin Ltd, VM79 031_071_5A_P14 Original sheet size A2 (540/420)

6.400





CITY OF HAMILTON

Hamilton City Council, Municipal Offices

TAX INVOICE

G.S.T. Inclusive. Reg. No. 11-174-531

HABITAT FOR HUMANITY - 20/3/00

		0000
PROJ INFO	425/2000	\$55.00
CONSENT	425/2000	\$819.00
BRANZ	425/2000	\$65.00
MICRO	425B2000	\$99.48
STRUCT	425/2000	\$40.00
CODE COMPL	425/2000	\$55.00
BLD AUTH	425/2000	\$40.00
G.S.T. total		\$115.70
Receipt 03	304007	Total \$1175.70
Paid by Che.	1175.70	20/03/00
HABITAT FOR HUMANITY		

With the Compliments of the Department of Finance
CASH RECEIPTING SECTION

Garden Place, Hamilton. Private Bag 3010

Telephone 838-6699

Quality Assurance Checklist For Checking Application (Major Buildings)

(Commercial / Industrial / New dwellings)

Please place a tick in the appropriate box



Application Form

- | | Yes | Office Use |
|--|-------------------------------------|-------------------------------------|
| 1. Please complete all sections: | | |
| - accurate valuations of works required | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| - correct legal description. (refer to your rates demand
and/or certificate of title) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| - owners name, address, telephone number, fax etc. | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| - contacts name address, telephone, fax (if not the owner.) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| - project location (street address) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| - declaration signed and dated | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

Note: A deposit will be required when you make your application,

- | | | |
|---|-------------------------------------|-------------------------------------|
| 2. A copy of a Certificate of title (this is available at the Land Information New Zealand cnr Victoria & Rostrevor St's, or a Copy or the 224(c) certificate for the subdivision. | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|-------------------------------------|-------------------------------------|

Plans

- | | | |
|---|-------------------------------------|-------------------------------------|
| 3. Two copies of each (for commercial and industrial a third copy included for consultants referral).
Note: If the value of the work exceeds \$100,000, or it involves a first/second floor addition, then an extra copy of the floor plans is required | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Drawings of good quality, to an appropriate scale of 1:100 (detail 1:50) (site plan 1:200) with metric dimensions. | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

Site Plan

Yes N/A

Office Use

- | | Yes | N/A | Office Use |
|--|-------------------------------------|-------------------------------------|-------------------------------------|
| 5. Show the total lot boundaries. If this is a large site, cross-lease or a unit title, use a locality plan to indicate the position within the site. Show the location of all existing and proposed buildings including accessory buildings and garages to an appropriate metric scale 1:200 or 1:100 etc and include a north point. | <input checked="" type="checkbox"/> | | <input checked="" type="checkbox"/> |
| 6. All measurements from the boundaries to "nearest parts" of proposed and existing buildings (where applicable) e.g. measurements from roof overhang (from the fascia board or edge of inbuilt guttering system). | <input checked="" type="checkbox"/> | | <input checked="" type="checkbox"/> |
| 7. Layout of existing and proposed internal sanitary and stormwater drains. Please include location of each drains connection to public mains. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 8. Invert levels of stormwater and sanitary sewers at connection point of private to public drains and distance from this connection point to the head of the drain. i.e. longitudinal drawing showing the level of the drain in relation to ground levels. This is to determine the gradient of the drain. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Example | | | |
| | | | |
| 9. Top of any bank shown and slope in relation to building. Distance from top of the bank to the building. Also height of bank. A soils report from a registered engineer may be required. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 10. Position, along boundary and width of proposed vehicle crossing. Also position and width of existing vehicle crossing/s. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. Car parking and vehicle circulation provisions (where required) drawn to scale. Mark street names on the plan, and indicate onsite manoeuvring. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

Yes N/A Office Use

Floor Plan

12. A floor plan of each floor level, including complete floor layout and use of each area. Floor areas in square metres should be shown on plans. Floor area, overall floor areas and overall roof areas should be dimensioned to an appropriate scale, e.g. 1:10 or 1:50

Elevations

13. An elevation of each external wall showing relevant heights from eaves to finished ground level at each external corner and land contours, existing and proposed.

Also, overall height of building (ground level to apex of roof).

14. Location of wall and roof bracing shown on elevations.

15. Opening window sashes shown on elevation.

Foundation Plans

16. For timber floors; location of piles, pile type, sub floor bracing, foundation walls and internal piling system where applicable

For concrete floors refer to "Cross Section Details" below.

17. For engineers specifically designed timber floor systems, please refer to "Specific Design" sections 34 & 35

Cross Section Details

18. Scaled cross section drawings (1:50 or better) through the building to show foundation details, floor system, wall, ceiling and roof construction. Where roof construction is not clear a roof truss/framing plan is also required.

19. Where position of beams, support and connections are not clear then this should be shown on the floor plans with a scale of 1:50 or 1:20 detail of connections.

	Yes	N/A	Office Use
20. Location and type of wall cladding and roof sheathing. For composite systems such as "Insulclad" this should be designated on cross-section and referenced in specification.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Construction details of terraces, steps, stairs (including internal/external) and barriers/balustrades.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Thermal insulation details including type and R. Value.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Foundation Bracing Calculations

23. Bracing calculations in an approved form such as "BRANZ" sheet and location of bracing elements shown on foundation plan. <u>Note</u> For one/two room additions the location, type and value of the bracing element will be sufficient.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	-------------------------------------	--------------------------	-------------------------------------

Fire Wall and Fire Rating Requirements

24. If using Hamilton City Council Standard Design detail, then please sign the detail and include with application.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
25. Approved fire rating system details included. e.g. Winstone Standard fire rating system. If specifically designed by an engineer then refer to "Specific Design" section 33 and 34.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. For commercial and industrial (including retail outlets, offices, etc) a philosophy of design detailing fire safety features and means of egress is to be supplied, including all compliance schedule features together with maintenance and reporting procedures (e.g. fire alarms, detection systems, HVAC etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Accessibility for Disabled Persons

- 27. Details of accessible route from the building fringe to and within the building. This will include: -
 - Parking and Signage
 - Main Entry
 - Passageways/Doorways
 - Stairs and Ramps
 - Ablution facilities
 - Lifts and moving walkways
 - Internal Signage

- 28. For multi level building or residential housing using AS /NZS 3500, isometric drawings of soil and waste system showing positions of all fittings and pipe sizing.

- 29. Multi level structures may be outside the scope of NZS 3604 design. Refer to the **Specific Design** Sections 32 and 33

Compliance Schedule Items

- 30. Complete if your building is a new commercial , a commercial change of use, or any building intending to have the following systems installed. Please cross each applicable box and attach proposed inspection, maintenance and reporting procedures for each of the following:
 - Automatic sprinkler systems or other systems of automatic fire protection
 - Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
 - Emergency warning systems for fire or other dangers.
 - Emergency lighting systems
 - Escape route pressurisation systems
 - Riser mains for fire service use

	Yes	N/A	Office use
-Any automatic back-flow preventer connected to a potable water supply.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Lifts, escalators, travelators or other similar systems.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Mechanical ventilation or air conditioning system serving all or a major part of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Building maintenance units for providing access to the exterior and interior walls of buildings.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Such signs as are required by the building code in respect of the above mentioned systems	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
31. Other systems and features to be included in the Compliance Schedule with attached proposed inspection, maintenance and reporting procedures:			
-Means of escape from fire.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Safety barriers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Hand held hoses for fire fighting.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-Such signs as are required by the New Zealand Building Code for the above mentioned systems.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Yes No Office use

Specifications

32. The use of "Standard" type specifications is not recommended. The specification should be "Project Specific" i.e. appropriate to the building construction. This should be laid out in easily followed sections covering methods and materials that are not included in the building plans, e.g. pipe work materials. Don't forget that Standard Specifications are often lengthy when designed to cover a multitude of situations and

more paper means more cost to you.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	-------------------------------------

Specific Design

33. We have a "Peer Review" system in place and your engineer may utilise this facility. (Please check with your engineer) You may alternatively provide engineer's Producer Statement (Design), calculations, and letter of observation for checking by Council Engineers. (This would be at cost based on an hourly rate).

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	-------------------------------------

34. Engineers drawings in line with the works covered by their design.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	-------------------------------------

Reviewer



Date


10/3/2000

STREET CROSSING APPLICATION

	Yes	No	Office use
35. Do you wish to construct a new crossing? Residential: minimum 3.0m, maximum 5.5m Commercial / Industrial: minimum 5.0m, maximum 7.5m	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
36. Width of new crossingm Distance from left hand boundary - looking from the roadm			
37. Have you shown the position and dimension of the new crossing on the site plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
38. Have you provided the crossing contractors name, phone number and evidence of Public Liability Insurance? Contractor: Address: Ph/Fax:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
39. Is there a footpath outside the site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
40. Is the footpath damaged? Record the area damaged:metres square	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
41. Is this project on an arterial route?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Please note:

- i. The owner is responsible for the damage to the footpath and verge resulting from building activities and the construction of the street crossing.
- ii. Crossing shall be constructed as per the standards in the Hamilton City Council Code of Practice for Urban Land Development. (A plan for construction details is available)
- iii. The Code Compliance Certificate will not be issued until both footpath and crossing are free of defects and complete.
- iv. 24 hours notice at the completion of excavation, but before the pavement construction, shall be given to the Inspectors (ph. 838 6677)
- iv. Contractor required to be on site at the time of first inspection.
- v. If footpath damage (6) is marked 'yes' then a council officer will inspect and confirm damage and area of damage before the commencement of construction.

Reviewer  Date 20/3/2000

Consent No. 425/2000

Street Address.....

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

1202/1 Victoria Street
P.O. Box 9123
Hamilton New Zealand
Facsimile 07 839 3125
Telephone 07 838 3119
e-mail: geocon@voyager.co.nz

PRODUCER STATEMENT - PS1 - DESIGN (HCC MODIFICATION)

Issued by: Mark T Mitchell, Consulting Geotechnical Engineer
Issued to: (Owner): *Habitat for Humanity*
To be supplied to: (TA): *Hamilton City Council*

In respect of: (Building Work): Construction of Foundations only

Located at: . .No. 18C Breckons Avenue, Hamilton

Mark T Mitchell, Consulting Geotechnical Engineer has been engaged by
- *The Builder, Wayne Cunningham*
to provide Design and Construction Inspection Services in respect of relevant clauses of
the Building Regulations 1992 for the part only as specified below for the building work:

The following specific design elements have been considered:
- *Building Subfloor and Driven Timber Piles:* Mark T Mitchell Ltd Drawing No. 5106-10
dated March, 2000


The following specific design elements have not been reviewed:
- *Wall, Roof and above- floor components*

Structure Class 
Verification Level 
Verification to be carried out by: *(not required)*

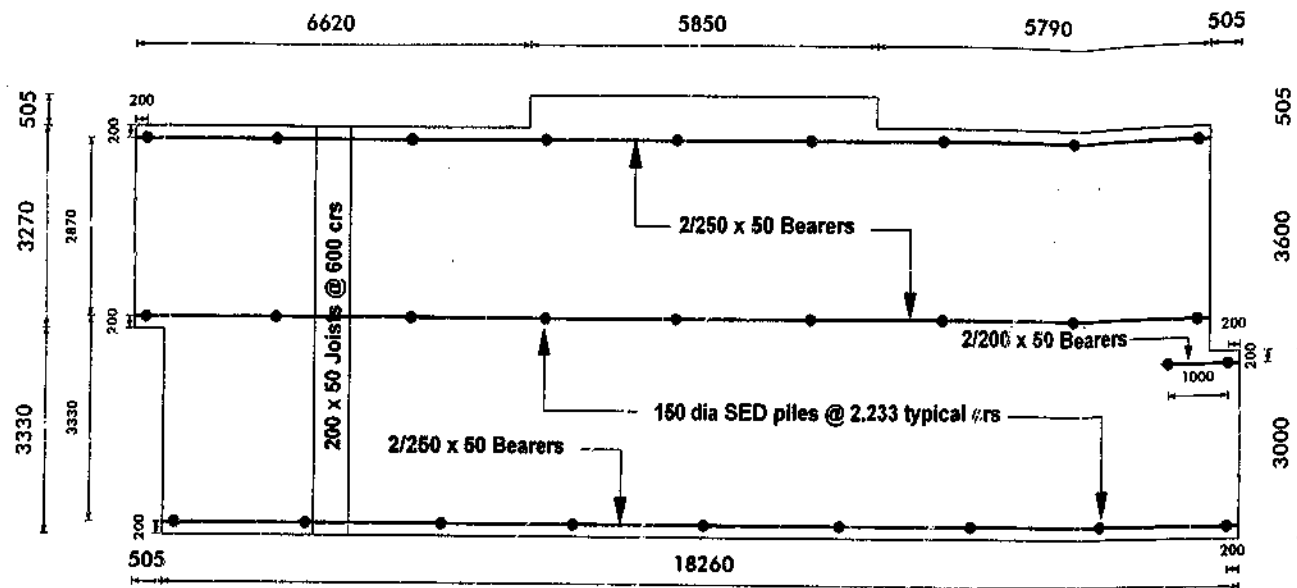
The design has been prepared in accordance with acceptable solutions of the approved documents issued by the Building Industry Authority and the Design Code(s) as listed below and the work is as outlined on attached specifications (where appropriate), and described on the Drawings which are listed above

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

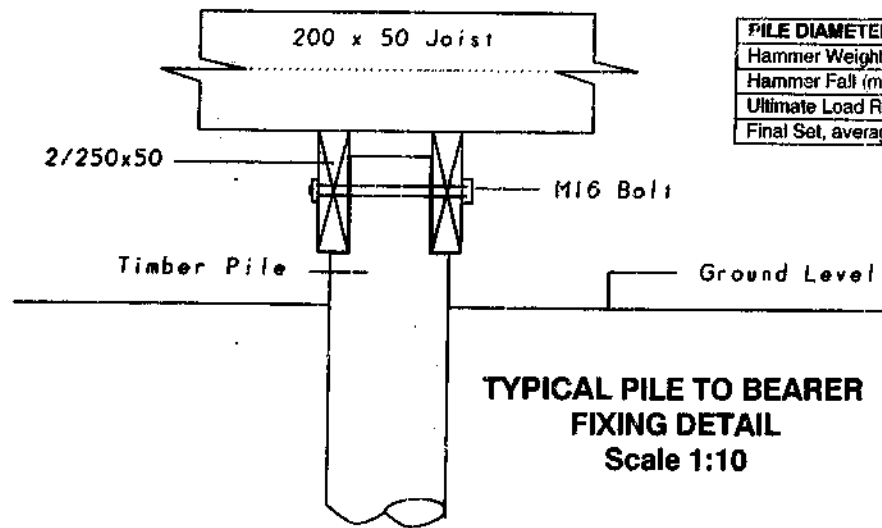
- (i) the site verification of the following design assumptions: .
NZS 3603:1999 Code of Practice for Timber Design
Soil Conditions as reported in Geocon Soil Testing Ltd Soils Report
dated 25 November, 1999 and Mark T Mitchell Ltd report dated 23 February, 2000
and
- (ii) all proprietary products meeting the performance specification requirements, the drawings, specifications and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.

Signed: 
Mark T Mitchell, BE(Civil), MS, MIPENZ
(Member ACENZ, IPENZ; ERB Reg. No 4874)

Date: *15 March 2000*



FOUNDATION PLAN
Scale 1:100



**TYPICAL PILE TO BEARER
FIXING DETAIL**
Scale 1:10

PILE DIAMETER = 150mm S.E.D.				
Hammer Weight	500 kg		610 kg	
Hammer Fall (mm)	500	1000	500	1000
Ultimate Load Ru (kN)	55	55	55	55
Final Set, average, last 10 blows (mm)	18	42	24	53

NOTE:

Reduction of pile spacing to 1.98m allows for reduction in Ru to 50kN but bearer size remains at 2/250 x 50

PILE DRIVING SPECIFICATION - DRIVEN TIMBER PILES

1. MATERIALS

All timber poles and piles shall be Corsican or Radiata Pine or other species, provided they are permitted by the appropriate standard. They shall be milled and treated in accordance with NZS 3605:1977 "Load Bearing Round Timber Poles and Poles". The minimum small end diameter (SED) shall be as shown on the drawings.

2. TIMBER PRESERVATIVE

The piles shall be treated in accordance with the NZ Timber Preservation Authority Specification C2B. Where Housing Corporation or other NZ Government related financing is involved, preservative testing shall be carried out to their requirements. All cut faces and notches, including the top of the piles, shall be coated with two liberal coatings of "Ensele" (Pentachlorophenol) or "Metalax" (Copper Naphthenate). The faces of other timbers in contact with the piles shall be treated in a similar fashion.

3. TEST BORES AND PROBES

Test borings have been taken at the site, and a soils investigation report, which includes the results of the test borings and their respective locations, is available for inspection at the Engineers Office and at that of the principal Contractor/Owner of the project. Contractor must make their own appreciation of driving conditions and quote accordingly.

4. SETTING OUT

The Contractor shall be responsible for all setting out. The piles shall be set out and placed to a tolerance of 20mm at the top of the pile and shall be true to line over the remainder of their length.

5. PILE DRIVING EQUIPMENT

The plant to be used for pile driving is to be approved of by the Engineer. The monkey shall be designed so that it falls freely under its own weight from the height as specified and is positioned centrally over the pile. The height of drop shall be clearly marked and readily identified during driving.

6. PILE DRIVING

The piles shall be driven to the Hiley Formula; where alternative methods or formula are to be used, they are to be approved of by the Engineer prior to the commencement of driving. Refer to the attached table for pile driving requirements.

7. LOAD TESTING

No allowance is made for test loading of piles. Should there be any evidence of faulty workmanship, the affected pile shall be load tested by the Contractor at his own expense.

8. COMMENCEMENT OF WORK

The Contractor shall notify the Engineer of proposed commencement of work at least two working days prior to the pile driving. The initial piles driven at the project are termed "test piles" and they shall be located at opposite ends and sides of the project in order to assess the likely driving conditions and depths over the full extent of the project. The test piles shall also be used as production piles. The Engineer or his representative shall be present during this operation and a continuous driving record shall be taken.

For this project, the number of "test piles" required = 2 piles.

9. PRODUCTION DRIVING OF PILES

Following the driving of the "test piles", the remainder of the production piles shall be ordered and delivered to the site. The Contractor shall mark on each pile the total length so it may be seen after the completion of driving operations. The tops of piles shall not be cut off until after the final inspection has been made by the Engineer or his representative. The final series of at least 20 blow counts shall be clearly marked on each pile, with the distance over the final 10 being recorded as the "final set".

10. PILE RECORDS

The Contractor shall supply to the Engineer within 7 days of completion of the pile driving, a summary of the final depths and average final sets.

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

1202 Victoria Street, PO Box 9123, Hamilton

HABITAT FOR HUMANITY

Proposed New Residential Dwelling @
No. 18c Breckons Avenue, Hamilton

**SUBFLOOR AND FOUNDATION
DESIGN DETAILS**

DRAWING No. 5106-10

DATE March 2000

ISSUE One

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

1202/1 Victoria Street
P.O. Box 9123
Hamilton New Zealand
Facsimile 07 839 3125
Telephone 07 838 3119
e-mail: geocon@voyager.co.nz

RECEIVED
10 AUG 2000
BUILDING

Ref: W - 5106.3
4 August, 2000

The Chief Building Inspector
Hamilton City Council
Private Bag
Hamilton

Dear Sirs

Re: Residential Dwelling Under Construction
Owner: Habitat for Humanity Builder: Wayne Cunningham
Location: 18(c) Breckons Avenue, Hamilton

We wish to advise that we were retained by the Owner/Builder to carry out the pile inspection of the proposed dwelling.

We have made periodic visits to the site in order to assess that the foundations were being prepared in accordance with sound engineering practice and to the design requirements, as specified under NZS 3604.

Records taken on the site at the time of our inspections and also by the contractor at other times are indicative of a satisfactory foundation having been constructed. It is therefore considered that the substructure is adequate to support the structural load from the building as designed.

A copy of the site inspection report for the foundation installation is attached.

Yours faithfully

Mark T Mitchell Ltd



Consulting Geotechnical Engineer

c.c. Habitat for Humanity
PO Box 8075
Hamilton

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

PO Box 9123
Hamilton
Telephone 07 838 3119
Facsimile 07 839 3125

INSPECTION REPORT

Job Location: 18c Breckens Avenue, Hamilton Job Ref: W- 5106/3

Initial Report Date:

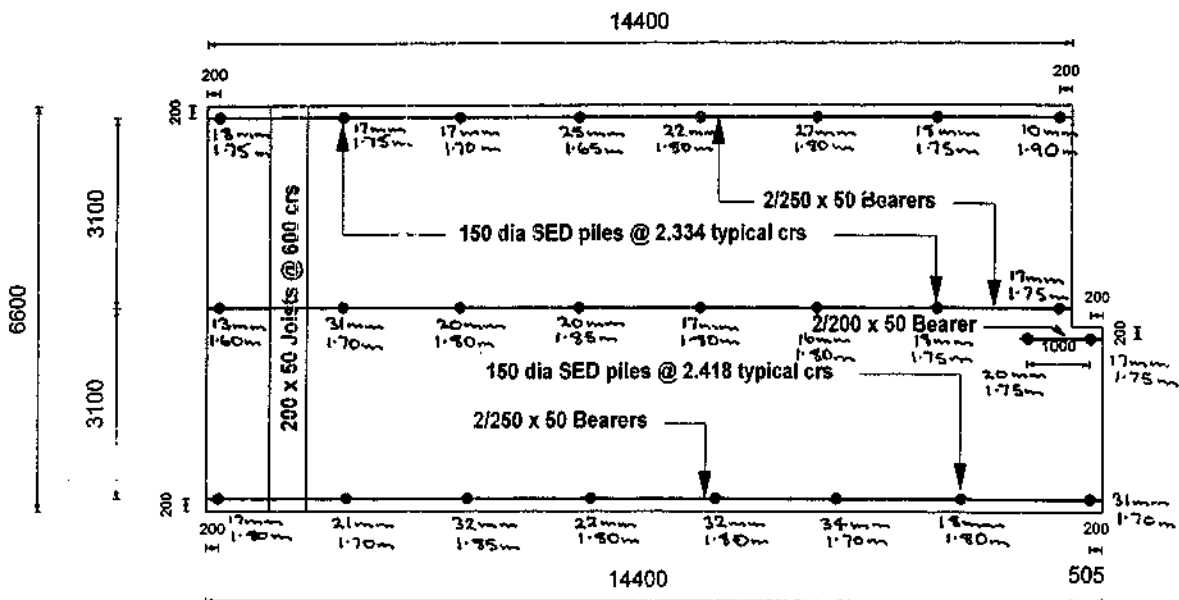
Inspection No. 1 and 2

Owner: Habitat for Humanity

Contractor: Waikato Post Ramming

Date of Inspection: 10/7/00

By: Rob Bullwick



- Notes:
- Sets shown are the average for the final 10 blows of penetration. e.g. 13 mm
 - Pile founding depths shown are from below ground level. e.g. 1.90 metres
 - Weight of driving monkey = 375 kg.
 - Fall of driving monkey = 1500 mm

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

1202/1 Victoria Street
P.O. Box 9123
Hamilton New Zealand
Facsimile 07 839 3125
Telephone 07 838 3119
e-mail: geocon@voyager.co.nz

Ref: W - 5106/2
9 March, 2000

The Chief Building Inspector
Hamilton City Council
Private Bag
Hamilton

Attn: Mr Bryce Keogh

Dear Sir,

Re: Building Consent Application
Project: New Dwelling at No. 18C Breckons Avenue for Habitat for Humanity
Builder: Wayne Cunningham

We advise that we have been retained by the Owner/Builder of the above referenced property to inspect soil conditions and foundation construction at the above referenced site. The results of our assessment of foundation conditions at the site are contained in Geocon Soil Testing Ltd report dated 13 September 1999 and subsequent Mark T Mitchell Ltd report dated 23 February 2000, copies of which are attached.

The soil test results indicate that organic SILT and PEAT is present over the site and this will necessitate that driven piled foundations are used. Our staff will carry out inspections of the pile installation to ensure the piles are driven into dense, original ground and to a final set that is appropriate for the loads that the foundations are required to support.

The purpose of our inspections will be to ensure that foundations for the proposed building are installed in accordance with sound engineering practice and to the design requirements of the project. At the conclusion of our work, a foundation completion report will be forwarded to Hamilton City Council.

Yours faithfully

Mark T Mitchell Ltd



Registered Engineer

c.c. Habitat for Humanity
PO Box 8075
Hamilton

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

1202/1 Victoria Street
P.O. Box 9123
Hamilton New Zealand
Facsimile 07 839 3125
Telephone 07 838 3119
e-mail: geocon@voyager.co.nz

Ref: W - 5106/1
23 February, 2000

Habitat for Humanity
PO Box 8075
Hamilton

Attention: Tig Martin

Dear Sir

**Re: Soils Investigation and Foundation Recommendations
Proposed Subdivision of 18 Breckons Avenue, Hamilton**

You will be aware that our associate company, Geocon Soil Testing Ltd carried out a soils investigation at the above referenced site last year and prepared a report dated 13 September, 1999. At that time the site was occupied by a building which prevented access to our drilling rig and only hand auger test holes to 2 metres deep could be carried out.

We were recently contacted by Mr Phil Taylor of King Drilling Co Ltd who is pricing the pile drilling for the residential dwellings which are to be located at the above referenced site. Mr Taylor has indicated that his company has driven piles for the house over the rear (northern) boundary fence which were 4.8 metres below existing ground level.

Within the general Breckons Avenue area, there are two available founding layers. Where the upper founding layer is thin, or where piles are required to support relatively heavy loads, the piles tend to punch through this upper layer and found into the lower layer.

Because of Phil Taylor's concern, we have carried out further test drilling at the site and have deepened three of the original 2.0 metre deep Bore Holes.

The results of the recent Soils Investigation and our recommendations for foundation construction work are as follows:

1. Field Investigation and Soil Conditions

The site was investigated by drilling three truck-auger borings in the centre of each of the proposed house locations. Bore hole locations are shown on the attached Site Plan, Drawing No. 5106-01. Scala Penetrometer probes were also carried out in conjunction with the borings. The Bore Holes are designated Nos. 1 to 3 and the boring logs and associated test results are present on Figs. B-1 to B-3.

The purpose of the borings and associated testing was to provide guidance as to the general subsurface soil profile, the variability and relative density of soils within the site area. Actual conditions may vary across the site however, and may differ slightly from those as described below.

The near-surface soil conditions at the site, as revealed by the borings and associated field tests generally consist of 50 to 100mm of peaty TOPSOIL overlying very soft, organic SILT and amorphous PEAT to a depth of between 0.8 and 1.2 metres below ground level. These organic soils are underlain by a layer of loose, silty, fine-medium SAND.

The deeper soils consist of firm to stiff, clayey SILT which overlies dense, silty, fine and fine-medium SANDS from about 1.6 metres depth. Two organic SILT lenses, 400 to 600mm and 300mm thick were found at about 2.9 and 4.5 metres respectively. The upper layer is typically very soft, while the lower material is more consolidated and firm.

Groundwater was encountered at the time of test drilling at depths between 1.4 and 1.6 metres below ground level.

2. Foundation Recommendations

The near-surface, very soft layers of PEAT and organic SILT soils that underlie the proposed houses are considered to be too soft and variable to provide suitable foundation support for conventional bore piles. Therefore, as mentioned in the earlier Geocon Soil Testing Ltd soils report, the most economical option for support the proposed structures would be to use driven timber piles.

The upper founding layer occurs at about 1.7 metres below ground level and the lower founding layer at about 5 metres below ground level. Therefore there are some cost savings if the piles are able to found within the upper layer. In order to do so, the required load-carrying capacity of each of the piles should be kept to a minimum, with pile spacings not exceeding about 2 metres.

However, the thickness of the upper founding layer is likely to vary and thus even although the loading on the piles is kept to a low level, there is some risk that at some locations, deeper piles will be required.

On the basis of the three test hole results, at Bore Hole Nos. 1 and 2 location, the pile founding depths should be about 2.0 metres below ground level and slightly less at Bore Hole No. 3 location.

It is recommended that a member of our staff be present during driving a reasonable portion of the piles to ensure that the piles are not over-driven and the penetration into the sand bearing layer does not exceed about 400mm.

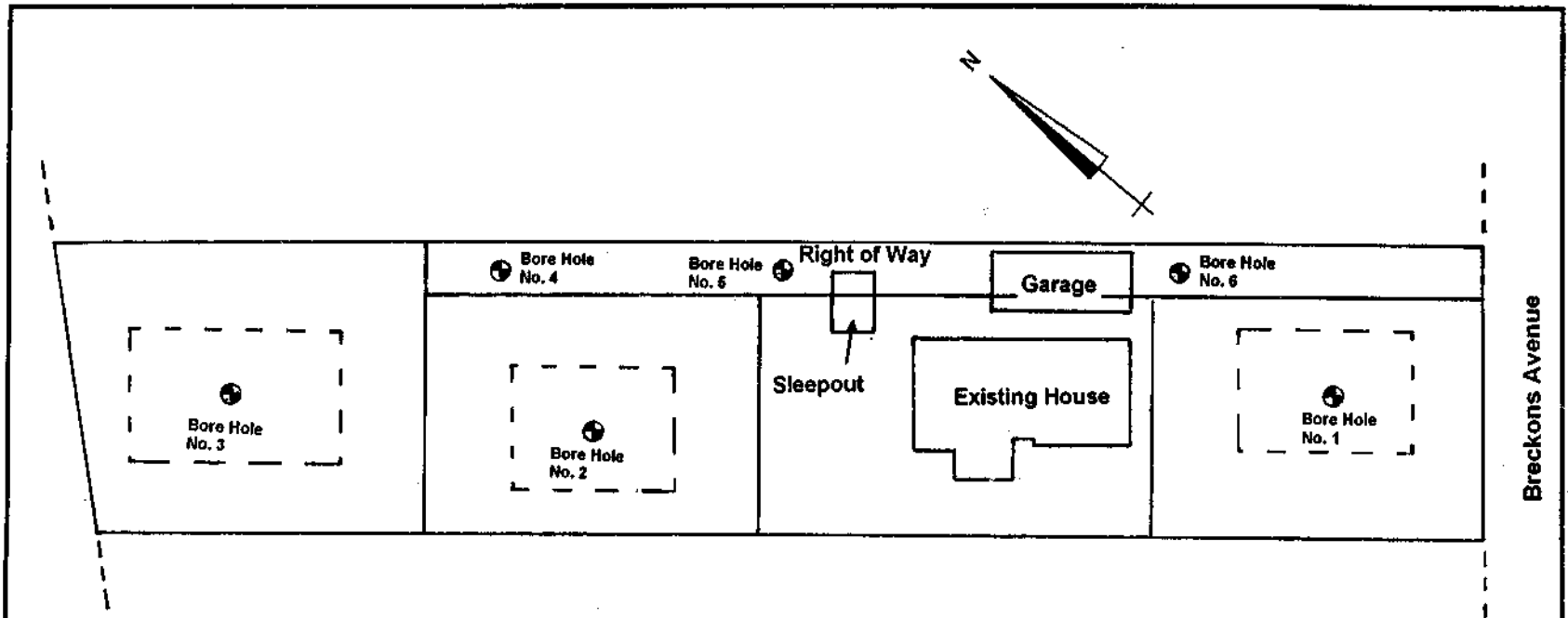
Please note that for this project, the Hamilton City Council will require the subfloor to be designed and the foundations inspected and certified by a Registered Engineer. This documentation will be required prior to the issue of a Building Consent.

Yours faithfully

Mark T Mitchell Ltd



Mark T Mitchell
Registered Engineer



LEGEND

- ⊕ denotes Bore Hole locations
- ▭ Existing Buildings
- - - Proposed New Buildings



GEOCON SOIL TESTING LTD
 Civil Engineering Laboratory
 1202 Victoria Street, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
 Site Investigation for Proposed Subdivision @
 No. 18 Breckons Avenue, Hamilton

SITE PLAN

DRAWING No. 5106-01
 DATE September 1999
 ISSUE One

SOIL DESCRIPTION

BORE HOLE LOG No. 1


FIELD TEST DATA

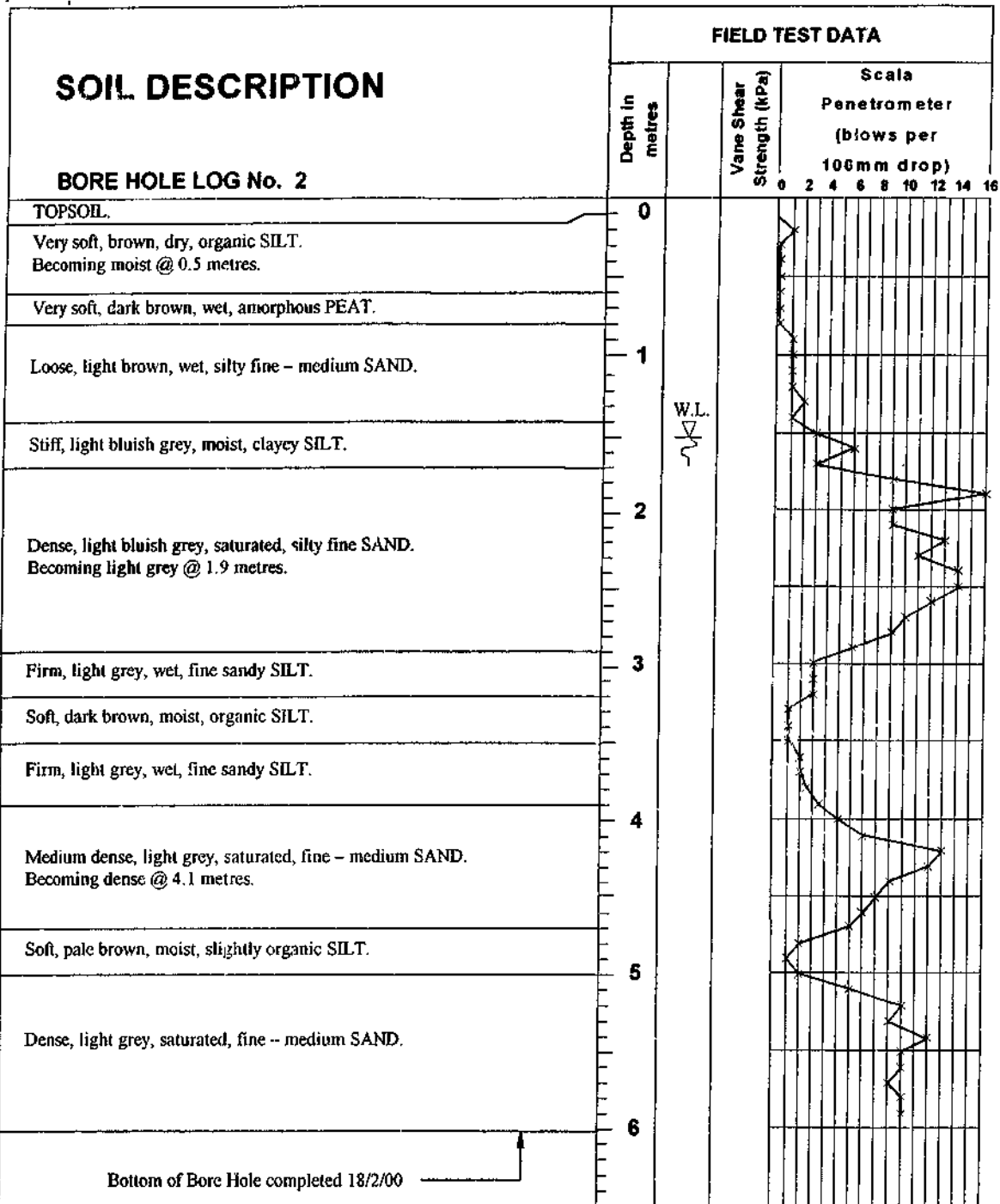
SOIL DESCRIPTION	Depth in metres	Vane Shear Strength (kPa)	Scale Penetrometer (blows per 100mm drop)													
			0	2	4	6	8	10	12	14	16					
TOPSOIL.	0															
Firm, brown, dry, organic SILT. Becoming very soft @ 0.3 metres.																
Very soft, brown, moist, slightly organic SILT.																
Very soft, dark brown, moist, amorphous PEAT.																
Loose, light brown, moist, silty fine - medium SAND.																
Soft, light brown (slightly iron stained), wet, slightly clayey SILT.																
Loose, light brown, moist, silty fine - medium SAND.																
Stiff, pale bluish grey, wet, slightly clayey SILT.																
Dense, pale bluish grey, saturated, silty fine - medium SAND. Becoming light grey @ 2.0 metres.	2															
Loose, light grey, saturated, silty fine SAND.																
Very soft, pale brownish grey, wet, slightly organic, clayey SILT.																
Soft, dark brown, moist, organic SILT.																
Medium dense, light grey, saturated, silty fine SAND.																
Dense, light grey, saturated, fine - medium SAND. Becoming medium dense @ 3.9 metres.	4															
Firm, brown, moist, moderately organic SILT.																
Dense, light grey, saturated, fine - medium SAND.	5															
	6															
Bottom of Bore Hole completed 18/2/00																

W.L.

NOTE: The stratification lines represent the approximate boundary between soil types and the transition may be gradual.

BORE HOLE LOG No. 1

	GEOCON SOIL TESTING LTD Geotechnical Engineers 1202/1 Victoria Street, P.O. Box 9123, Hamilton	HABITAT FOR HUMANITY Site Investigation for Proposed Subdivision @ No. 18 Breckons Avenue, Hamilton February 2000	W. 5106 Fig B-1
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NOTE: The stratification lines represent the approximate boundary between soil types and the transition may be gradual.

BORE HOLE LOG No. 2



GEOCON SOIL TESTING LTD
Geotechnical Engineers

1202/1 Victoria Street, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
Site Investigation for Proposed Subdivision @
No. 18 Breckons Avenue, Hamilton
February 2000

W. 5106

Fig B-2

SOIL DESCRIPTION	FIELD TEST DATA		
	Depth in metres	Vane Shear Strength (kPa)	Scala Penetrometer (blows per 100mm drop)
BORE HOLE LOG No. 3			0 2 4 6 8 10 12 14 16
TOPSOIL.	0		
Very soft, brown, dry, organic SILT. Becoming moist @ 0.6 metres.			
Soft, light brown, wet, slightly clayey, SILT.			
Loose, light brown, wet, silty fine - medium SAND.	1		
		W.L.	
Soft to firm, pale bluish grey, moist, clayey SILT.			
Dense, pale bluish grey, saturated, silty fine SAND. Becoming light grey and fine - medium SAND @ 2.1 metres.	2		
Loose, light grey, saturated, silty fine SAND.			
Very soft, light brownish grey, wet, slightly organic clayey SILT.			
Very soft, dark brown, moist, organic SILT.	3		
Soft, light grey, wet, slightly clayey SILT.			
Medium dense, light grey, saturated, silty fine SAND.	4		
Firm, pale brown, wet, slightly organic, SILT.			
Loose, light grey, saturated, silty fine SAND.			
	5		
Dense, light grey, saturated, fine - medium SAND.			
	6		
Bottom of Bore Hole completed 18/2/00			

NOTE: The stratification lines represent the approximate boundary between soil types and the transition may be gradual.

BORE HOLE LOG No. 3



GEOCON SOIL TESTING LTD
Geotechnical Engineers

1202/1 Victoria Street, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
Site Investigation for Proposed Subdivision @
No. 18 Breckons Avenue, Hamilton
February 2000

W. 5106

Fig B-3

GEOCON SOIL TESTING LTD

Geotechnical Engineers

1202/1 Victoria Street
P.O. Box 9123
Hamilton New Zealand
Facsimile 07 839 3125
Telephone 07 838 3119
email geocon@voyager.co.nz

Ref: W - 5106
13 September, 1999

Habitat for Humanity
PO Box 8075
Hamilton

Attention: Marilyn Pemberton

Dear Madam

**Re: Soils Investigation and Foundation Recommendations
Proposed Subdivision of 18 Breckons Avenue, Hamilton**

In accordance with your request we have carried out a Soils Investigation at the above referenced site and reviewed the requirements for foundation work.

The proposed development of the property will involve subdividing No 18 Breckons Ave into 4 individual lots served by a Right-of-Way (R.O.W.) along the northeastern boundary. The existing house is to remain in its present location and will occupy Lot 2, but with the garage and sleepout to be removed. The new houses to occupy the remaining lots will be of lightweight construction, with timber floors supported off driven or bored timber piles.

The results of the Soils Investigation and our recommendations for foundation construction work are as follows:

1. Field Investigation and Soil Conditions

The site was investigated by drilling six hand-auger borings, three in the centre of each of the proposed house locations and three along the R.O.W. Bore hole locations are shown on the attached Site Plan, Drawing No. 5106-01. Scala Penetrometer probes were also carried out, but at the house site locations only. The Bore Holes are designated Nos. 1 to 6 and the boring logs and associated test results are present on Figs. A-1 and A-3.

The purpose of the borings and associated testing was to provide guidance as to the general subsurface soil profile, the variability and relative density of soils within the site area. Actual conditions may vary across the site however, and may differ slightly from those as described below.

The near-surface soil conditions at the site, as revealed by the borings and associated field tests generally consist of 50 to 100mm of peaty TOPSOIL overlying very soft, organic SILT and amorphous PEAT to a depth of between 0.8 and 1.2 metres below ground level. These organic soils are underlain by a layer of loose, silty, fine-medium SAND.

The deeper soils consist of firm to stiff, clayey SILT which overlies dense, silty, fine and fine-medium SANDS from about 1.6 metres depth.

Groundwater was encountered at the time of test drilling at depths between 0.8 and 1.0 metres below ground level.

2. Foundation Recommendations

The very soft layers of PEAT and organic SILT soils that underlie the proposed houses are considered to be too soft and variable to provide suitable foundation support for conventional bored piles.

Therefore the most economical option would be to support the proposed structure using driven timber piles.

This pile foundation should consist of 150mm SED (small end diameter) timber piles, driven to found at a depth of about 2 metres below existing ground level. The total length of pile required would depend upon the height of the floor level above ground level. During the foundation construction work, it is recommended that initially, test piles be driven at either end of the structures, so as to determine more precisely the lengths of the remaining piles.

Following the driving of these test piles, the remainder of the piles can be ordered and delivered to the site. The test piles may be used as production piles in the support of the structure.

It should be noted that the Hamilton City Council may also require a Registered Engineer to inspect and certify the pile driving installation. We would be pleased to carry out this function.

3. Right of Way Construction

For the construction of the Right-of-way, all PEAT and organic SILT soils will need to be removed and replaced with pit sand filling. The typical depth of this excavation will be about 1 metre and should extend at least 0.5 metres beyond the carriageway width on both sides.

The following procedure should then be adopted.

- a. Compact the exposed soil surface with a self-propelled vibratory compactor of minimum 2 tonne static weight. The surface should be compacted with at least six passes with this roller. Any soft areas that show up during this proof-rolling/base compaction process should be excavated and removed from the building site area.
- b. Imported pit sand filling should then be used to bring the building area up to the desired grade. The fill should be placed in layers not exceeding 250mm thick and compacted with the vibratory roller referred to above.
- c. Satisfactory compaction of the imported sand filling, would be achieved when testing with a Scala Penetrometer indicates a blow count of 4 blows per 100mm penetration.

13 September, 1996

Ref: W - 5106

This work should be carried out under the direction of a Registered Engineer. Mark Mitchell, Consulting Geotechnical Engineer who is associated with our office would be able to undertake this work.

4. Sleepout

The sleepout currently located behind the existing house will require moving to enable the right-of-way to be built.

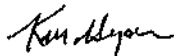
This building has been measured up and the subfloor details noted. This information appears on Drawing No. 5106-02 and comprises of the following:

- The building measures 4.2 metres by 3.0 metres and is of timber floor construction. There are 3 rows of bearers made up of varying timber thickness equating to 100 by 100mm.
- The bearers are supported by 150 by 200mm shallow pumice piles, four down each side and three along the middle row chocked up to level by timber blocks.
- The pile in the western corner is missing and the bearer sits directly on a stack of timber chocks only.
- The floor-joists are ex 150 by 50mm at 450mm centres with a double joist at either end and a boundary joist down either side.

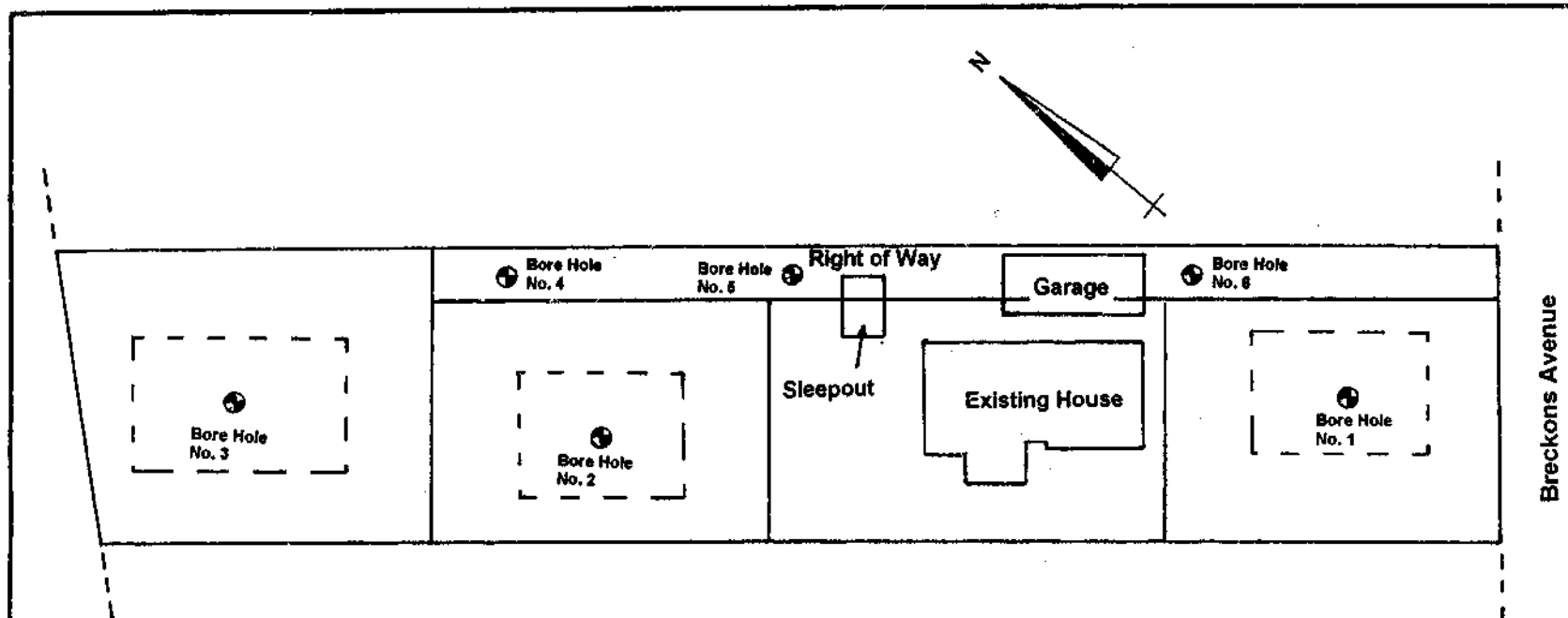
If this building is relocated, it should be supported off driven timber piles, as for the new buildings. It will be necessary to support the structure off 3 rows of 4 piles each. That is, the central row should also consist of four piles.

Yours faithfully

Geocon Soil Testing Ltd



Kevin M Hyde
Manager



LEGEND

- ⊕ denotes Bore Hole locations
- ▭ Existing Buildings
- - - Proposed New Buildings

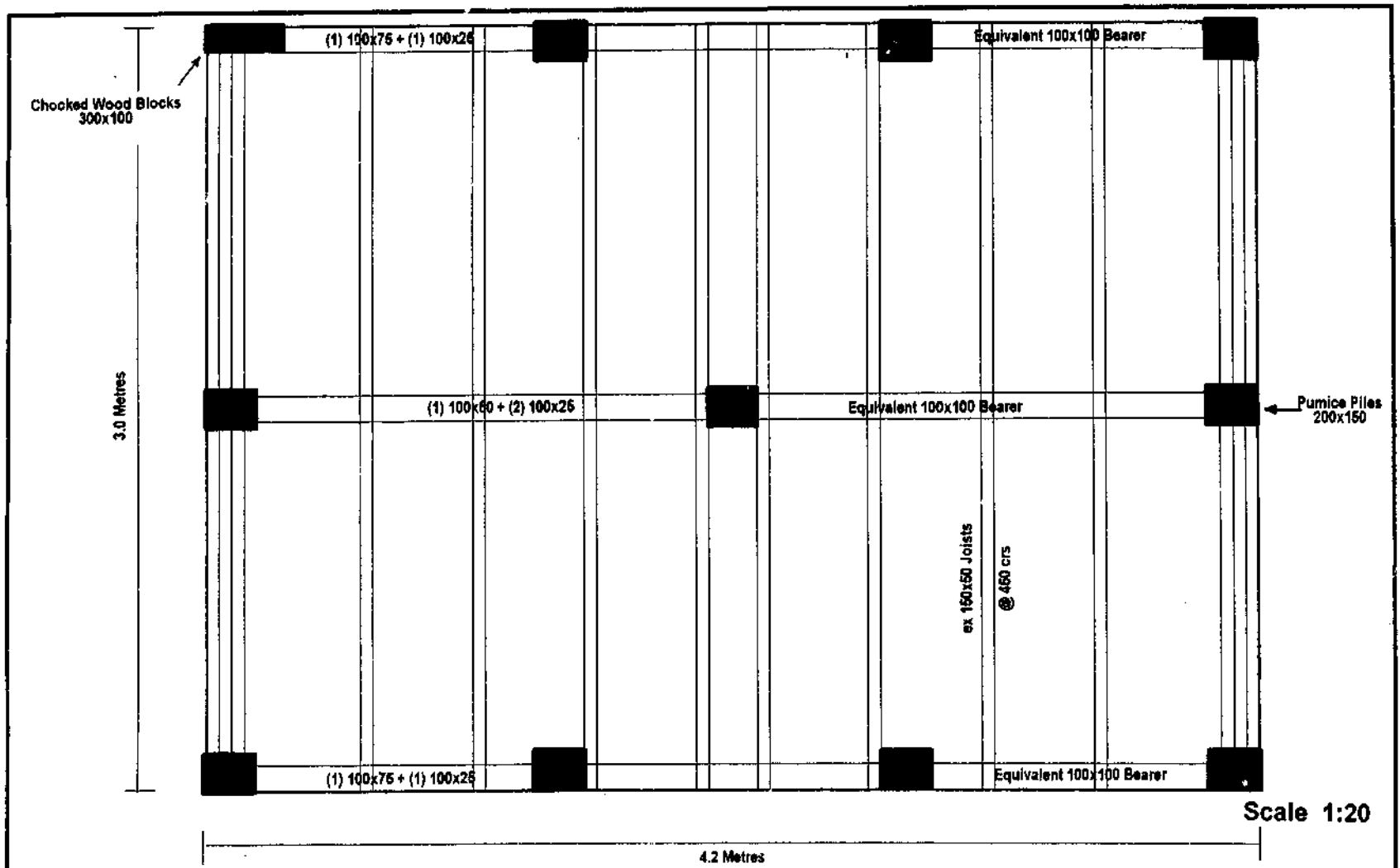


GEOCON SOIL TESTING LTD
 Civil Engineering Laboratory
 1202 Victoria Street, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
 Site Investigation for Proposed Subdivision @
 No. 18 Breckons Avenue, Hamilton

SITE PLAN

DRAWING No. 5106-01
 DATE September 1999
 ISSUE One

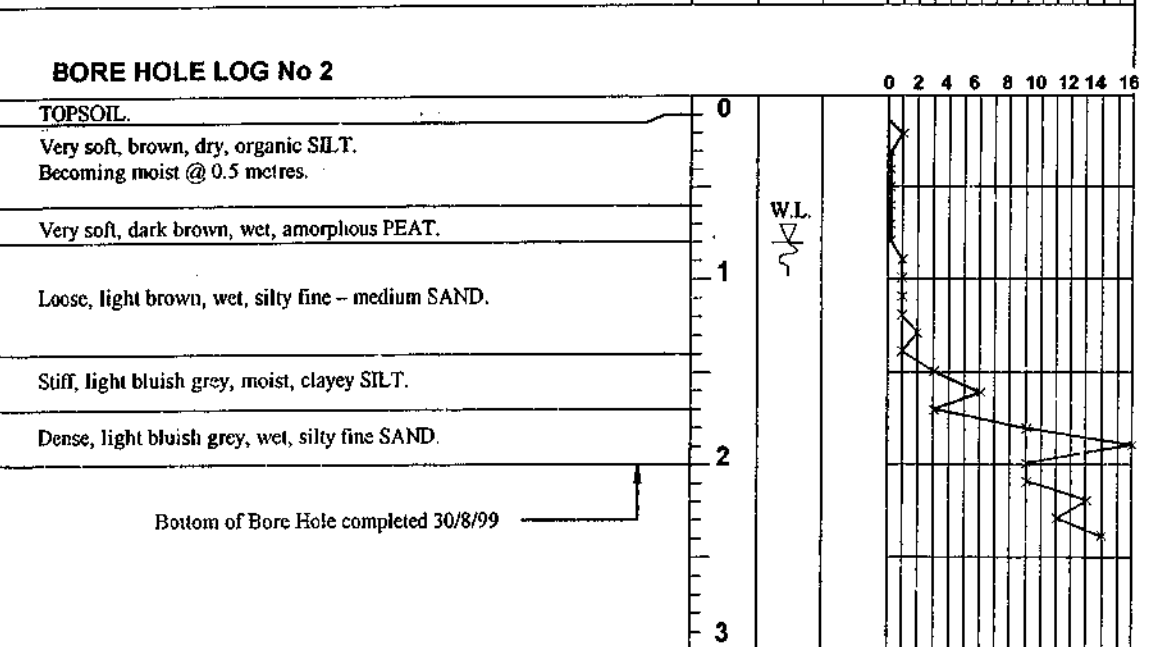
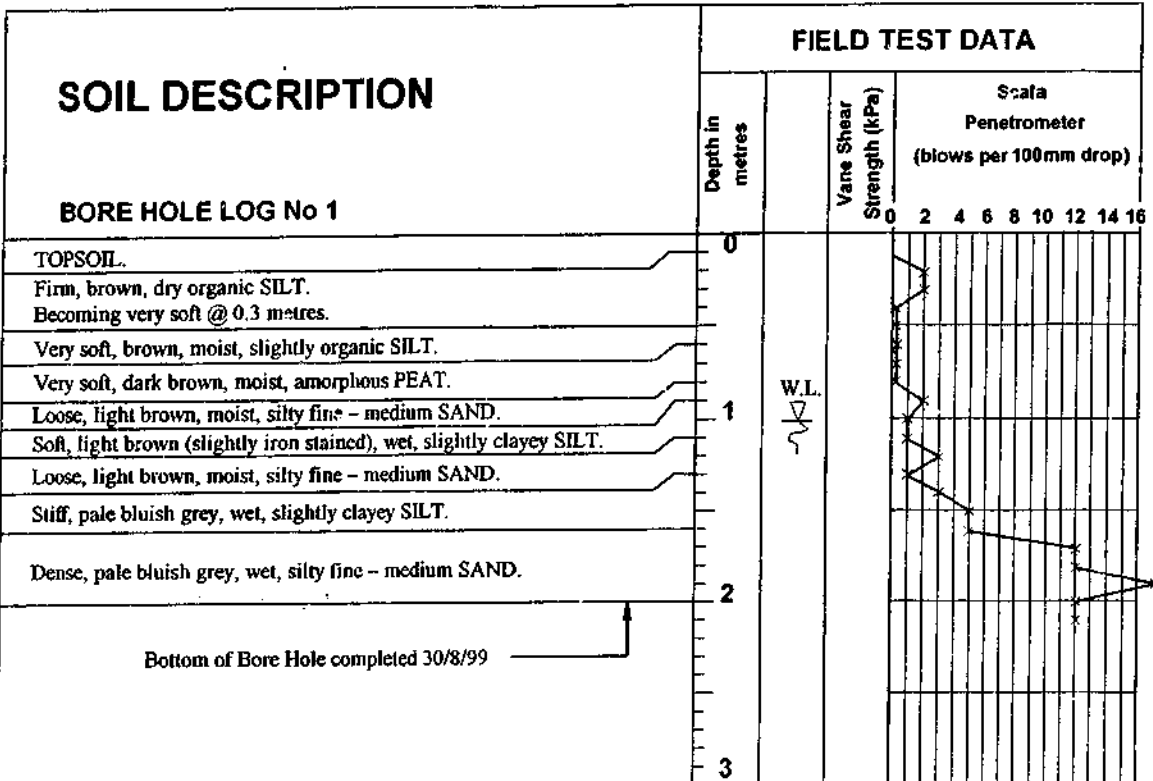


GEOCON SOIL TESTING LTD
Civil Engineering Laboratory
1202 Victoria Street, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
No. 18 Breckons Avenue, Hamilton

FOUNDATION LAYOUT

DRAWING No. 5106-02
DATE September 1999
ISSUE One



NOTE: The stratification lines represent the approximate boundary between soil types and the location may be gradual.

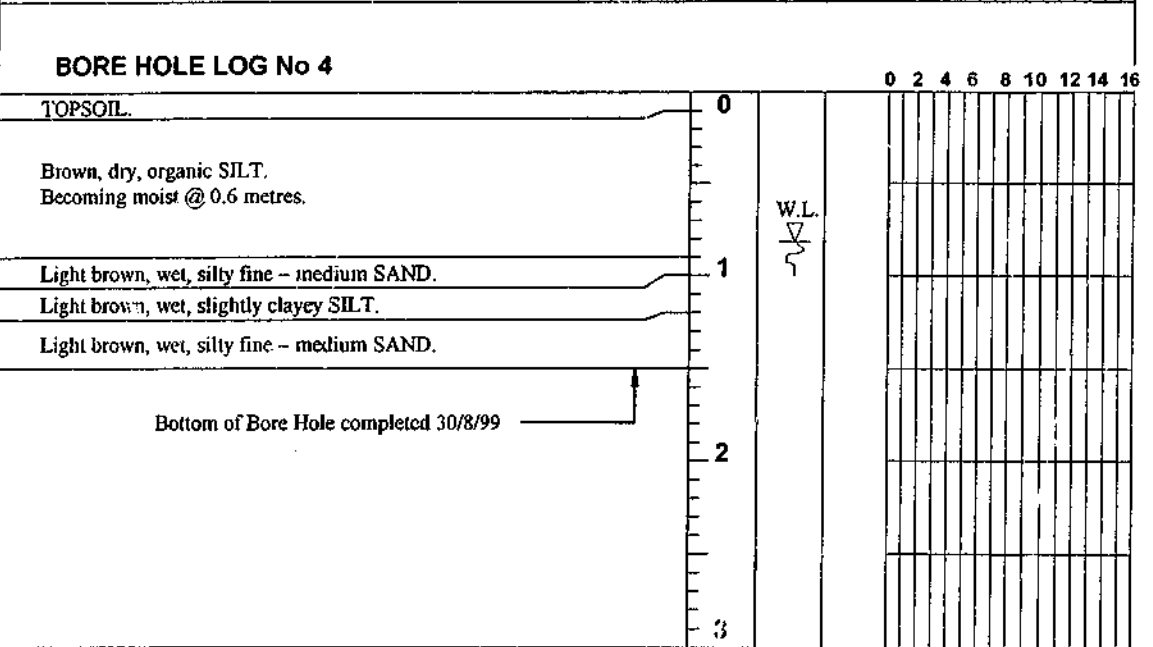
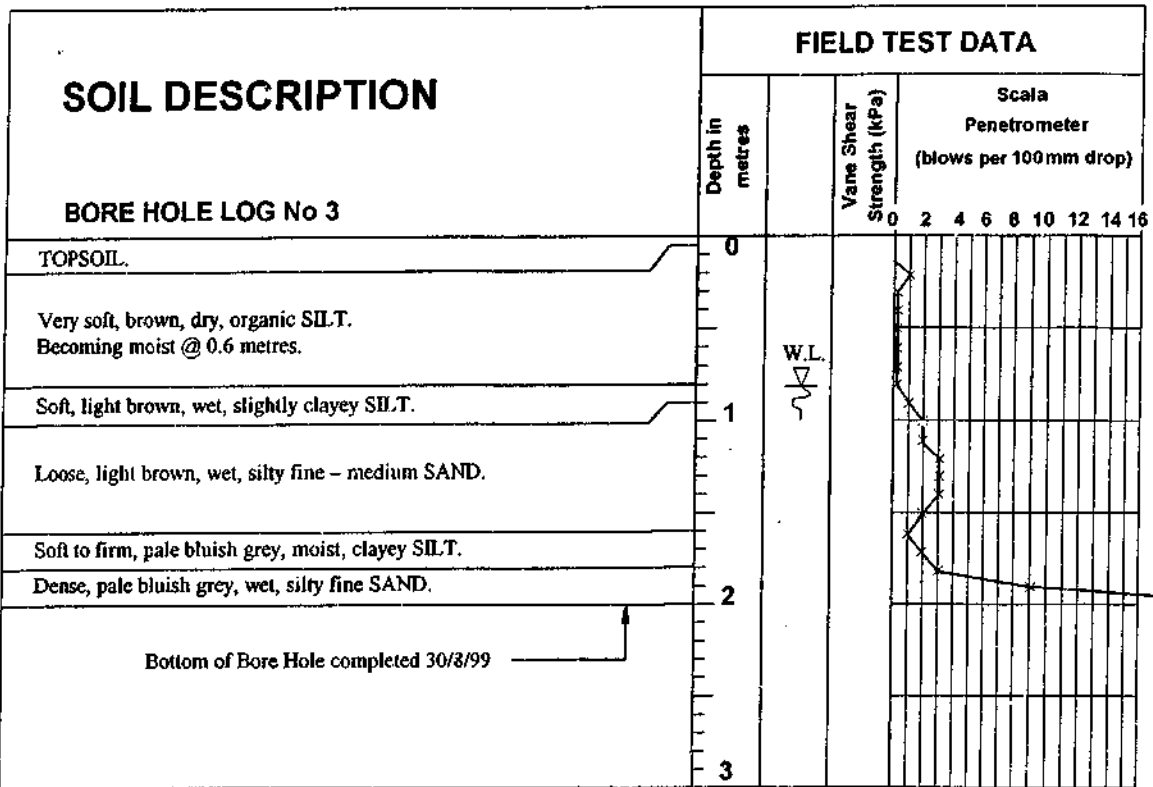
BORE HOLE LOG No 1 & 2

GEOCON SOIL TESTING LTD
Civil Engineering Laboratory
1202/1 Victoria St, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
Site Investigation for Proposed Subdivision @
No. 18 Breckons Avenue, Hamilton
August 1999

W.5106

Fig A-1



NOTE: The stratification lines represent the approximate boundary between soil types and the transition may be gradual.


BORE HOLE LOG No 3 & 4


GEOCON SOIL TESTING LTD
Civil Engineering Laboratory
1202/1 Victoria St, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
Site Investigation for Proposed Subdivision @
No. 18 Breckons Avenue, Hamilton
August 1999

W.5106

Fig A-2

SOIL DESCRIPTION	FIELD TEST DATA																	
	Depth in metres	Vane Shear Strength (kPa)	Scala Penetrometer (blows per 100mm drop)															
			0	2	4	6		8	10	12	14	16						
BORE HOLE LOG No 5																		
TOPSOIL.	0	W.L. 																
Brown, dry, organic SILT. Becoming moist @ 0.6 metres.																		
Light brown, wet, silty fine SAND.	1																	
Bottom of Bore Hole completed 30/8/99	2																	
	3																	

SOIL DESCRIPTION	FIELD TEST DATA																	
	Depth in metres	Vane Shear Strength (kPa)	Scala Penetrometer (blows per 100mm drop)															
			0	2	4	6		8	10	12	14	16						
BORE HOLE LOG No 6																		
TOPSOIL.	0	W.L. 																
FILLING. Mixture of PEAT and organic SILT.																		
Brown, dry, organic SILT.																		
Dark reddish brown, wet, amorphous PEAT.	1																	
Light brown, wet, silty fine SAND.	2																	
Bottom of Bore Hole completed 30/8/99	3																	

NOTE: The stratification lines represent the approximate boundary between soil types and the transition may be gradual.

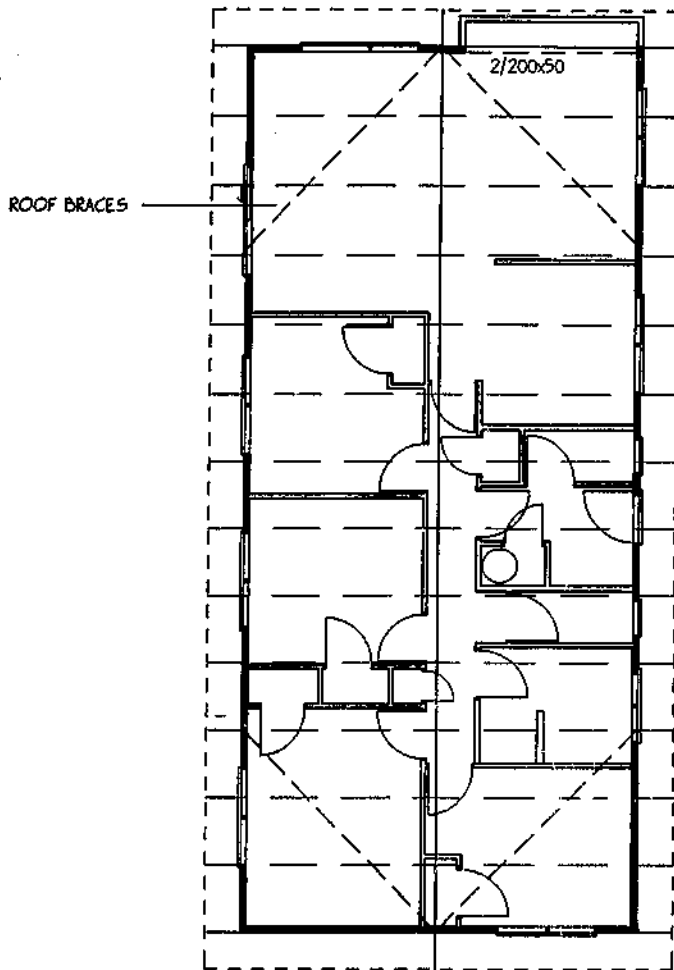
BORE HOLE LOG No 5 & 6



GEOCON SOIL TESTING LTD
Civil Engineering Laboratory
1202/1 Victoria St, P.O. Box 9123, Hamilton

HABITAT FOR HUMANITY
Site Investigation for Proposed Subdivision @
No. 18 Breckons Avenue, Hamilton
August 1999

W.5106



GABLE TRUSS LAYOUT. MAXIMUM SPACING 1200mm ON
SPACED TO SUIT H.W.C AND T.V

600mm SOFFIT
20° ROOF PITCH
ALL OTHER LINTELS 1/200x50

TRUSS LAYOUT

DRAWN DA	KEITH HAY HOMES ©COPYRIGHT 1997	CUSTOMER.....	CONTRACTOR.....
DATE 24/2/00		NAME HABITAT FOR HUMANITY	AREA
CHECKED		SCALES 1:100	PLAN REF. 25/025
			8

D:\CAD\BRANCHES\25

FOUNDATION (SINGLE STOREY)

SHEET A

Light roof, light walls only, 20° pitch

LOCATION OF STOREY	foundation
SITE WIND ZONE (Table 2.4)	low / medium <input type="checkbox"/> high / <input type="checkbox"/> very high
EARTHQUAKE ZONE (Fig 2.2, Table 2.3)	A <input type="checkbox"/> <input checked="" type="checkbox"/> B <input type="checkbox"/> C

SITE ADDRESS

City / Town or District: HAMILTON

Street & No: NORTON

LOT: _____

D.P.: _____

FOR EARTHQUAKE		E	
ROOF WEIGHT :	light	1.5 Kpa	3.0 Kpa
AVERAGE ROOF PITCH :	20°		
TYPE OF CLADDING :	light	A 6.5	11.0
EARTHQUAKE ZONE :	B	B 5.0	8.0
STOREY IN ROOF SPACE :	yes <input type="checkbox"/> no <input type="checkbox"/>	C 3.0	5.5

FOR WIND	Building Height	< 5m		< 6m	
		Across W1	Along W2	Across W1	Along W2
BUILDING HEIGHT	: 4.39m				
ROOF HEIGHT	: 1.6 m	L 51	57	L 65	71
STOREY HEIGHT	: 2.4 m	M 67	77	M 86	95
DESIGN WIND SPEED	: H m	H 98	108	H 125	134
		V.H 125	140	V.H 159	173

BUILDING LENGTH: $BL = 14.905$ m

BUILDING WIDTH: $BW = 6.6$ m

BUILDING PLAN AREA: $GPA = 96.55$ m²

EARTHQUAKE LOAD (ACROSS & ALONG): $E \times GPA = 5 \times 96.55 = 483$ B.U.s

WIND LOAD: ACROSS: $W1 \times BL = 98 \times 14.095 = 1461$ B.U.s

WIND LOAD: ALONG: $W2 \times BW = 108 \times 6.6 = 713$ B.U.s

Standard Floor To Apex = 3.790m

DRAWN: DA	KEITH HAY HOMES	CUSTOMER.....CONTRACTOR.....
DATE: 24/2/00		NAME: HABITAT FOR HUMANITY
CHECKED:	©COPYRIGHT 1998	AREA: SCALES: PLAN REF: 25/025

D:\CAD\BRANCHES\25

MARK T MITCHELL LTD			Project: Habitat for Humanity			Location: No 18C Breckons Ave, Hamilton																
Consulting Engineer			Job No: W - 5106																			
CALCULATIONS - TIMBER BEAM DESIGN																						
PROPERTIES:		E (x10E6)		Max Stress (working load basis)					ALL BEAMS ASSUMED TO BE SIMPLY SUPPORTED													
		8 MPa		6.0 MPa																		
						ROW	LOADING ON BEAM							DEFLECTIONS (mm)			PILE LOADS					
BEAM	DEPTH	WIDTH	Z	i	SPAN	TOTAL	Wall	Floor	TOTAL	BM	STRESS		Actual	Allowables	Working	Ultimate Ru						
No	mm	mm	m-3	m-4	m	LENGTH	kN/m	kN/m	kN/m	kN-m	MPa		mm	(0.004L)(L/400)	kN	FS=4	FS=3.5	FS=3	Specified			
Internal Bearer	240	95	0.91	109.4	2.233	17.864	0	6.2	7.2	4.5	4.92 (OK)	2.7	8.932	5.6	16.1	64.3	56.3	48.2	55 kN	USE		
Internal Bearer	240	95	0.91	109.4	1.986	17.874	0	6.2	7.2	3.5	3.89 (OK)	1.7	7.944	5.0	14.3	57.2	50.0	42.9	50 kN			
Internal Bearer	190	95	0.57	54.3	1.986	17.874	0	6.2	7.2	3.5	6.21 (High)	3.4	7.944	5.0	14.3	57.2	50.0	42.9	50 kN			
External Bearer	190	95	0.57	54.3	1.986	17.874	3	3.6	6.6	3.3	5.69 (sl Hi)	3.1	7.944	5.0	13.1	52.4	45.9	39.3	45 kN			
External Bearer	240	95	0.91	109.4	2.233	17.864	3	3.6	6.6	4.1	4.51 (OK)	2.4	8.932	5.6	14.7	59.0	51.6	44.2	55 kN	USE		
Basic Loading Data																						
Dead load = 0.5 kPa																						
Live Load = 1.5 kPa		Deck Live Load = 2.0 kPa																				

Mark T Mitchell Ltd

Consulting Geotechnical Engineer

1202/1 Victoria Street
P.O. Box 9123
Hamilton New Zealand
Facsimile 07 839 3125
Telephone 07 838 3119
e-mail: geocon@voyager.co.nz

Ref: W - 5106/2
9 March, 2000

The Chief Building Inspector
Hamilton City Council
Private Bag
Hamilton

Attn: Mr Bryce Keogh

Dear Sir,

Re: Building Consent Application
Project: New Dwelling at No. 18C Breckons Avenue for Habitat for Humanity
Builder: Wayne Cunningham

We advise that we have been retained by the Owner/Builder of the above referenced property to inspect soil conditions and foundation construction at the above referenced site. The results of our assessment of foundation conditions at the site are contained in Geocon Soil Testing Ltd report dated 13 September 1999 and subsequent Mark T Mitchell Ltd report dated 23 February 2000, copies of which are attached.

The soil test results indicate that organic SILT and PEAT is present over the site and this will necessitate that driven piled foundations are used. Our staff will carry out inspections of the pile installation to ensure the piles are driven into dense, original ground and to a final set that is appropriate for the loads that the foundations are required to support.

The purpose of our inspections will be to ensure that foundations for the proposed building are installed in accordance with sound engineering practice and to the design requirements of the project. At the conclusion of our work, a foundation completion report will be forwarded to Hamilton City Council.

Yours faithfully

Mark T Mitchell Ltd



Registered Engineer

c.c. Habitat for Humanity
PO Box 8075
Hamilton

DRAWN
DA
DATE
24/2/00
CHECKED

KEITH HAY
HOMES
© COPYRIGHT 1998

CUSTOMER NAME
HABITAT FOR HUMANITY
CONTRACTOR
AREA
PLAN REF.
25/025
10

ACROSS

		Wall or Drating Line		Drating Elements Provided			
1	2	3	4	5	6	7	8
	Line Label	Minimum D.U.'s Required	Drating Element No	Drating Type	Rating D.U.'s	Length of Element (m)	D.U.'s Achieved
E'QUAKE	M			14	70	3	210
	N			14	70	2	140
	O			14	70	2	140
	P			14	70	3	210
	Q						
483				TOTAL		700	
WIND	M			14	160	3	480
	N			14	160	2	320
	O			14	160	2	320
	P			14	160	3	480
	Q						
1461				TOTAL		1600	

ALONG

		Wall or Drating Line		Drating Elements Provided			
1	2	3	4	5	6	7	8
	Line Label	Minimum D.U.'s Required	Drating Element No	Drating Type	Rating D.U.'s	Length of Element (m)	D.U.'s Achieved
E'QUAKE	A			14	70	3	210
	B			14	70	4	280
	C			14	70	3	210
	D						
	E						
483				TOTAL		700	
WIND	A			14	160	3	480
	B			14	160	4	640
	C			14	160	3	480
	D						
	E						
713				TOTAL		1600	

FOUNDATION